

BUILT.WORKS

CLIENT: LISA RASMUSSEN & ALEX HAINES	SITE ADDRESS: 43 ARLINGTON ROAD CAMDEN LONDON, NW1 7ES	ARCHITECT: BUILT.WORKS
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43 ARLINGTON ROAD DESIGN & ACCESS STATEMENT

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REVISION LOG

01	15.12.2021 PLANNING ISSUE	DC
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CONTENTS

1.0 Introduction

- 1.1 Project Team
- 1.2 Executive Summary
- 1.3 The Brief

2.0 The Existing Site

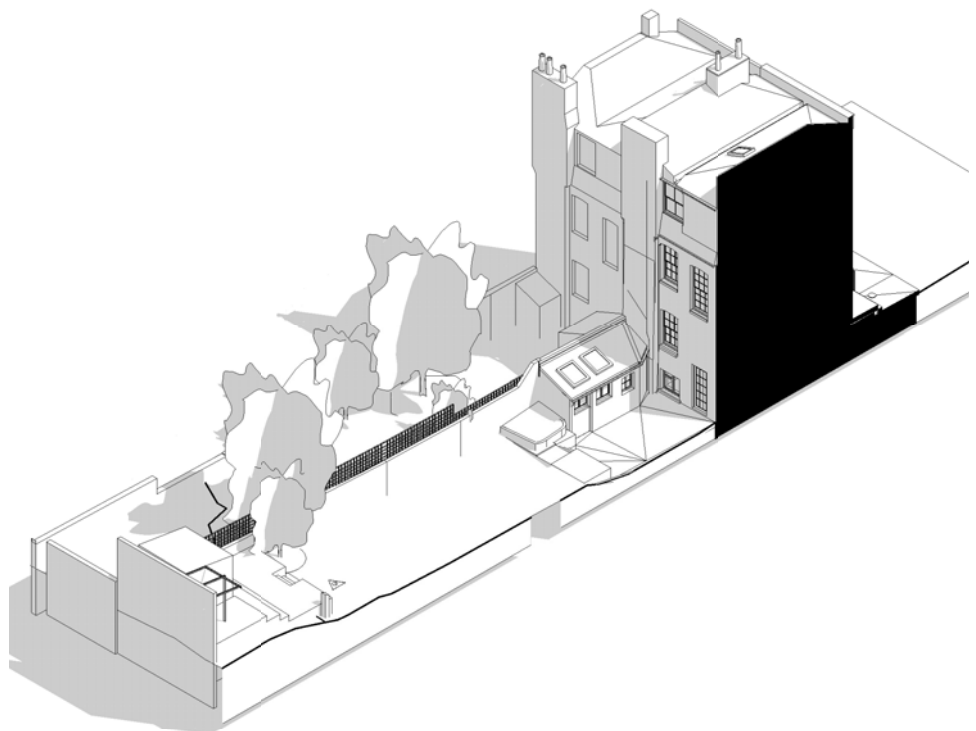
- 2.1 Location
- 2.2 Site History
- 2.3 The Existing Building
- 2.4 Listed Building Status
- 2.5 Planning Considerations
- 2.6 Planning History
- 2.7 Design Considerations

3.0 Proposals

- 3.1 Design Development
- 3.2 Proposals & Schedule of Improvements
- 3.3 Massing
- 3.4 Listed Fabric
- 3.5 Materiality
- 3.6 Structural Proposals
- 3.7 Access Appraisal

4.0 Conclusion

- 4.1 Conclusion



1

INTRODUCTION

1.1 PROJECT TEAM

Client.

Lisa Rasmusson
43 Arlington Road
Camden
London, NW1 7ES

Architect.

Built Works
3-5 Bleeding Heart Yard,
London, EC1N 8SJ

Structural Engineer.

Foster Structures
7a Temple Yard,
London, E2 6QD

Surveyor.

deLancies Chartered Surveyors
23 Delancey Street
London NW1 7NP

LIDAR Survey.

PointBIM
14 Trade Street
Cardiff CF10 5DT

1.2 EXECUTIVE SUMMARY

This Design Statement forms part of the planning application for the refurbishment and extension of 43 Arlington Road, a terraced house in the London Borough of Camden. The statement has been informed by Camden Council planning policy.

Please read in conjunction with the following drawings and reports that have been submitted as part of the planning application:

Existing: E0001, E0002, E0009, E0010, E0011, E0012, E0013, E0301, E0302, E0303, E0304, E0401, E0403

Proposed: 0002, 0009, 0010, 0011, 0012, 0013, 0301, 0302, 0303, 0304, 0401, 0403, FS622SK100

Heritage Statement - Built Works

1.3 PLANNING HISTORY

The following applications are recorded as having been sought by the previous owners of 43 Arlington Road.

2011/6157/P - REFUSED

'Erection of a single storey rear extension at lower ground floor level to residential dwelling (Class C3)'

2011/3358/P - REFUSED

'Erection of a single storey rear extension with gable roof at lower ground floor level to residential dwelling (Class C3)'

2004/2826/P - GRANTED (Not enacted)

'Demolition of existing single storey rear extension and erection of new larger single storey rear extension'

2

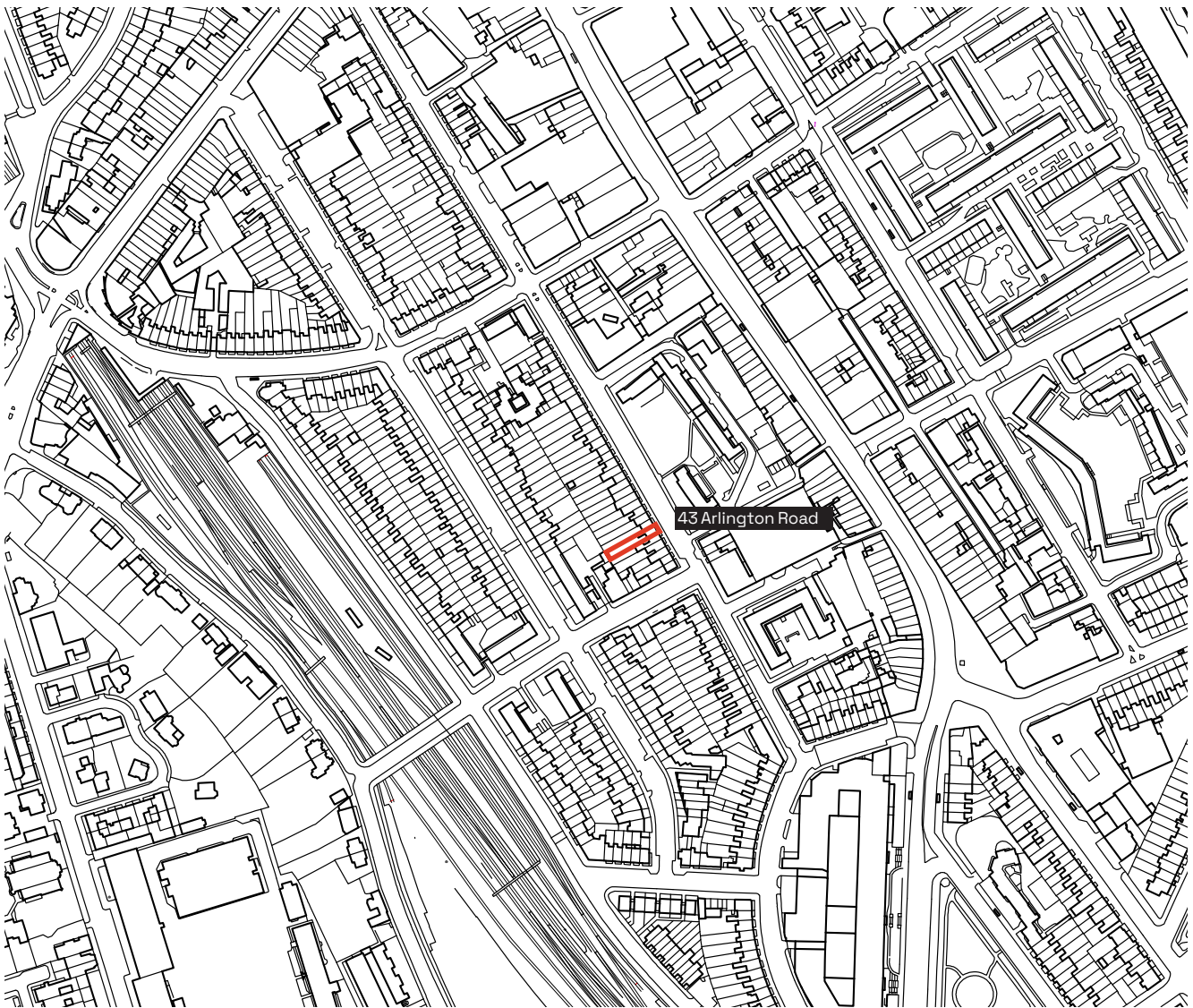
THE SITE

2.1 LOCATION

Arlington Road is located in Camden, North London, parallel and to the west of Camden High Street. The subject property at No.43 is sited on the west side of the road. The postcode is within the Regent's Park division, which is in the constituency of Camden. Camden Council are the local planning authority.

Arlington Road is lined with 2-3 storey early Victorian houses. On the "odd" (west) side of the street, the properties are predominately terraced, many of which

have had their rear elevations, gardens and rooflines developed. The opposite "even" (east) side of the street has modern and larger developments as well as Victorian houses.



Location Plan

Plan showing the local context and wider urban fabric. The site is outlined in red.



2.1 LOCATION

No.43 is Located within the Camden Town Conservation Area.

The property is Grade-II Listed.

Satellite Plan View - (Right) The property demise is outlined in red



Block Plan - The property demise is outlined in red



2.2 SITE HISTORY



Historic Map - 1870

Left: Map shows that in the 1870's Arlington Road and the surrounding Regents Park area was already well established. It is noted that the property at No.43 was constructed around 1840 according to its listing description. (See Chapter 2.4 for details).

Site circled in red.



Historic Map - 1890

Left: Map shows little change to the properties on Arlington Road in the 20 years between 1870 and 1890.

Site circled in red.



2.2 SITE HISTORY



Historic Map - 1950

Left: This map from 1950 which post dates WW11 shows significant areas of clearance following bomb damage during the blitz.



Historic Map - 1950's

Left: This WWII Bomb Census Map from the 1950's clearly shows the damage caused to surrounding properties. No.43 sustained some superficial damage, but otherwise remained largely unaffected.



2.3 THE EXISTING BUILDING

Right: Photo showing the front elevation of 43 Arlington Road (Seen here with a blue front door)

Below: Photo showing the rear elevation with its prominent chimney breasts



No 43 Arlington Road is a three bedroomed, mid-terrace house set over a basement, ground, first and second floors. The terrace is largely constructed from London Stock bricks, the ground floor of the front elevation is rendered.

At the front there are metal railings around a lightwell, leading up to the front door, with metal balconets across the first floor windows.

At the rear there is a garden measuring around 25m long with stock brick party walls. There is a non-original rear outrigger of a single storey built in the 1900s.

See the floor plans on the following pages for a more detailed break down of accommodation.

The gross internal floor area is around 129m².

2.3 THE EXISTING BUILDING

Condition Survey:

The condition of the building was recorded in June 2020 by deLancies Chartered Surveyors. The below are significant points summarised from the full report that will be addressed as part of the proposed works:

- Slated roof, particularly the rear roof slope, is in poor condition with slipped and cracked slates that can be replaced locally.
- the main roof is covered in artificial slates. These are potentially asbestos containing material (ACM). This roof is in OK condition but any work in this area needs to be done with full consideration of the ACM. For example improving the insulation here.
- guttering and downpipes show signs of past failure and require decoration in places
- the rear elevation and chimney stack requires repointing in places
- the sash windows require redecoration inside and out, some require re-balancing and ironmongery should be replaced throughout
- the small pitched roof into the front lightwell needs to be recovered and flashings improved
- paint to the rear elevation is showing signs of failure and should be removed
- damp ingress is apparent in the under-pavement vault and elsewhere at the lower ground floor and should be addressed
- mechanical ventilation for kitchen, WCs and bathroom needs to be in place
- internal reinforcement and skimming of plaster walls and ceiling may need to be considered
- the boiler looks to need replacing

Laser Scan (LIDAR) Survey:

Chartered Surveyors PointBIM have carried out a 360 photo survey and Laser Scan of the entire site, with a 3D draw up in BIM (Revit).

BIM has been for the project incorporating English Heritage conservation principles and RIBA Conservation milestones into the Plan of Work stages as is best practice.



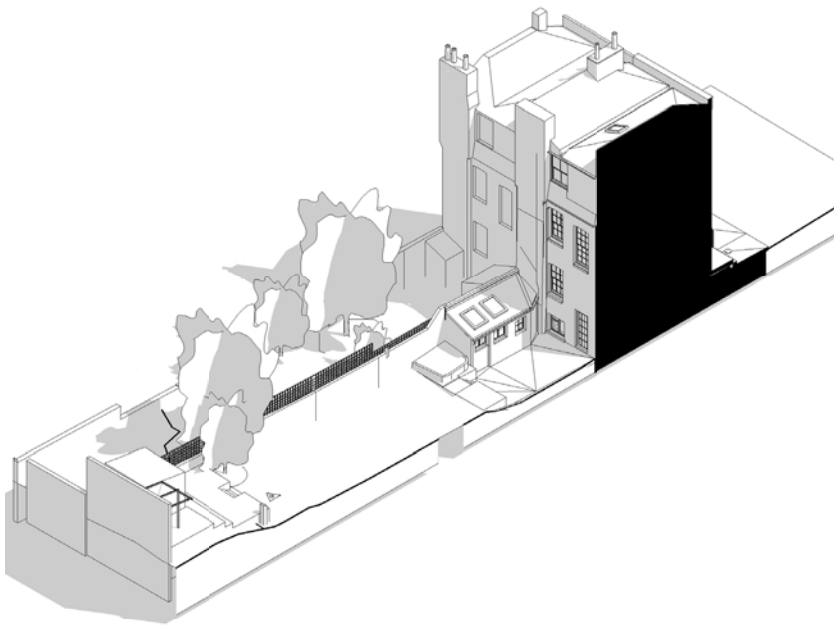
Top: Aerial photo of No.43 taken from the South West.

Above: Aerial photo of No.43 taken from the North East.

Below: Screenshot of point cloud data for whole site scan of 43 Arlington Road.



2.3 THE EXISTING BUILDING



3D View (South West)

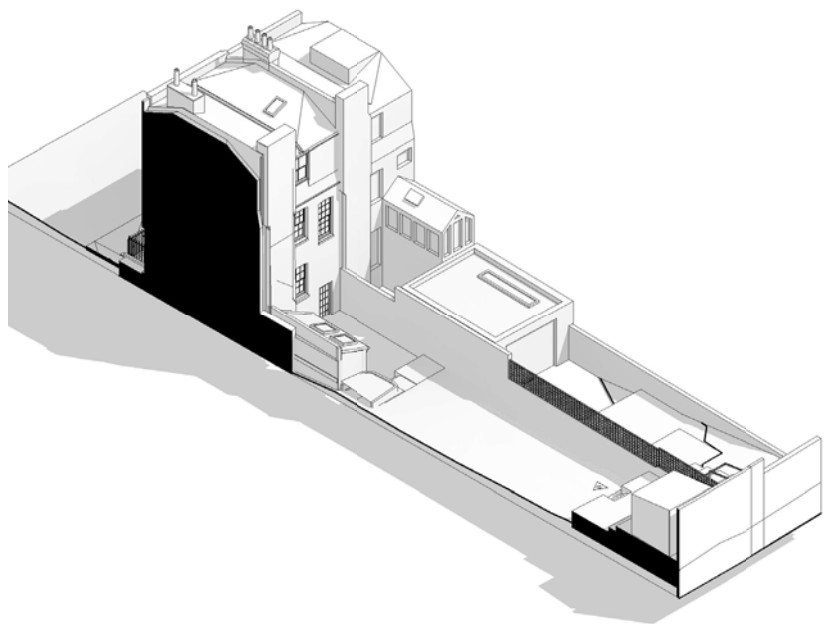
No. 43 Arlington Road forms part of a terrace of dwellings built ca.1840.

The house is predominately of brick construction. The front street facing elevation is recognisable as an early Victorian North London town house. A large parapet to the front elevation disguises the profile of the butterfly roof behind.

➤ A small outbuilding to the rear of the building, currently used as a utility room, is thought to date from the 1900s. This outbuilding sits adjacent to the original building and can be accessed internally via a set of steps from the lower ground floor.

The upper portion of the rear elevation of the terrace has an idiosyncratic appearance, described in the Camden Town Conservation Area Appraisal & Management Plan thus:

‘The listed terrace of houses have a very distinct local roof form: behind the front parapet, the valley roof is hipped towards the back and continued in slate to form the top floor, with large chimney stacks on the rear elevation. This pattern gives rise to a characteristic and distinctive vertical emphasis, the masonry stacks alternating with the slated mansards and long stair windows. Most roofs are intact and can be viewed from Mornington Street’

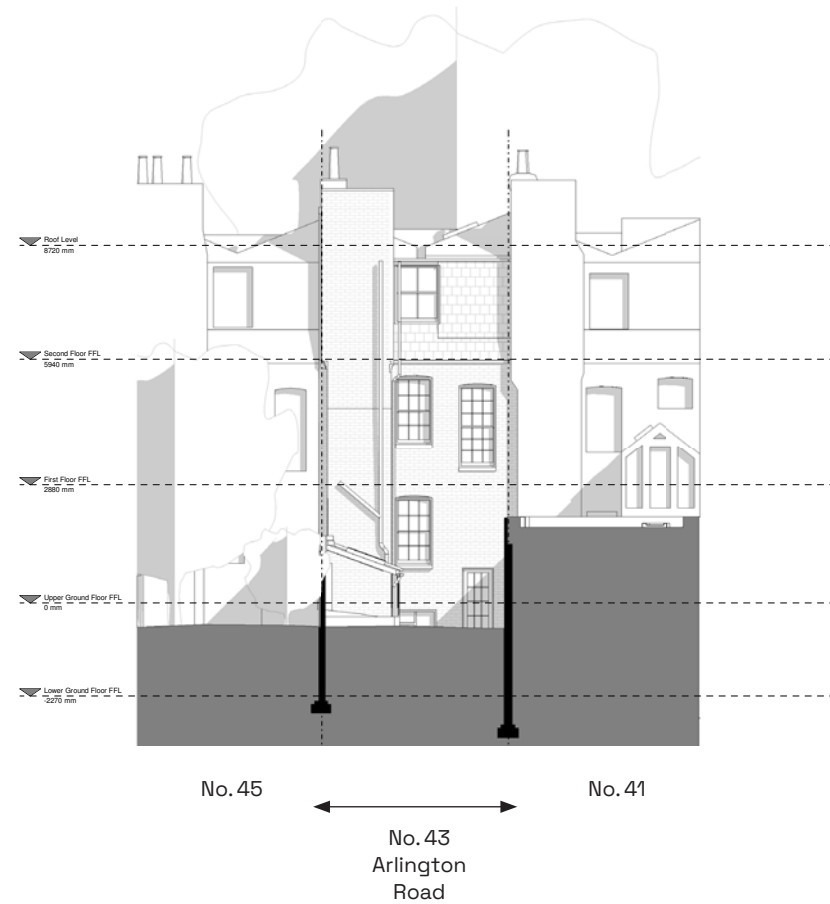


3D View (North West)

2.3 THE EXISTING BUILDING



Front (E) Elevation



Rear (W) Elevation

2.4 LISTED BUILDING STATUS

The below text is the Historic England List entry for the terrace of houses that No.43 Arlington Road sits.

Heritage Category: Listed Building

Grade: II

List Entry Number: 1244687

Date first listed: 11-Jan-1999

Statutory Address: NUMBERS 39-51 AND ATTACHED AREA RAILINGS, 39-51, ARLINGTON ROAD

TQ2983SW ARLINGTON ROAD 798-1/83/1856
(South West side) Nos.39-51 (Odd) and attached area railings

Terrace of 7 houses. 1840s. Stock brick with rendered ground floors, basements and parapets, Nos 39 and 41 divided by pilaster strips. Slate roofs with party wall stacks. 2 windows wide with doors to left, 3 storeys and attics. All windows are 12-light glazing bar sashes in moulded architrave surrounds, those to first floor with cast-iron balcony fronts. Panelled doors in moulded doorcases with square toplights, those to Nos. 39, 41 and 51 with tracery. Nos. 47 and 49 with semi-circular toplights, that to No. 49 with tracery. Nos. 47, 49 and 51 with raised attic storey of late C20 which is not of special interest.

Interiors: Not inspected.

Subsidiary Features: Railings with spearhead finials to areas.



Above: Rear elevation of No.43

Below left: Front elevation of No.43, with No.41 to the left and No.45 to the right.



It is important to note that the listing applies to buildings and other structures that pre-date July 1948 and are within the curtilage of the building. Not just the characteristics mentioned within the listing. It is therefore assumed, as there is no contrary evidence, that the listing also applies to the small non-original rear extension and garden walls.

Although the rear elevation is not mentioned specifically in the listing, the Planning and Conservation Officers have reported on past planning applications that the 12-light glazing bar sashes and the chimney on the rear elevation are of historical and conservation interest and should not be obscured or removed. The same can be said of features such as cornices, skirtings, architraves, and other interior finishes.

2.4 LISTED BUILDING STATUS

Within the terrace that No.43 is a part, houses No.39 - No.51 are included within the same listing. Whilst being Grade-II listed, and within a conservation area allows greater protection for the property in terms of conservation, the intention of conservation is not to preserve or return the building to the state it was in when first built in the 1840s. The ad-hoc alterations and additions made over time form a part of the character and story of the building and setting. This is important as applications are often rejected for the clumsy proposals to demolish non-original features. Any alteration needs to be carefully considered and justified.

There is a recent history of successful planning applications for rear extensions to houses in the terrace:

No.35 - 2017/5700/P

No.37 - 2006/0955/P

No.39 - single storey rear extension, no planning history

No.41 - 2017/4350/P

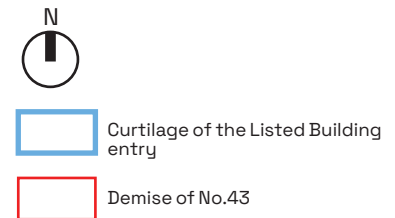
No.43 - 2004/2826/P (see planning history below)

No.47 - 2011/0723/P & 2006/2453/P (both not built)

No.49 - single storey rear extension, no planning history

No.51 - 2008/5398/P & 2008/0271/P

No.53 - 2007/6422/P

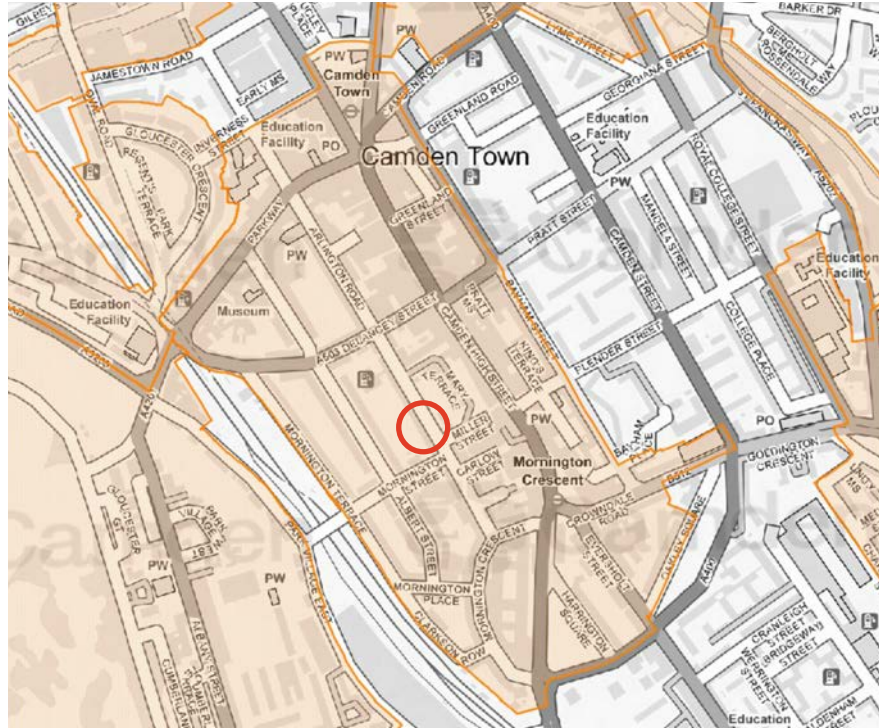


Above: Block plan showing No.43 in the context of the Listed Building curtilage

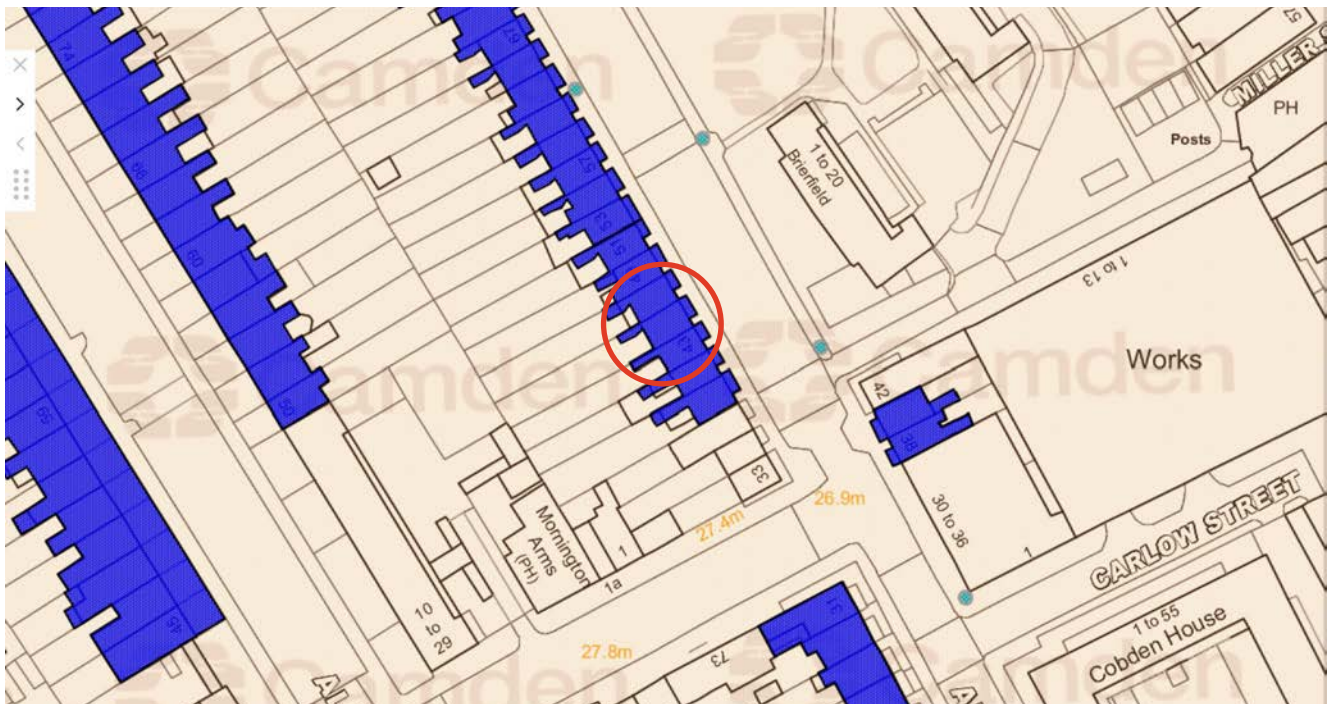
2.5 PLANNING CONSIDERATIONS

The site (circled in red) sits within the Camden Town Conservation area.

There is currently no neighbourhood plan adopted for this part of the borough.



Above - Conservation Area Map Outlined in Yellow. Site highlighted in red circle



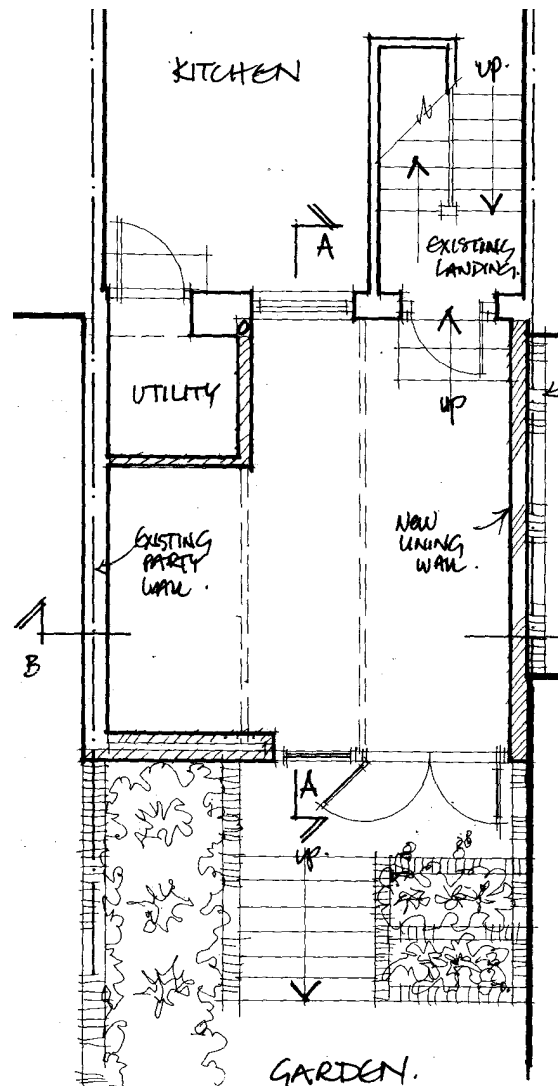
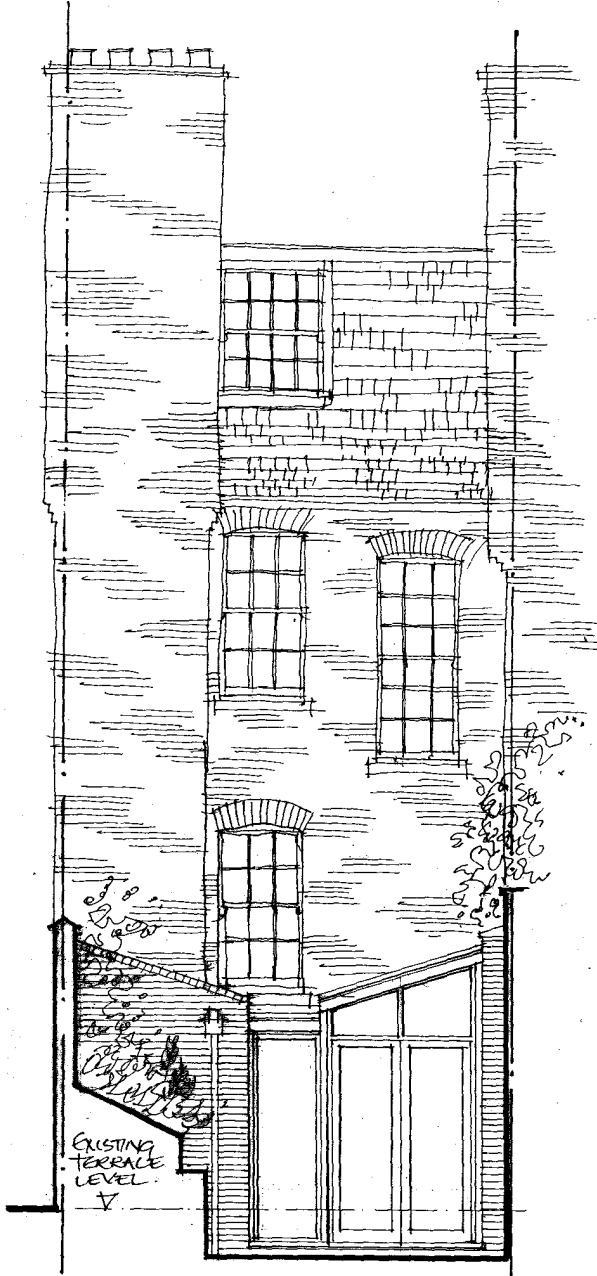
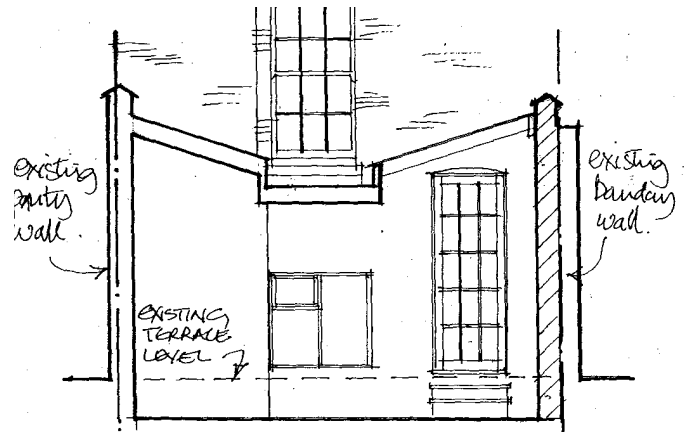
Above - Map showing listed and locally listed buildings



2.6 PLANNING HISTORY

2004/2826/P

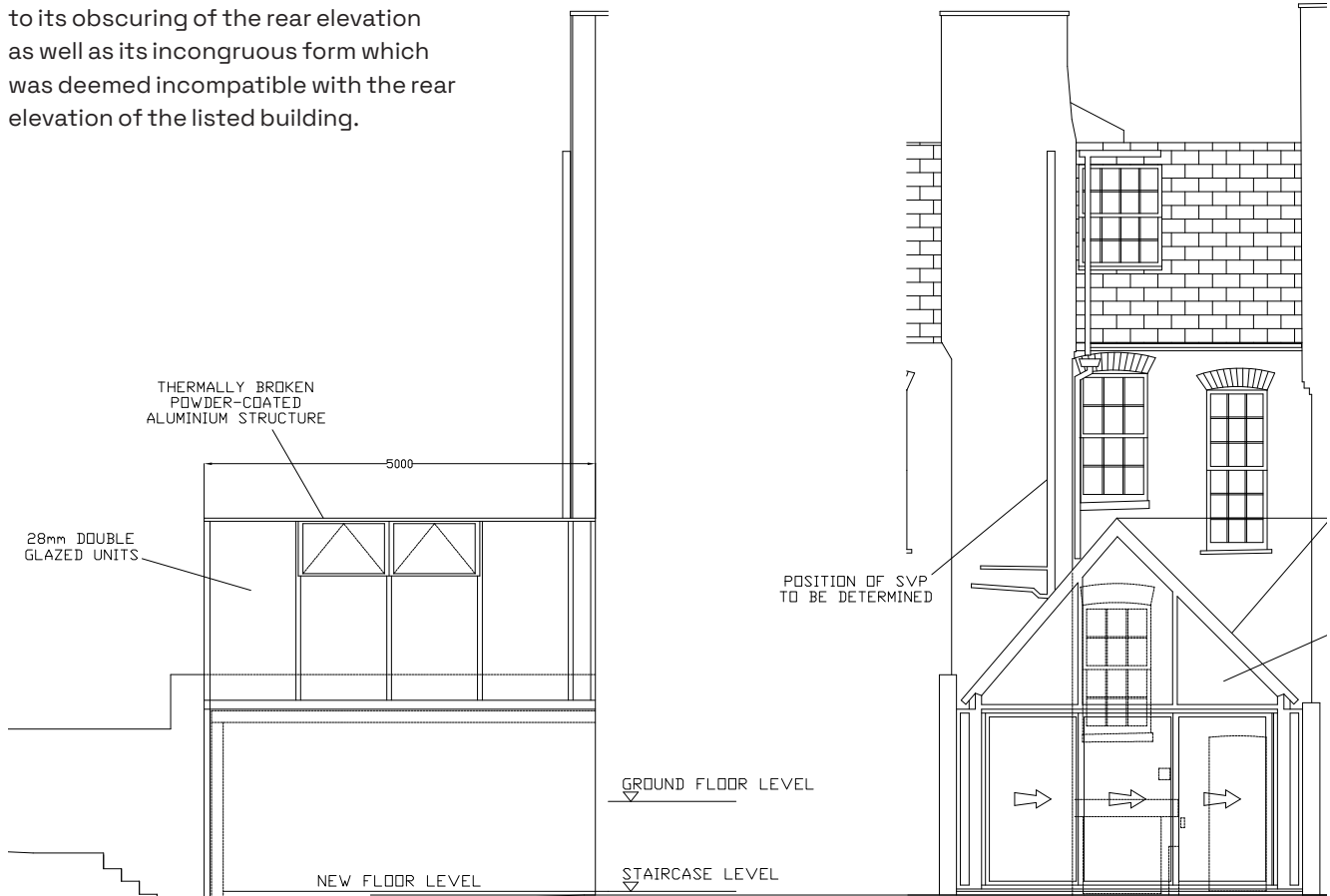
This 2004 application was granted for a modest rear extension with a butterfly form roof that dropped below the cill of the ground floor rear window. Significantly it proposed the demolition of the rear outrigger extension.



2.6 PLANNING HISTORY

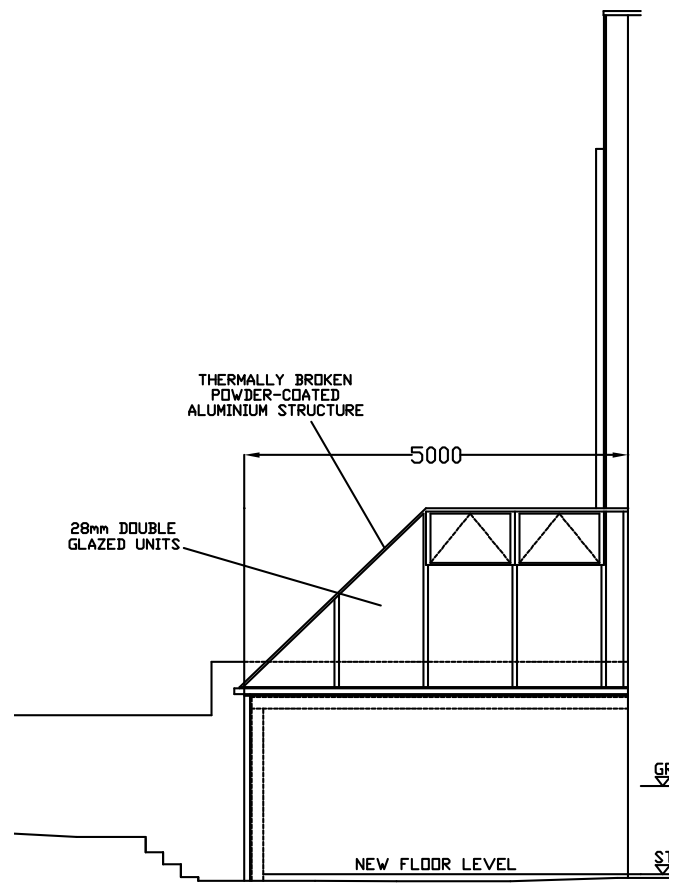
Below - 2011/3358/P

This 2011 application was rejected due to its obscuring of the rear elevation as well as its incongruous form which was deemed incompatible with the rear elevation of the listed building.



Right - 2011/6157/P

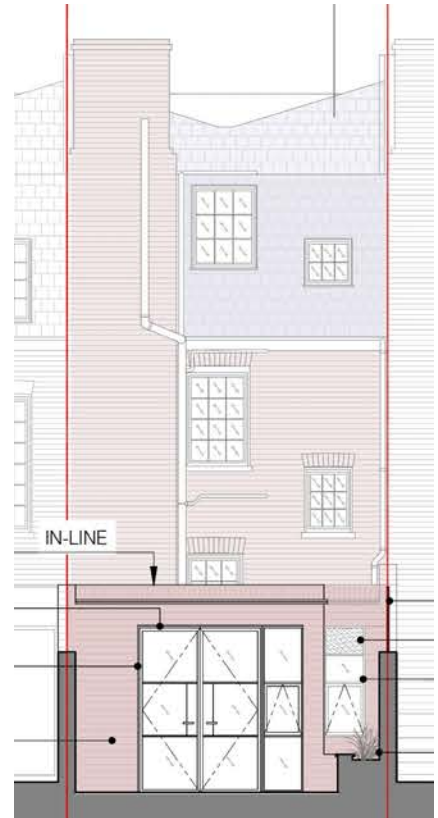
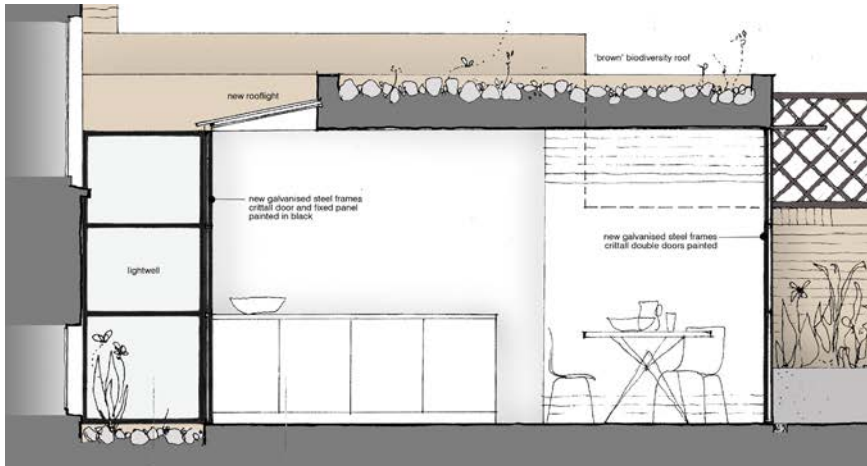
The application was slightly amended in late 2011 to create a 'hipped' roof. This was also rejected on similar grounds.



2.6 PLANNING HISTORY

Below - No.35 - 2017/5700/P

Although not listed, a sensitive approach has been taken to step the extension away from the rear elevation with a small courtyard



Right - No.41 - 2017/4350/P

The immediate neighbour to the south of No.43, No.41, has received planning permission for a number of substantial alterations to the rear. No.41 has a new part 2 storey, part 1 storey rear extension with courtyard. No.41 is included in the same Grade-II Listing as No.43.

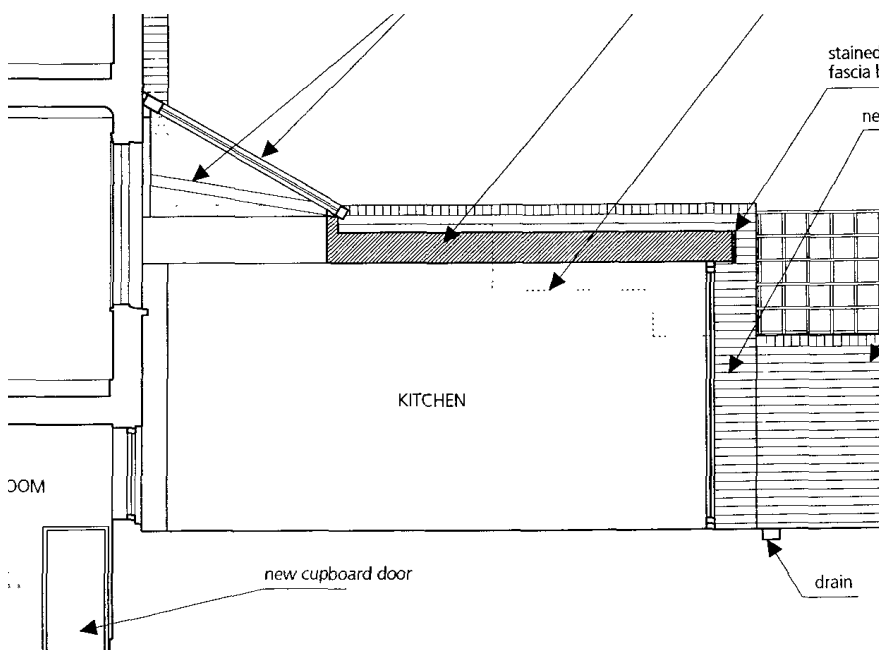
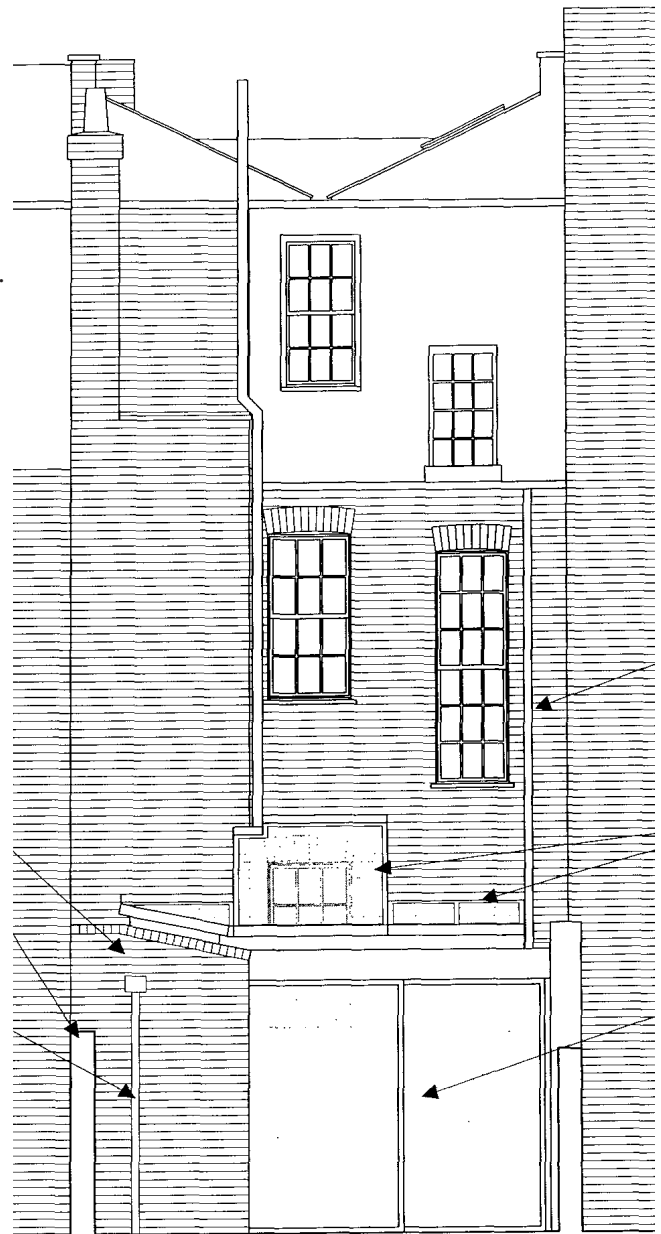


2.6 PLANNING HISTORY

No.37 - 2006/0955/P

No.53 - 2007/6422/P

Both No.37 and No.53 are not listed, however, they have both taken a similar approach in retaining the ground floor rear window, but creating a glazed pitched enclosure to create an interior feature of it. This protects the building fabric, but not the appearance from the conservation area.

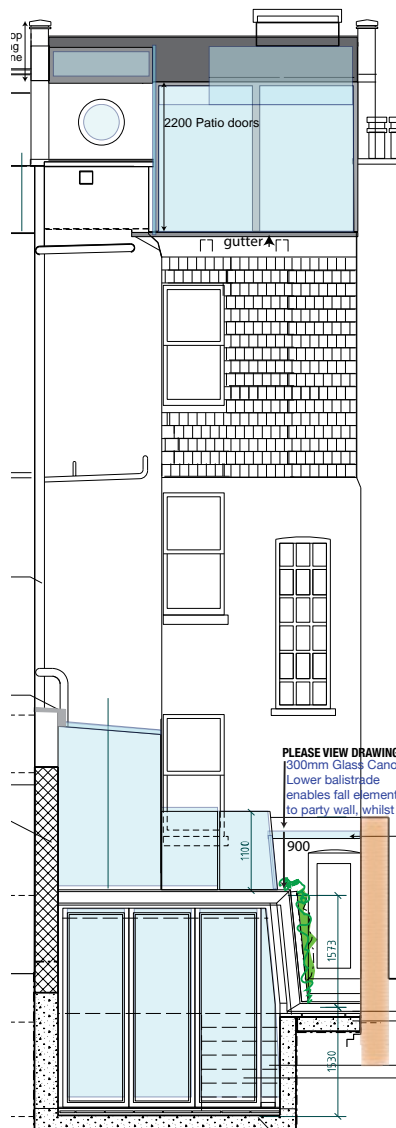
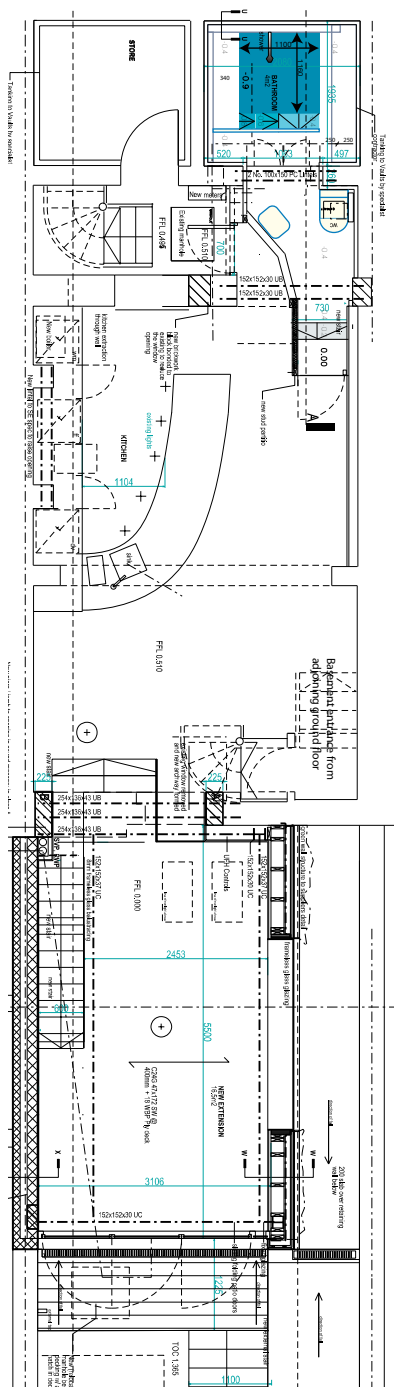


2.6 PLANNING HISTORY

No.51 - 2008/5398/P

Significant works have been proposed and granted at No.51 which is listed.

The upper plan on the right is an earlier granted scheme, and the lower plan is a revised scheme. It appears planning was originally granted to demolish most of the basement rear elevation, but this was amended. It is also worth noting that the extension here is excavated to the same level as the existing basement.



No.47 - 2011/0723/P

Although granted in 2011 and despite a number of revisions this scheme has not yet been built.

It proposed a number of significant alterations, particularly at basement level to the original building. The proposed rear extension appears an odd shape and requires rather deep excavations.

2.7 DESIGN CONSIDERATIONS

The Existing Building

All proposals are to be heritage-led. Enhancing the character of the original building through retaining and renovating both internal and external period features and upgrading the environmental performance of the building as a whole is a core part of the brief. This includes reinstating the original proportions of rooms at basement and first floor as well as reinstating a natural slate tiled butterfly roof in place of the existing man-made slate roof.

Party Walls

Certain elements of the work, although minor in nature, will fall under the Party Wall Act 1996 and the relevant Party Wall notices will be issued to the adjoining owners outlining the proposals. This will be once investigation surveys into party wall structure and soil conditions have been carried out and detailed design work to confirm the extent of construction that will be required at the property boundary. These investigation works are a part of this planning application.

New Construction

All new construction is to draw on the original details and character of the building, as well as compliment its materiality. However, new construction will be a contemporary response to these aspects. Any new construction is to be of high quality design and construction in order to enhance the visual amenity of the house and vastly improve the environmental performance. All new construction will not be visual from the public realm, preserving the character of the conservation area.

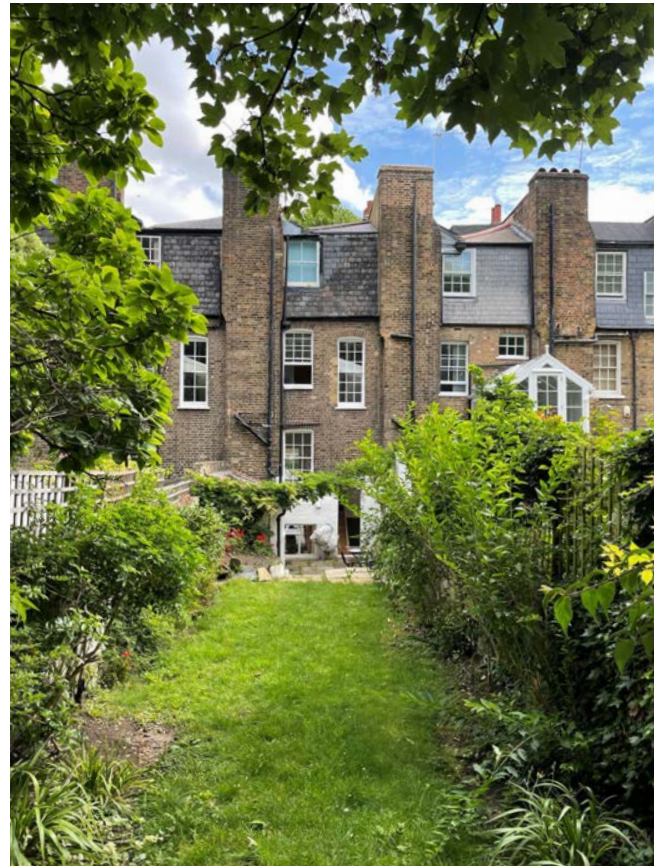
The Garden

The garden is to be maximised as an amenity space for the owners. As such the new lower ground floor extension will extend just 2.45m from the line of the existing outbuilding. The garden will be sensitively landscaped to allow direct access from the lower ground floor living spaces.

Neighbours

The proposals will not create additional enclosure or overshadowing to neighbouring property, due to the new extension sitting entirely below the level of the existing party garden walls.

Visual amenity for neighbours is protected by the use of high quality materials and a green roof.



Above -
Existing view of the garden showing the rear elevations of nos. 39-45 Arlington Road

2.7 DESIGN CONSIDERATIONS

Design Constraints

Further to the primary concern of enhancing and conserving the Heritage Asset, there are number of constraints that have influenced the proposed design for the lower ground floor rear extension

1. Providing direct access to the garden from the living spaces - at present the garden is accessed from the staircase at a half landing level

2. The height of the party garden walls - to protect neighbouring amenity, the additions will sit below the level of the existing boundary conditions

3. The original sash window at upper ground floor level should not be altered or obscured

4. Reduction in the amount of excavation and underpinning works to reduce the impact on the listed structures

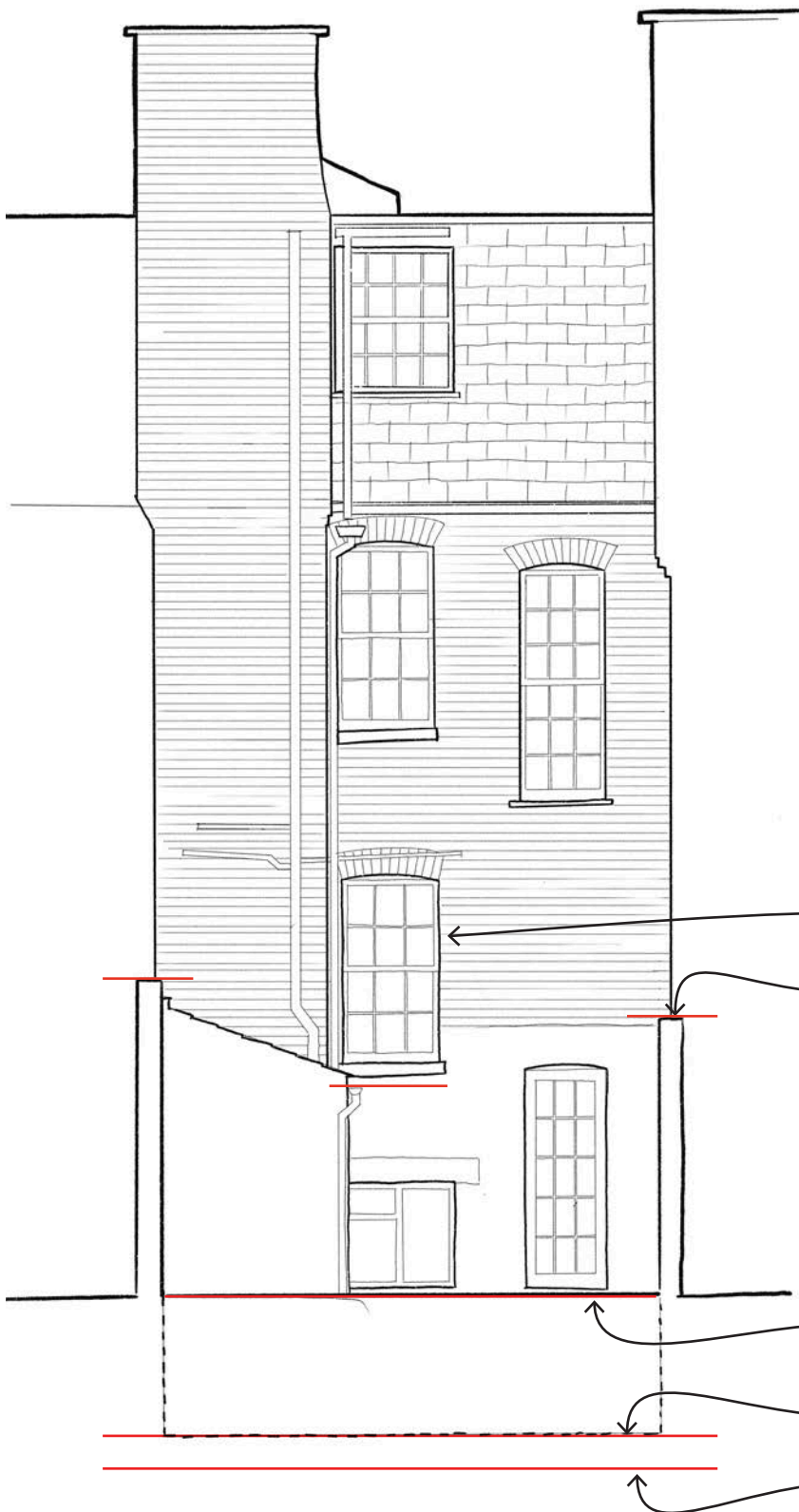
Distinctive features of the rear elevation such as original windows should not be obscured or altered

Party wall heights

Existing external floor level

Internal lower ground floor level

House foundations and party wall footing depths



Existing Rear Elevation:

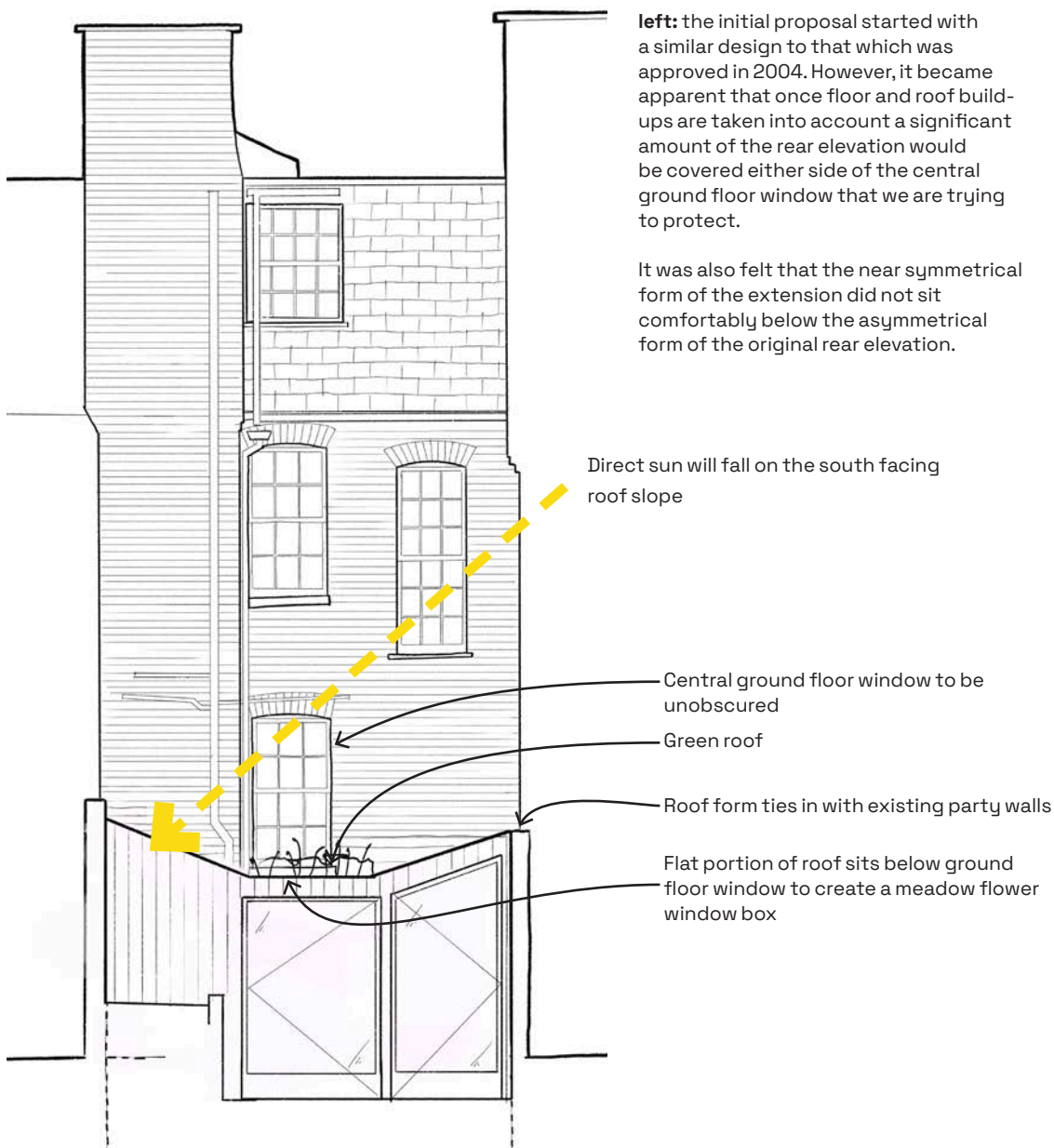
The proposed extension must sit within the parameters and constraints of the existing in order to protect the listed building as well as neighbouring amenity.

3

PROPOSALS

3.1 DESIGN DEVELOPMENT

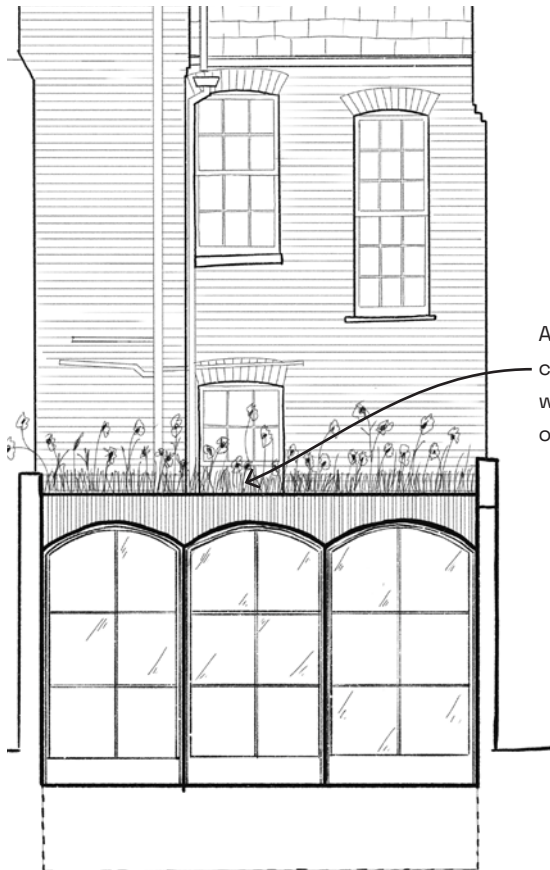
There has been a thorough design process in the development of this project. This process started with an assessment of the existing building and the development of a Conservation Statement (see Heritage Statement). There have been a number of options developed, reviewed and assessed along the way. Below is a summary of some of these options and iterations, and the decision making process that has lead to the development of the proposals as presented in this DAS and planning application.



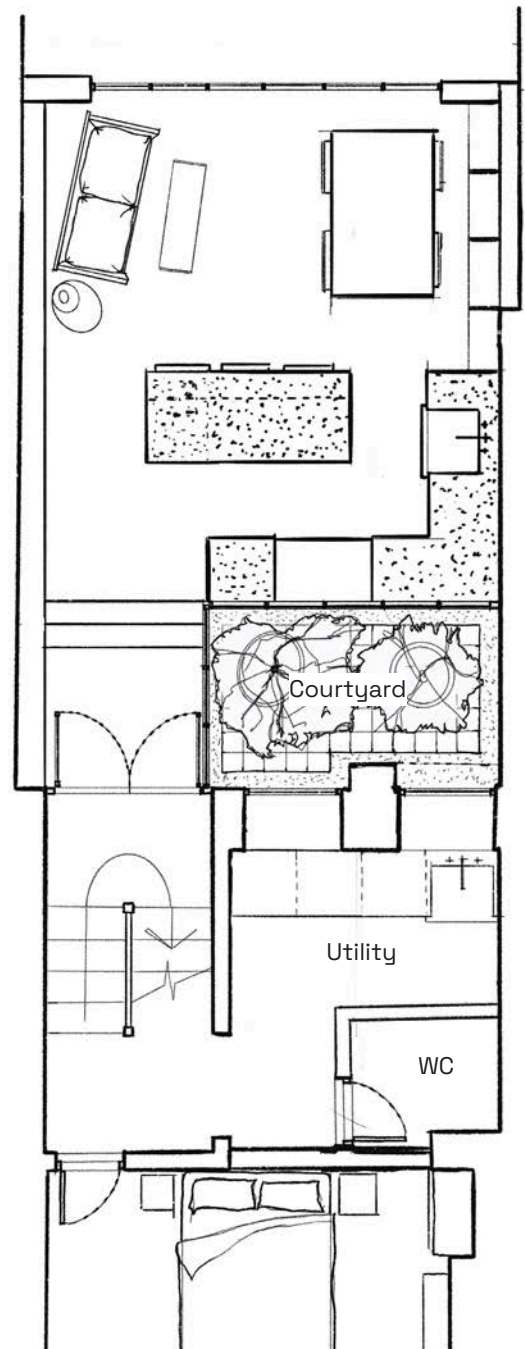
Design Iteration 01

In order to minimise the amount of excavation that is required at the rear of the house an option that incorporated a courtyard was reviewed. A courtyard would step the extension away from the rear of the house, meaning the central ground floor window can remain intact. However, the view of that significant heritage feature is obscured from the rear garden.

This option would also result in a convoluted “up to go back down” link between the extension and the WC facilities that would be in the lower ground floor of the original house. As a family home this is not a viable option.



Although intact; the central ground floor window would be obscured.



Existing chimney and opening to outrigger exposed

Space for a dining area or kitchen with light from the courtyard

right: an initial sketch showing the glazed courtyard at the centre of the plan. The courtyard would be a brilliant feature at the heart of the house, creating views of the historic rear elevation from the new extensions kitchen or dining space, as well as providing ventilation and light to the pantry and utility room



Design Iteration 03

It was determined that the best approach in terms of conservation and access would be to nestle the new extension down to sit below the most significant features of the rear elevations, as well as being at the same floor level as the original lower ground floor.

These are two elevation designs for a scheme in which the extension share the same floor level as the original house.

The elevation on the left developed into the elevation on the right. An issue with building the new extension at the same level as the rest of the house is arranging how it is accessed. A raised portion of roof is required to achieve the required head height to enter the extension through the existing opening that is currently used as the door to the rear garden.

The final proposal omits the roof terrace and the fall protection as it obscures the view of the original house.



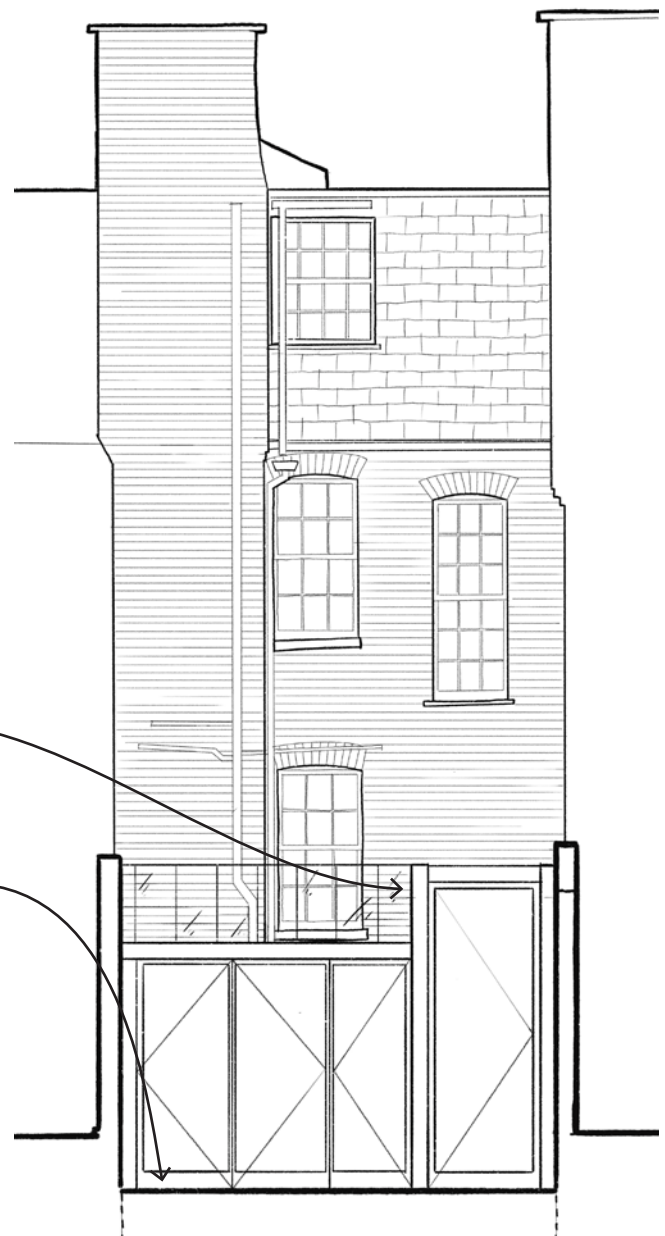
Design Iteration 04

Flat roof line sits below the cill level of the ground floor window and party walls

Raised portion of roof is required to clear the existing rear door opening for access into the extension from the existing half landing.

Extension floor level at the same level as the original house

The iteration of the design shown on the right here worked in principle; in that safe and clear access was provided from the existing house and all significant heritage features were retained. In taking this design forward we worked on the expression of the rear elevation in terms of form and materiality.



Design Iteration 05

3.2 PROPOSALS & SCHEDULE OF IMPROVEMENTS

A separate Heritage Statement has been prepared for submission alongside the DAS. The Heritage Statement includes a heritage significance appraisal, Conservation Statement and a full schedule of proposed works with mitigation and justification measures that have been taken.

Proposals

The works outlined in this document are intended to be carried out as a single construction package to minimise disruption and to allow the owners to move back in to the property with their young children as soon as possible.

The Brief

The clients are commissioning works to their home to improve the quality and functionality of the existing space for their young family to live in for the foreseeable future. The client moved to No.43 Arlington Road because they love the character of the building, and the history it represents. This history is to be preserved and enhanced wherever possible. However, there are aspects that require modernising to meet modern family life; such as access to natural light, a larger kitchen, and better WC facilities. As well as thermal comfort and security. Any alteration should respect the historic character of the building.

The period features of the house, both internally and externally, are to be retained, celebrated and renovated.

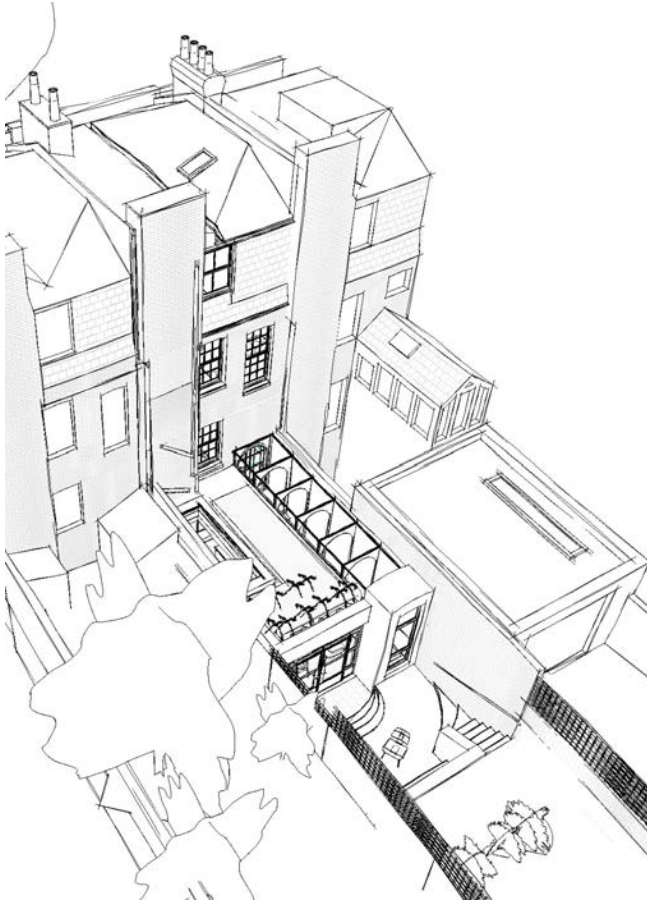
Any alterations are to be of a high design standard and quality construction to create new amenity space for the family's changing needs.

Schedule of Improvements

The below schedule lists the proposed works that improve the environmental performance and the visual amenity of the Heritage Asset to the benefit of the client and neighbouring properties, as well as the wider conservation area as a whole.

1. Existing man made tiled roof coverings removed, roof structure insulated, and re-surfaced with reclaimed natural slate to match existing.
2. London stock bricks repointed and repaired as required
3. New green roof over lower ground floor extension improves outlook and biodiversity
4. New lower ground floor extension to be high performing in terms of thermal insulation reducing overall energy use of the family home
5. Existing timber sash windows refurbished and / or replaced [depending on condition] to allow the installation of double glazing, improving the thermal performance and energy efficiency of the home whilst conserving the appearance of the heritage asset
6. Lower ground floor layout reconfigured and extended to allow greater access to the rear garden from the family living spaces
7. Lower ground floor layout reconfigured to reinstate the original proportions of the street facing room
8. First floor en-suite removed to reinstate the original proportions of the family bathroom

3.2 PROPOSALS



left: aerial sketch showing the proposals at the rear of the original house.



right: sketch view from the rear garden showing the new extension nestled below the significant features of the rear elevation and the existing level of the garden walls.

3.2 PROPOSALS

Lower Ground Floor

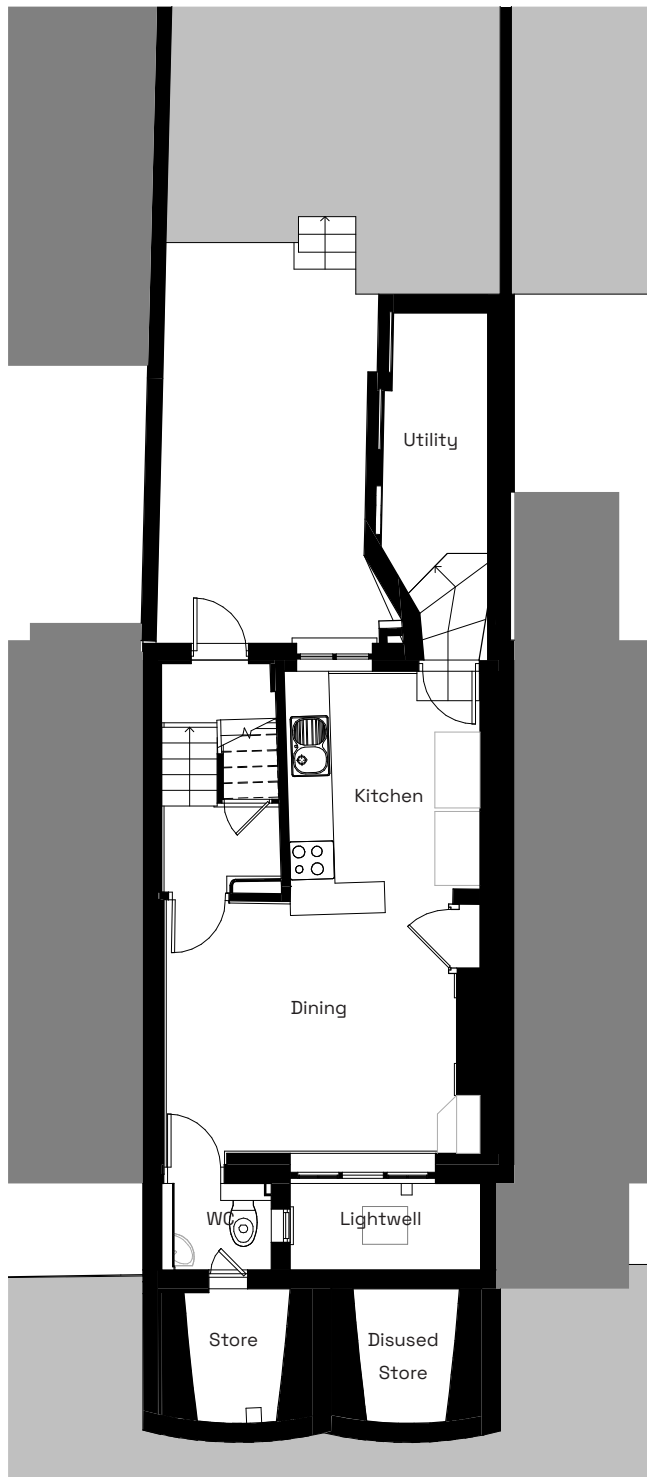
The non original outbuilding (currently used as a utility room) is removed and replaced with a new high quality energy efficient extension; providing space for an open plan kitchen and dining room with direct access to the garden which will meet the needs of modern family living.

The new extension is to be at the same level as the existing lower ground floor level to ensure level access.

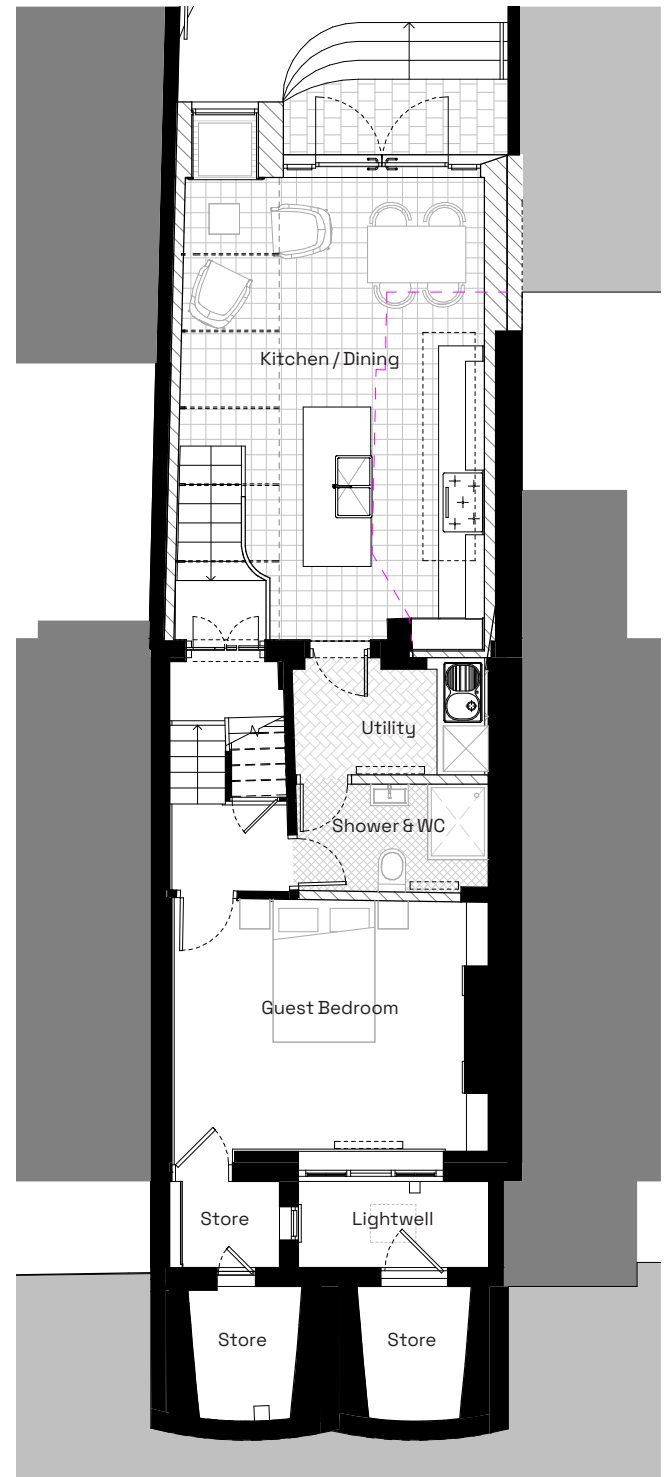
The layout of the existing lower ground floor is reconfigured to allow for a new guest bedroom / home working space which reinstates the original proportions of the room.

A new staircase connecting to the existing half landing between lower and upper ground floors allows direct access to the new extension as well as views to the garden.

A new utility and en-suite are located within the existing kitchen.



Existing Lower Ground Floor Plan



Proposed Lower Ground Floor Plan

3.2 PROPOSALS

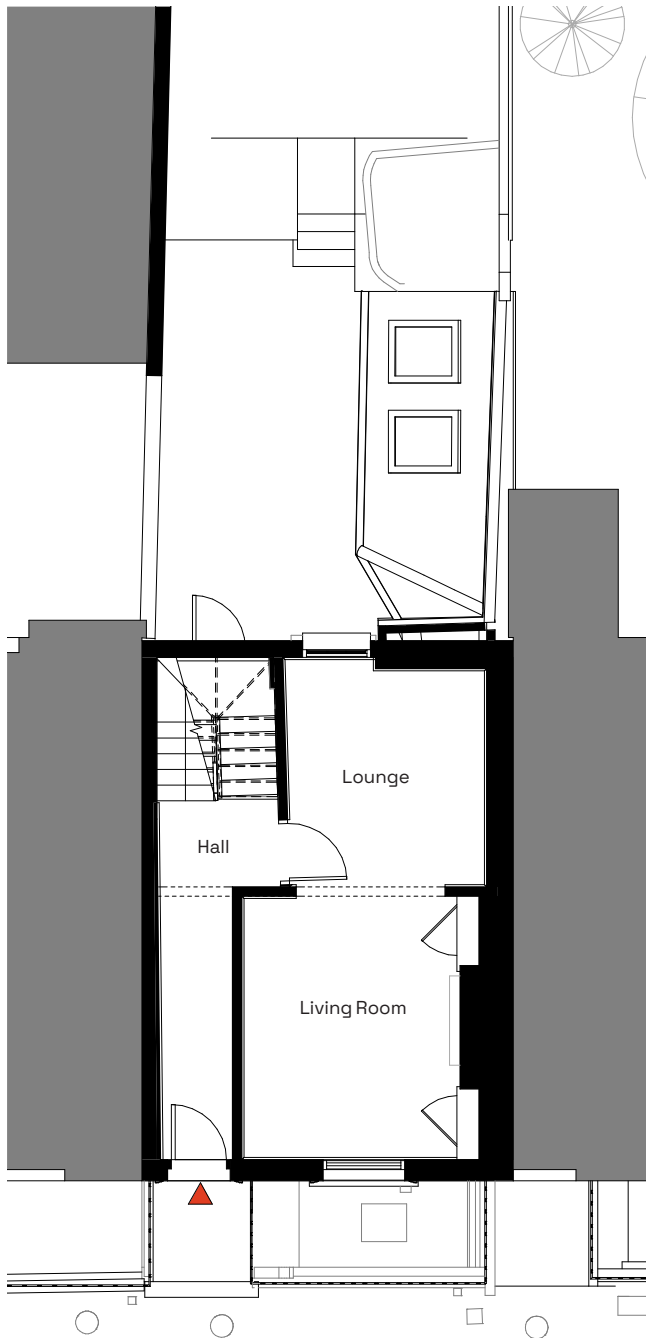
Upper Ground Floor

A new opening between the existing living room and hallway is proposed to improve the usability of the narrow hallway for a family with young children. This glazed door will also improve the natural light and accessibility across the floor.

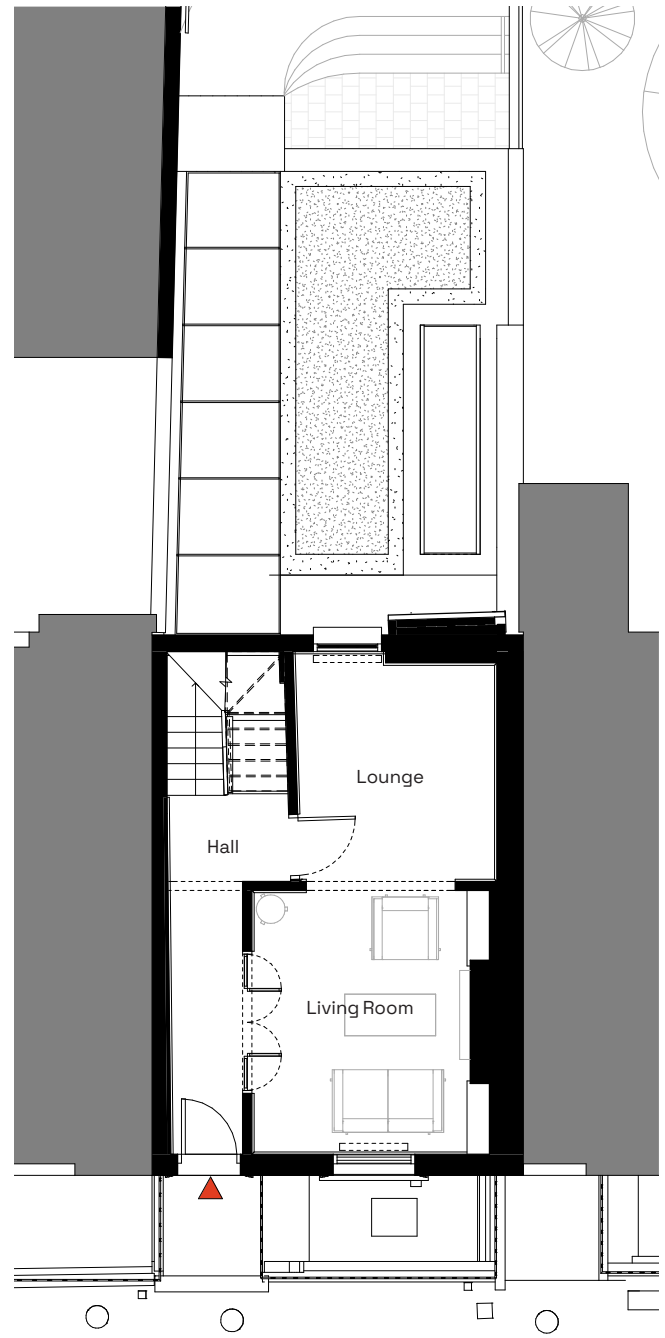
The lower ground floor extension roof level sits at upper ground floor level, the green roof ensures protection of

visual amenity for occupants as well as neighbouring dwellings.

The window facing Arlington road is to be refurbished to allow the installation of double glazing. The window within the existing lounge is in poor condition and will be replaced with a double glazed sash window to match the existing.



Existing Upper Ground Floor Plan



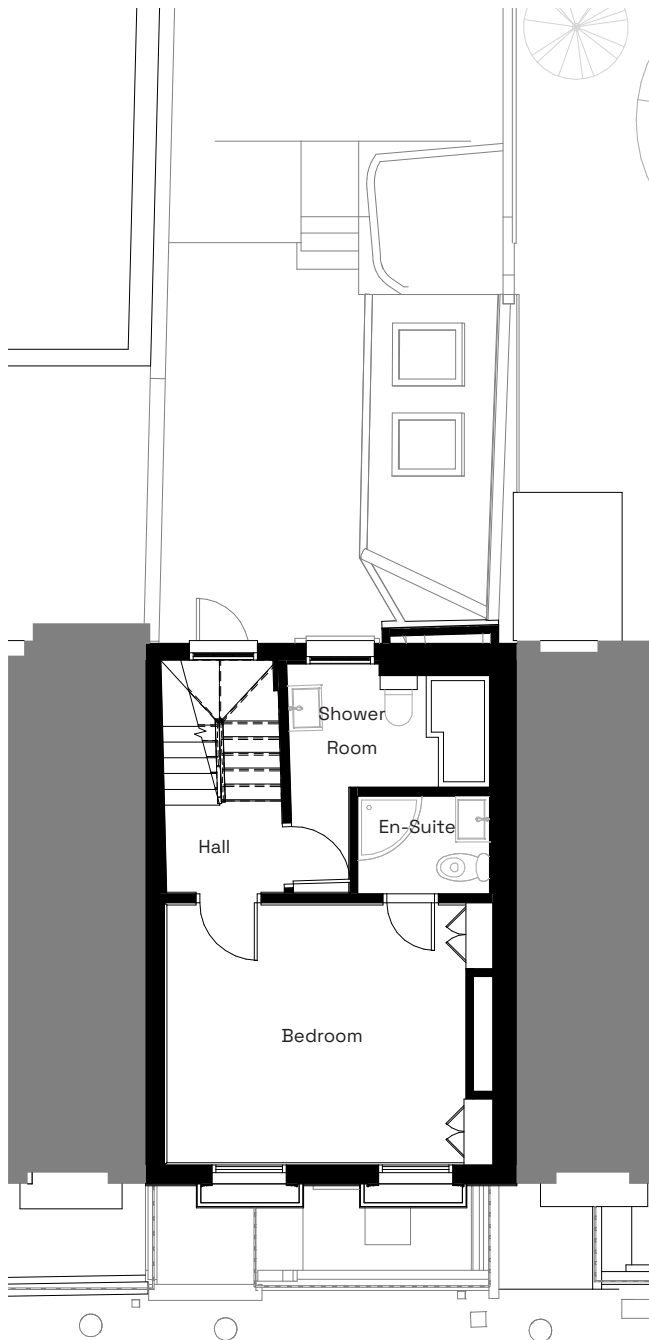
Proposed Upper Ground Floor Plan

3.2 PROPOSALS

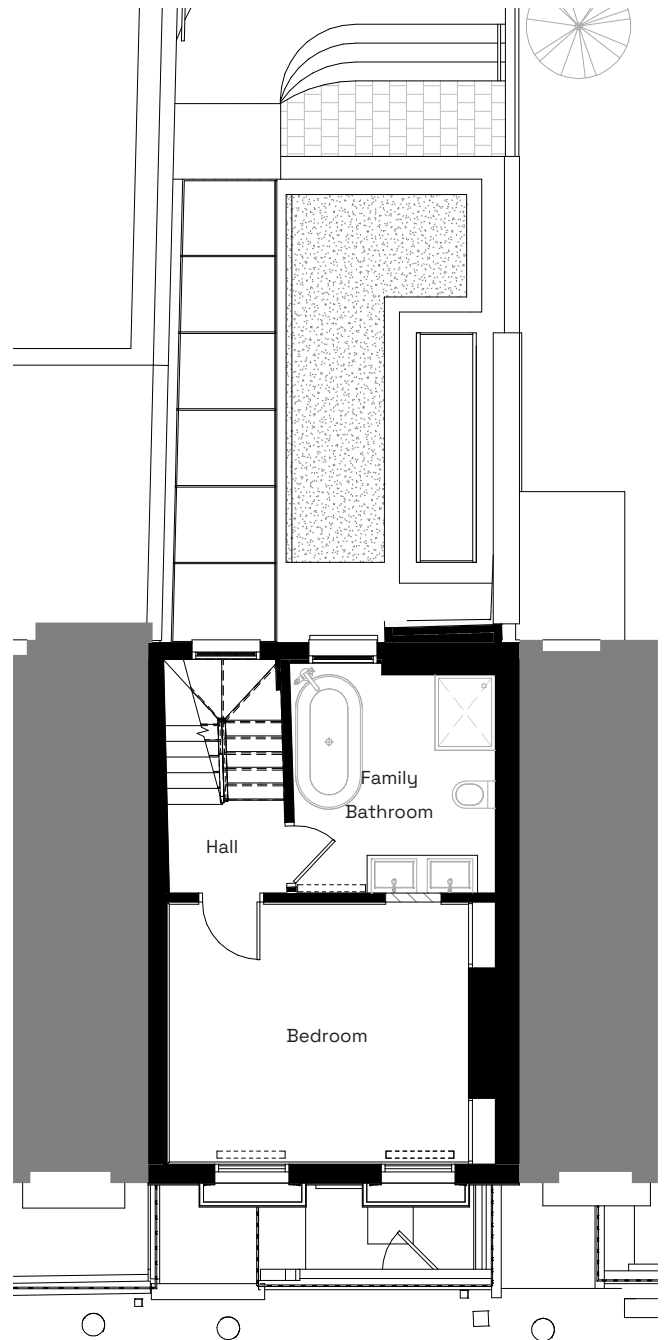
First Floor

The modern partition forming an en-suite is to be removed and the door from the principal bedroom infilled. This will reinstate the original layout on this floor, and provide a generous family bathroom for the young family who occupy the property.

All windows at first floor level are to be refurbished to allow the installation of double glazing.



Existing First Floor Plan



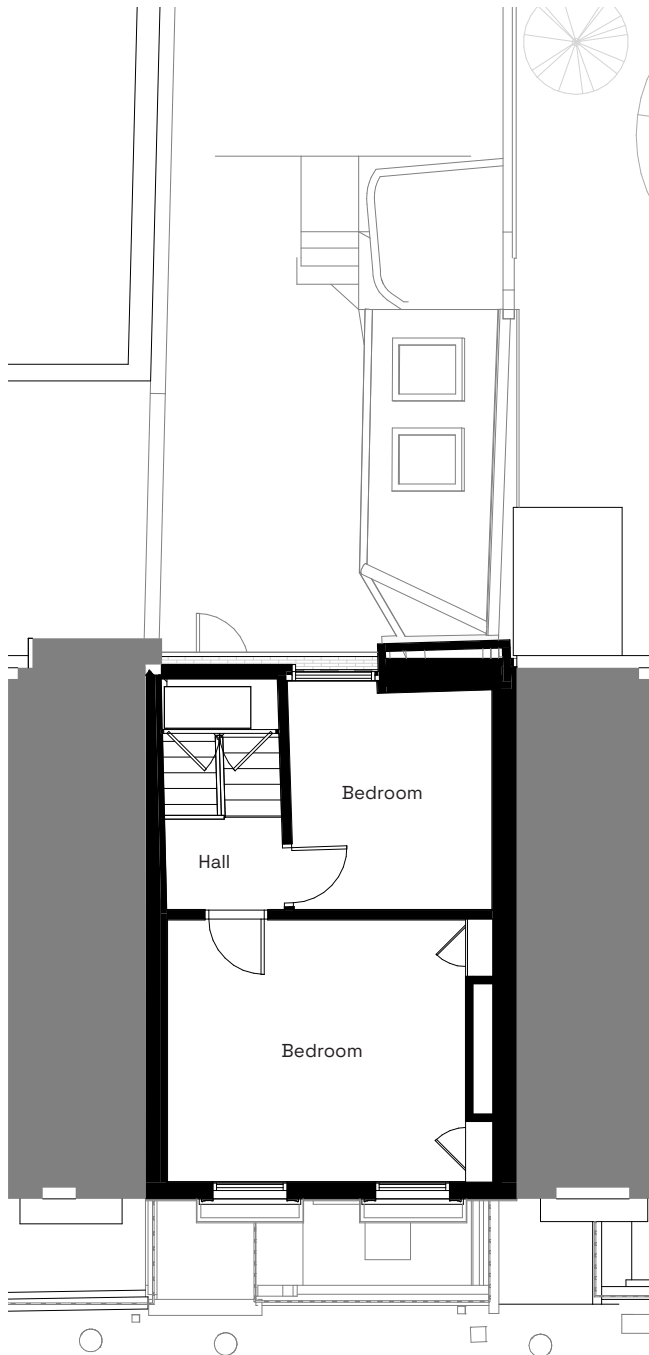
Proposed First Floor Plan

3.2 PROPOSALS

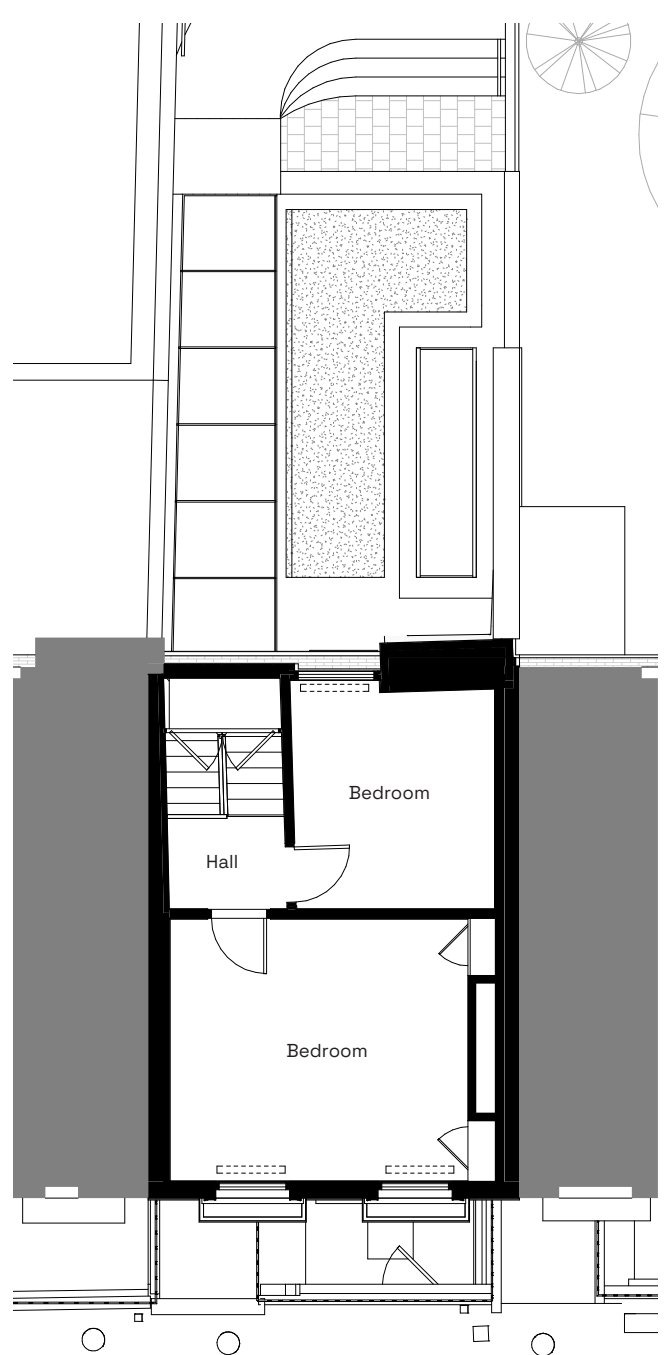
Second Floor

No works are proposed internally at second floor level.

All windows are to be refurbished and upgraded to allow the installation of double glazing within the original frames.



Existing Second Floor Plan



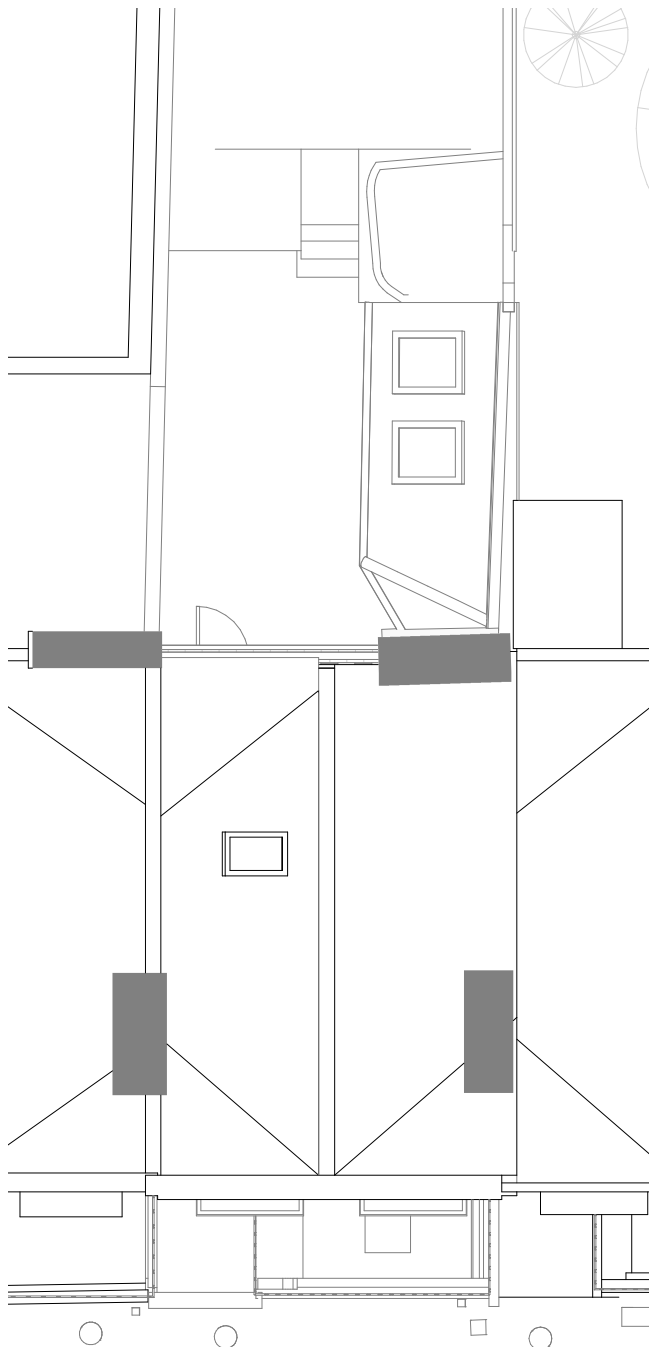
Proposed Second Floor Plan

3.2 PROPOSALS

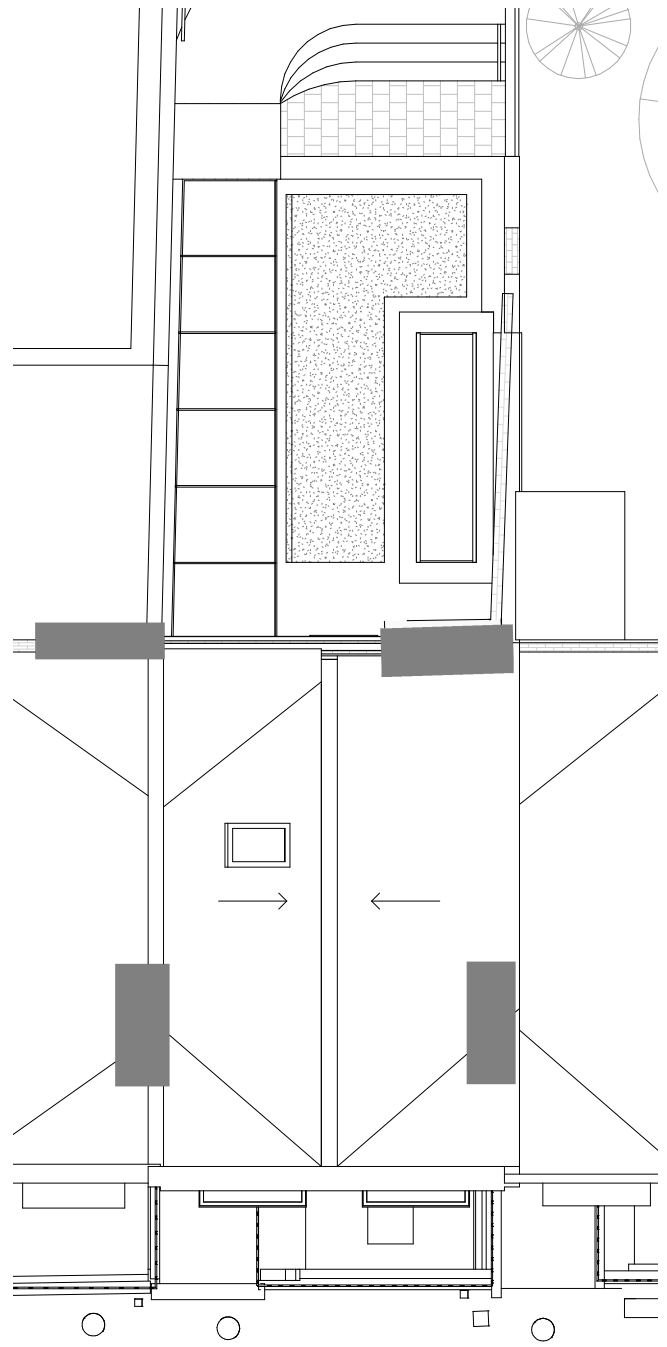
Roof

The existing butterfly roof covering is of asbestos containing man-made slate tiles, these are to be removed and replaced with natural slate tiles to match the existing. The roof is to be insulated internally and there will be no increase in the overall height.

The rear mansard roof is to be repaired where necessary with natural slate tiles to match the existing.



Existing Roof Plan



Proposed Roof Plan

3.2 PROPOSALS

Front Elevation

The front of the property will remain visually unchanged. The existing sash windows will be refurbished and upgraded to allow the installation of double glazing throughout. Careful consideration will be given to the detailing in order to preserve the visual appearance of the frames and glazing from the Conservation Area. As much historic and original fabric as possible will be retained; replacement will only be considered if elements are beyond repair.



No.41 No.43
Existing Front Elevation



No.41 No.43 No.45
Proposed Front Elevation

3.2 PROPOSALS

Rear Elevation

The existing low quality 20th century outbuilding is removed and replaced with a new lower ground floor garden extension.

The proposed extension is to sit below the existing level of the party garden walls, as well as lower than the upper ground floor rear window so as not to obscure the view of this window from the garden.

The extension is to be faced with natural materials which take their cue from the existing building. Waterstruck bricks are proposed to the right hand side taller portion of the elevation. These take their cue from the handmade stock bricks of the original house; offering a similar texture but a shade darker. This taller element takes it's form from the original chimney breast on the rear elevation; with the same width and depth.

Slate cladding slabs are proposed to the lower portion of the new elevation; these are to be a matched natural slate to the slates that can be seen on the rear roof slope. The use of natural stone as a cladding material reduces the overall carbon footprint of the proposal.

The proposed glazing is to be metal 'crittal' style frames painted dark grey. Double doors allow access to the garden from the kitchen / dining space.

Rainwater drainage and soil pipes are to be consolidated and moved from obscuring the windows. Brickwork and windows are to be repaired, refurbished and upgraded where necessary.



3.3 MASSING

The proposed rear extension has been carefully designed to sensitively fit into its existing context. The scale of the proposed single storey rear extension will sit below the level of the existing party walls to nos. 41 & 45.

The proposed extension will sit below the level of the existing upper ground floor rear window, allowing this to remain visible from the garden. The extension steps up to a glazed element which allows the head height needed to access to the extension directly off the existing half landing.

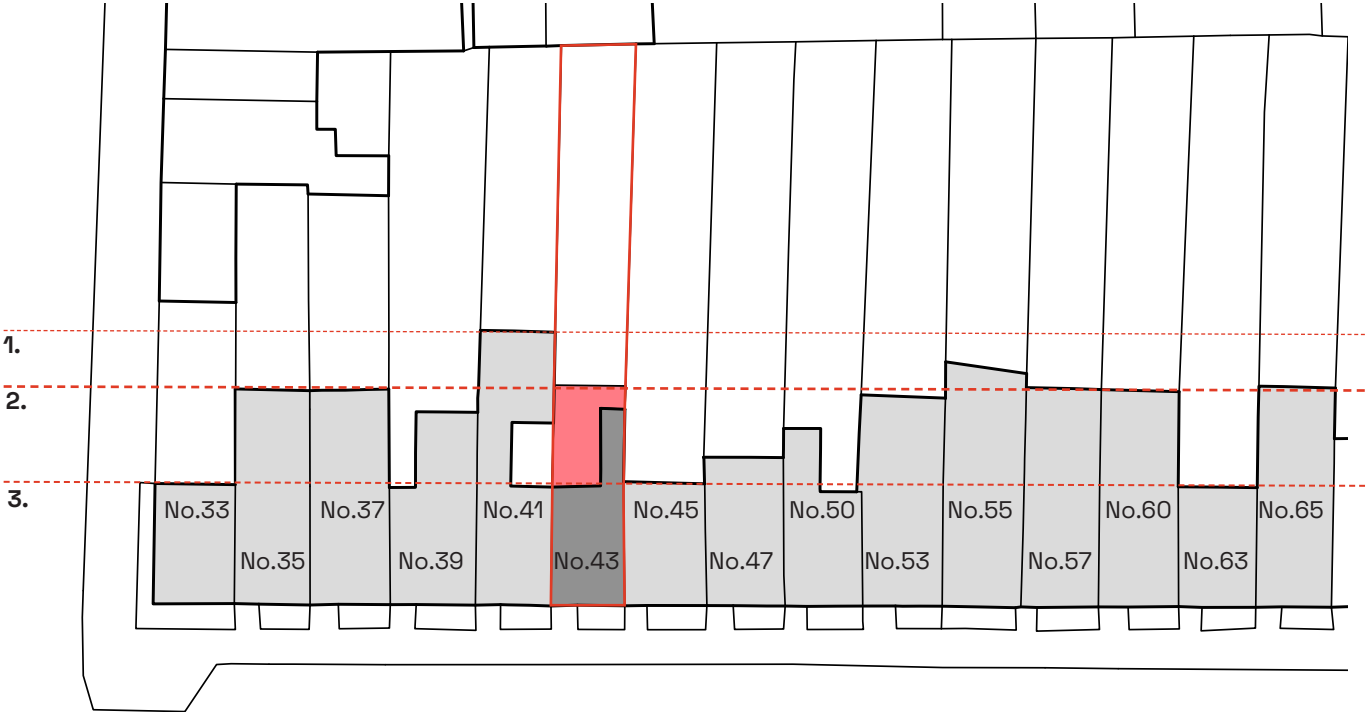


Proposed Section

3.3 MASSING

The extent of the proposed extension has been developed to follow the established pattern of development on Arlington Road.

- Key:
- 1. Extents of extension to no.41
 - 2. Prevailing extent of neighbouring extensions
 - 3. Original rear of the terrace



Proposed Site Plan



Aerial Site Plan (Google)



3.4 MATERIALITY

Proposed Rear Elevation Materiality

Materials have been sensitively matched to the existing building whilst also clearly defining old from new.

A description of each material is provided on the next page which is keyed into the image to the right.



3.4 MATERIALITY



1

Existing Roof Slates

The existing roof slates are to be retained, repaired and refurbished as required.



2

Lead Flashing

Lead will be used for all new flashings where required.



3

Existing Sash Windows

Existing sash windows are to be refurbished and repainted white.



4

Existing Brickwork

The existing brickwork is to be cleaned, re-pointed as required.



5

New Natural Slate Cladding

Natural slate cladding has been chosen in order to sympathetically blend with the vernacular style. Whilst referencing the existing slate tiles, it's use in a large format clearly marks old from new.



6

New Brick

A dark brown/black Roman brick has been chosen for the picture window element of the proposed extension to create a visual connection with the proportions of the existing chimney to the main house. The tone of the bricks complements the existing London stock brick, whilst demarcating old from new.



7

New Door & Window Frames

The new window and doors to the new extension are proposed to be steel frames in a dark grey painted finish in reference to Victorian ironmongery and rainwater goods.

3.5 STRUCTURAL STRATEGY

The below statement is from Stephen Foster of Foster Structures who has undertaken the structural design for the project.

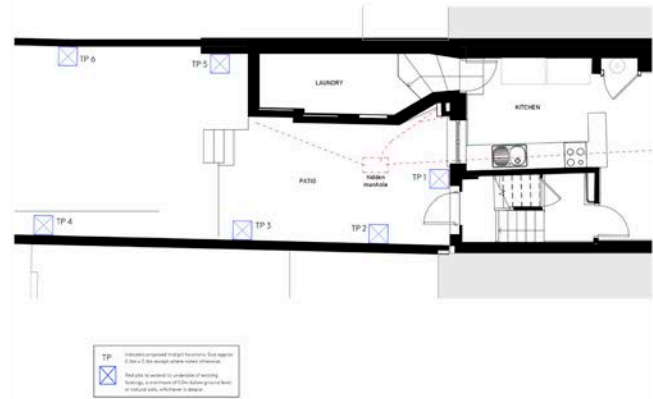
It is proposed to construct a new single storey lower ground floor level rear extension to the existing terraced house at No. 43 Arlington Road, Camden, NW1. As part of the proposed extension minor structural alterations will be required to the fabric of the existing house as set out in this statement.

No. 43 Arlington Road forms part of a grade II listed terrace of early Victorian houses. The property is 4 storeys – comprising a lower ground floor level, upper ground floor (level with the front pavement level) and first and second floors with a ‘butterfly’ profile roof partially concealed behind the front elevation parapet. At the rear of the property is a small single storey ‘closet wing’ set several steps above the lower ground floor level of the main house. The property is believed to date from the 1840s and is assumed to be of traditional construction for the period with load bearing masonry external walls and timber joisted floors assumed to span from the front / rear elevation walls onto the central ‘spine’ wall line (although there are significant openings in this wall at lower ground and upper ground floor level).

The construction of the new single storey rear extension will involve the demolition of the existing closet wing and the following minor structural works to the existing house:

Upper ground floor hallway opening

At upper ground floor level it is proposed to form a new double door opening into the front reception room. The new opening will be formed through the existing wall separating the entrance hallway from the front reception. This wall appears to be of lightweight timber stud construction and is assumed to be non-load-bearing with the floor joists above assumed to span parallel to this wall. It is anticipated that the new opening will therefore be formed with new lightweight timber studwork framing – matching the existing wall build-up.



Structural Investigations

A structural investigations drawing has been included as part of this application

Lowering of existing rear elevation lower ground floor window opening

To link the new lower ground floor level of the rear extension into the existing lower ground floor level of the main house it is proposed to lower the existing window opening to the lower ground floor kitchen down to floor level – forming a new door opening between the extension and the main house. It is not proposed to widen this opening and therefore it is assumed that the existing lintels over this opening will be retained. The existing brickwork beneath the window opening will therefore be carefully removed with brickwork making good / re-toothed to the side faces of the newly formed section of opening as required.

Lower ground floor widened rear elevation opening

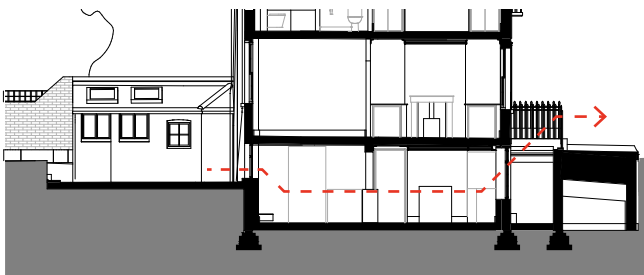
To allow access down into the new rear extension from the main house stair half landing between lower ground and upper ground floor the existing rear elevation door opening from the half landing (which currently accesses out onto the lower level rear patio) will be widened slightly to access out onto a new flight of steps leading down to the new rear extension (set at the new lower ground floor level). To allow this opening to be widened the existing lintel over the opening will be replaced with new lintels (potentially precast concrete lintels installed side by side to match the width of the existing rear elevation) spanning onto the existing brickwork each side. These new lintels will re-support the rear elevation brickwork over the head of this slightly widened opening.

3.6 ACCESS APPRAISAL

43 Arlington Road benefits from good transport links via numerous nearby bus stops and Underground tube stations which are only a short walk away. It has a PTAL rating of 6a.

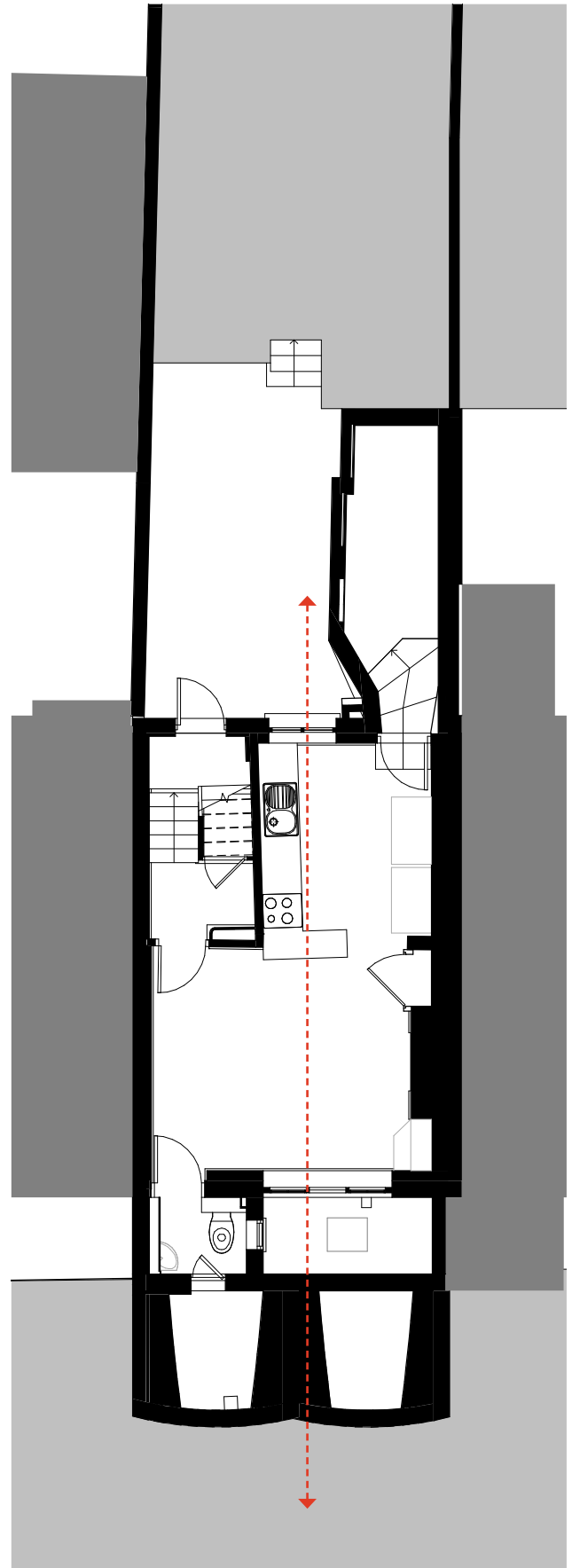
During the works, site access will be through the front of the house. Spoil and waste from the proposed excavations will be removed via the front lightwell. Site establishment, material storage and welfare will be provided in the rear garden.

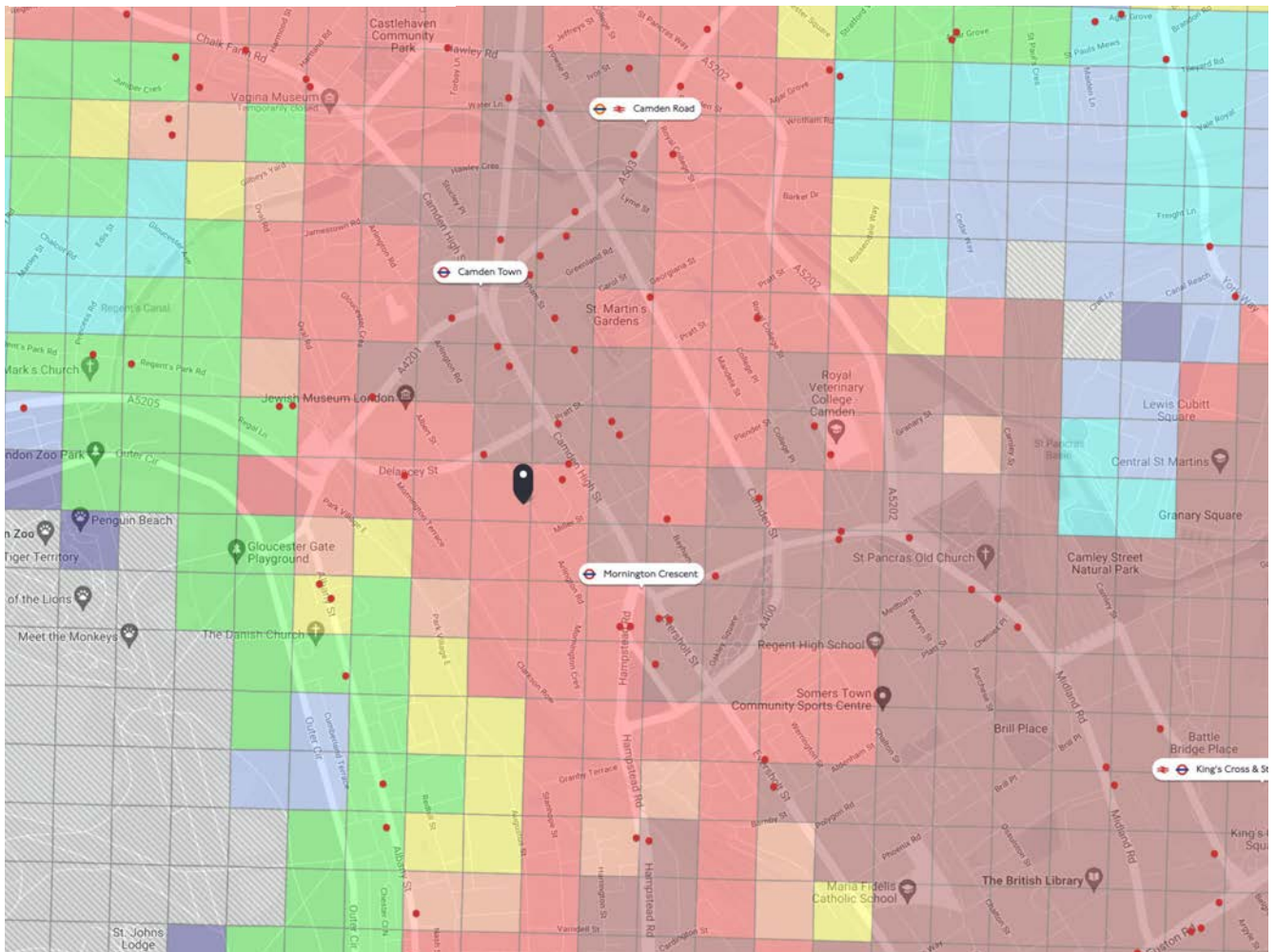
Arlington Road is a public road and allows direct access to the property. On street parking is available through a permit obtained from the council. The proposed access to the property following the works will remain unchanged.



Existing Lower Ground Floor

Diagrams show access route via lightwell and lower ground floor window for the removal of spoil during construction





PTAL output for Base Year 6a

NW1 7ES
Arlington Rd, London NW1 7ES, UK
Easting: 528982, Northing: 183521

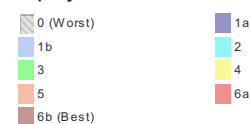
Grid Cell: 96135

Report generated: 21/12/2021

Calculation Parameters

Day of Week	M-F
Time Period	AM Peak
Walk Speed	4.8kph
Bus Node Max. Walk Access Time (mins)	8
Bus ReliabilityFactor	2.0
LU Station Max. Walk Access Time (mins)	12
LU ReliabilityFactor	0.75
National Rail Station Max. Walk Access Time (mins)	12
National Rail ReliabilityFactor	0.75

Map key - PTAL



Map layers

 PTAL (cell size: 100m)

PTAL Map

PTAL is a measure which rates locations by distance from frequent public transport services. 43 Arlington Road has a PTAL rating of 6a. Source: TFL

4

CONCLUSION

4.1 CONCLUSION

The proposals set out in this application have been developed to minimise the visual and material impact on the original building. The works will greatly improve the quality and appearance of the building, preserve the building as a heritage asset, and improve its suitability for modern family life.

The existing fabric will be carefully maintained and upgraded alongside being complemented by the new construction to the rear of the house. This new lower ground floor family living space is a sensitive yet contemporary addition that enhances the property and its context.

The occupiers' comfort and enjoyment of the house is improved through a greater connection between the family living spaces and the garden. As well as thermal comfort and security being greatly improved.

The proposals at the rear of the house are not visible from the street or public areas. The new construction will not negatively impact the neighbours, on the contrary it will provide a significant improvement to the visual appearance of the rear of the building and garden.

The proportions and materiality of the new construction remain sensitive to the surrounding area and existing house. The proposed works replace a twentieth century uninsulated and difficult to access outbuilding with a new high quality addition. The proposal represents a high standard of design in all alterations.

High quality materials are specified and skilled contractors with experience of working with this type of building will be appointed. The massing has been kept to a minimum while improving the existing accommodation.

The owners intend to occupy the property and the proposals will allow them to do so in Camden for many years to come. The works will secure the Heritage Asset for generations to enjoy it as was originally intended; a family home in Camden.

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