

**37-41 Gower Street**  
**London WC1E 6HH**

Planning, Design and Access Statement



January 2022

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## 1.0 Introduction



37-41 Gower Street. Gower Street elevation

This Planning, Design & Access Statement forms part of Planning Application and Listed Building Consent submission for proposed works to 37-41 Gower Street, London, WC1E 6HH.

The proposed works are limited to the installation of

- 4 new condenser units in the rear garden. These are split into 2 pairs and enclosed in acoustic enclosures
- 1 new condenser unit in the front pavement vault with acoustic screen to lightwell

The following documents should be read in conjunction with this statement:

- Noise Impact Assessment ref. VA3909.211123.NIA by Venta Acoustics
- 282.00 Photographic Survey P2

The following drawings should be read in conjunction with this statement:

- 282.00 001 Location Plan [1/1250]
- 282.00 002 Site Plan [1/500]
- 282.00 100 Existing drawings [1/100]
- 282.00 200 Proposed drawings [1/100]



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1. Aerial view of 37-41 Gower Street from east

2. 37-41 Gower Street front elevation

## 2.1 Site and context

### Site and existing building



1:1250 @a3



37-41 Gower Street form part of a Georgian terrace of townhouses that runs from 15a Gower Street to 49 Gower Street. Numbers 15a to 39 were built in 1783 and numbers 41-49 in 1785. They were generally of 3 storeys with a basement and attics and were listed grade II in March 1969.

The building is currently divided between office B1 use at lower ground floor and ground floor levels and residential C3 use on the upper floors. There is also a small residential C3 unit at lower ground floor level.

The front elevation of the Gower Street terrace have a little-altered coherence and symmetry and the list entry focuses solely on the front elevation -

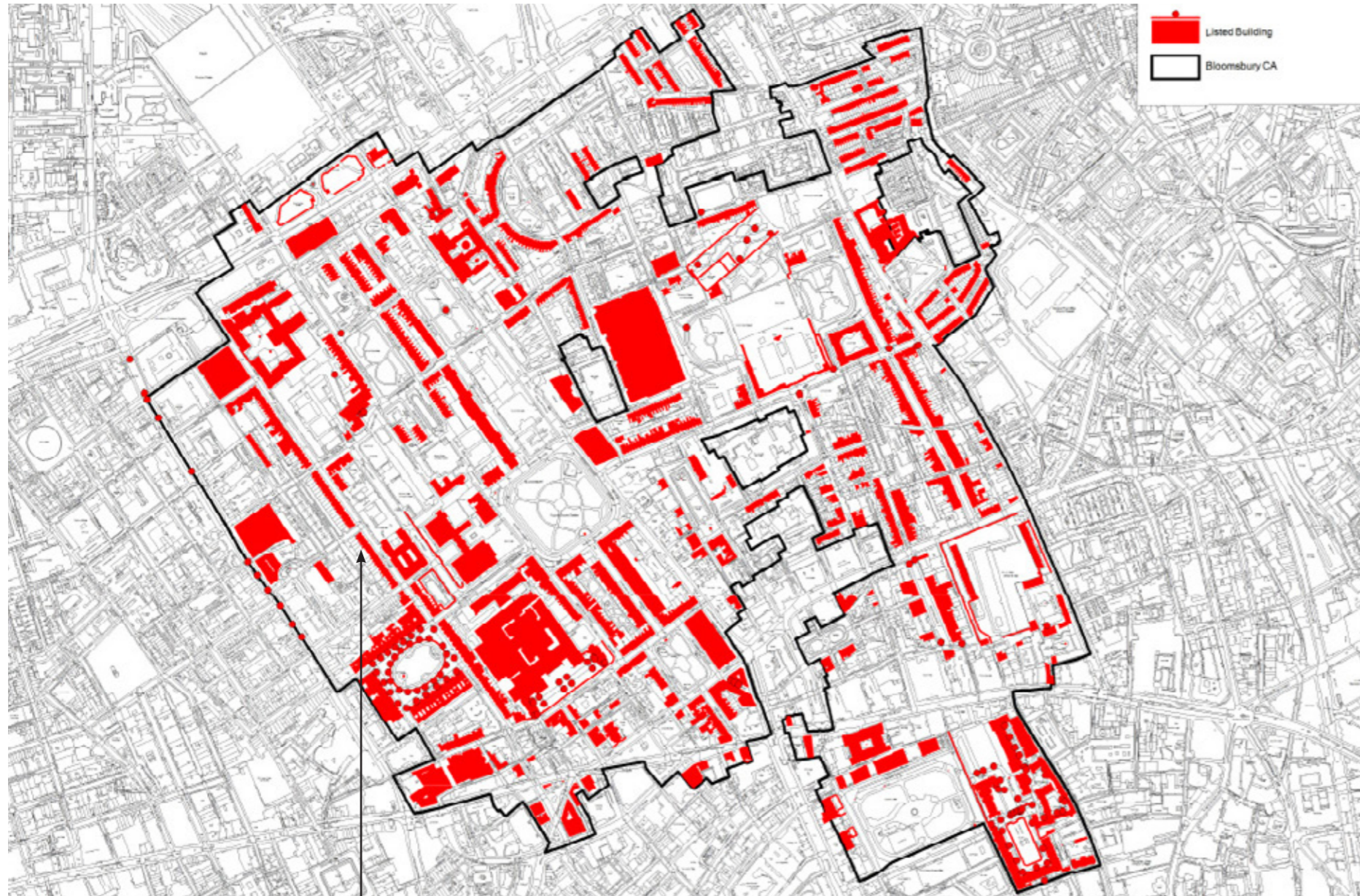
*Terrace of 18 houses. Nos 15A-39 built 1783; Nos 41-49, 1785. Nos 37-41 frontages rebuilt in facsimile but having only one doorway (that to No.39). Darkened yellow stock brick. Stucco 1st floor band with guilloche pattern. Slated mansard roofs with dormers. EXTERIOR: 3 storeys, attics and basements; Nos 25 & 39, 4 storeys and basements. 3 windows each, No.49 with unfenestrated return to Chenies Street. Round-arched doorways with fluted pilasters, cornice-heads, fanlights and panelled doors; most with panelled reveals and some with radial patterned fanlights. Gauged brick flat arches to recessed sash windows, some with glazing bars. Ground and 1st floor windows with bracketed sills and cast-iron guards. Parapets. No.15a: entrance in arched porch extension with return to Store Street. 4 windows in ground floor extension, 2 at 1st floor level. Nos 19 & 21: early C20 stone entablature with bracketed cornice and fluted frieze. No.21: stone entrance surround with Doric half columns carrying entablature. INTERIORS: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings with urn finials to areas.*

The rear of the properties on the other hand have undergone substantial development over time which lends it a varied appearance in great contrast to the front elevation.

A fuller history of the terrace and the property is included in the accompanying Heritage Statement.

## 2.2 Site and context

### Bloomsbury Conservation Area and listed buildings map



37-41 Gower Street

## 2.3 Site and context

### World War II bomb damage



The relative value of the front and rear elevations as a heritage asset can be illustrated by the manner in which the building was rebuilt following World War II bomb damage. The Gower Street elevation was rebuilt to match the style of the original Georgian facade, including the additional storey to 39, which balances the symmetry of the terrace with the extra storey at the opposite end, 25 Gower Street.

The rear elevation on the other hand was rebuilt with a contemporary composition and details including metal casement windows, full height glazing with walk-out balconies and a two storey glazed wall to the stair. These are in marked contrast to the neighbouring properties and adds to the assorted appearance to the rear elevation where varied extensions and closet wings have been docked to the rear of the terrace.

The rear gardens of 37-41 Gower Street have similarly been landscaped in a manner which do not reflect the gardens of a Georgian terrace. The characteristic feature of this garden and the gardens of the overall terrace are the mature trees that form a visual screen between the Gower Street buildings and 10-40 Ridgmount Street behind. Planting to the party walls between 37-41 Gower Street and 35/43 Gower Street is formed of banks of Photinia sp. These shrubs do not possess any great merit to the garden amenity or biodiversity value and are at any rate somewhat overgrown. A small section of this will be removed to allow the installation of the external units.

1. 37-41 Gower Street bomb damage with Ridgmount Street bomb damage in foreground
2. 37-41 Gower Street rear elevation rebuilt after bomb damage
3. 37-41 Gower Street rear garden showing planting to boundary wall to 35 Gower Street
4. 37-41 Gower Street rear garden showing planting to boundary wall to 43 Gower Street

### 3.0 Planning context

#### Planning history

**2020**                    **2019/5004/P & 2019/5371/L**

Internal and external alterations to rear elevation associated with change of use of ground and lower ground floors from office use (Class B1) to residential (Class C3) to provide 2 x 2 bed and 3 x 1 bed flats. Planning permission and listed building consent granted.

**2002**                    **LSX0204111**

Listed building consent granted for changes to lower ground and ground floor layout. Listed building consent granted.

**1998**                    **PS9805155 & PS9805155R1**

Planning permission for change of use of lower ground and ground floor from office to hostel. Application withdrawn



## 4.0 Design proposal

The proposal relates to the installation of 5 new condenser units. Four are located within acoustic enclosures within the rear garden and one is located within the existing pavement vaults to the front lightwell.

The condenser units/enclosures within the rear garden are set below the line of the garden boundary walls and are concealed within the garden's existing planting.

The condenser unit within the existing pavement vault replaces existing plant and part of the works will remove the unsightly boxing out within the lightwell. This will be replaced with an acoustic scree/door which will be set flush with the wall line of the lightwell.

The condenser units have been located so as not to be visible from the public realm and therefore will not affect the architectural and historic interest of the listed building and the character and appearance of the Bloomsbury Conservation Area.

Internally the heat pump internal units have been located over the properties' hot water cylinders within the consented layout of 2019/5371/L with no impact on the building's fabric.

### Impact on Residential Amenity

The proposal would not result in the loss of daylight and sunlight to neighbouring residents.

For Design criterion, Assessment Methodology, Environmental Noise Survey and Predicted Noise Impact please refer to attached Noise Impact Assessment attached with the application.

### Use & Access

No change is proposed to the use class of the property. The existing access to the property will be retained.

To conclude, the Planning, Design and Access Statement sets out the proposal for 5 new condenser and acoustic enclosures/screen to 37-41 Gower Street.

The condensers cannot be seen from the public realm.

The cumulative noise emission levels from the proposed plant have been assessed to be compliant with the plant noise emission limits, with necessary mitigation measures specified in the Noise Impact Assessment attached with the application. The proposed scheme is not expected to have a significant adverse noise impact and the relevant planning requirements have been shown to be met.

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