

**PLANNING FIRE SAFETY STRATEGY**

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## **THE CONSTITUTION PH**

42 St Pancras Way

London

NW1 0QT

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ERECTION OF NEW EXTENSION, ENCLOSED TERRACE AND  
ALTERATIONS

# PLANNING FIRE SAFETY STRATEGY

Applicant: **Young's & Co Brewery PLC**

Site Address: **The Constitution PH  
42 St Pancras Way  
London NW1 0QT**

Proposal: **Erection of two storey extension, enclosed terrace and alterations**

Job No.: **3076**

Our Ref: **21EBeb3076051021FS**

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Revision	Date	Comment	Author
1	01/12/21		EB

## 1. INTRODUCTION

- 1.1. This Planning Fire Safety Strategy has been written in support of a Full Planning Application for the erection of an extension with retractable roof at first floor, kitchen extract ventilation, alterations to the shopfront and fenestration at ground floor and external decorations, to the Constitution public house in Camden, London.
- 1.2. This document has been compiled by Sampson Associates Architects and Interiors designers on behalf of Young & Co.'s Brewery P.L.C with advice from Firesafe Solutions (UK) Ltd a BAFE SP205 accredited fire safety consultancy. Firesafe Solutions (FSS) have completed a Plans Inspection Report which assesses the Fire Safety implications of the proposed development in line with recommendations of Approved Document to the Buildings Regulations and Regulatory Reform (Fire Safety) Order 2005. The recommendations are in respect of life safety and not property protection.
- 1.3. The primary pieces of legislation relevant to this project are:
  - The Building Regulations 2010 (and all subsequent amendments up to 31 December 2015)
  - The Regulatory Reform (Fire Safety) Order 2005

## 2. SITE LOCATION

- 2.1. The Constitution public house fronts St. Pancras Way (A5205) by Grays Inn Bridge. The site is bordered on its southern wall with the Regents Canal and to the North and East by residential developments.
- 2.2. The Constitution site falls within the Regents Canal Conservation Area
- 2.3. The existing building is split over four storeys including a basement level at the Canal Tow Path and contains trading space, back of house ancillary space and staff accommodation, with a large beer garden to the east of the site on a terrace raised above the Regents Canal. The canal towpath is directly accessed from the basement and a set of fire escape stairs from the Ground Floor terrace.
- 2.4. The beer garden is bordered on North & East sides by a brick walls 3-4m high from ground floor level. A driveway and fenced yard in the applicants ownership separates the residential development to the north of the site and the public house.
- 2.5. The site is currently closed and not operating, since being purchased by Young's in 2019 the site was vandalised and many internal fittings and finishes have been damaged beyond use and repair.



Fig 1 - OS Map extract showing site location -  
Stanfords Portal

### 3. EXISTING FIRE STRATEGY

- 3.1. The following bullet point list for the Constitution, Camden presents the existing key fire strategy provisions, some of which are assumed as the site has recently been bought by Young's and has been subject to vandalism from squatters.

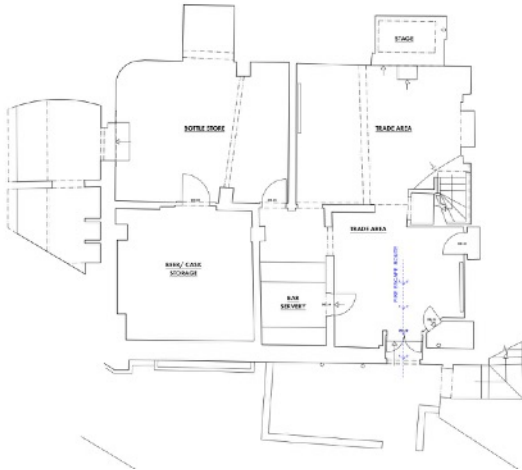


Fig 2 - Existing Lower Ground Floor Plan

- Existing escape from the lower ground level is via. A double door with a clear opening of approx. 1000mm this exits to the canal towpath. There is a maximum travel distance of 19m from the rear stores to final exit.
- Existing escape from the ground floor is via. Two sets of double doors onto St Pancras Way, via. A single door to the external terrace and final exits down a set of stairs to the towpath or via a gate from the yard area.
- Existing escape routes from upper storeys are unacceptable as there is no protected route of escape to final exits. Staircase from second and first floor exit directly into the ground floor interior trade area.
- It is assumed the existing building was protected by a fire detection and alarm system, however this is no longer operational.
- It is assumed emergency escape lighting was provided, however this is no longer operational.

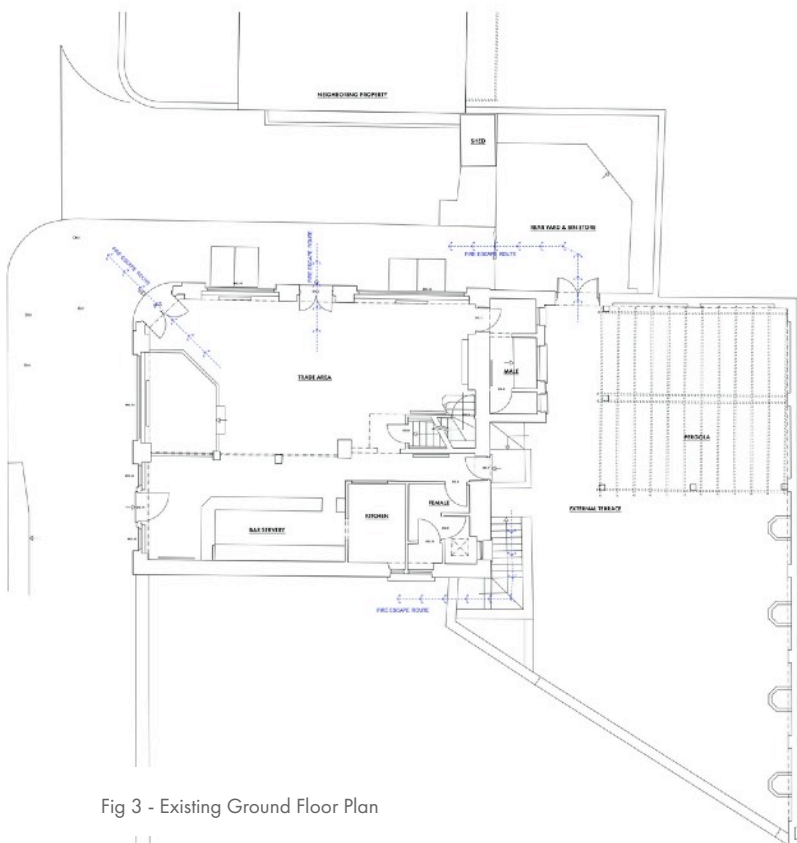


Fig 3 - Existing Ground Floor Plan

- Existing external fire fighting vehicle perimeter access to the site will be retained where direct access from St Pancras Way is possible.
- Existing spread of flame ratings and fire separation are unknown and are likely damaged due to vandalism to the site.

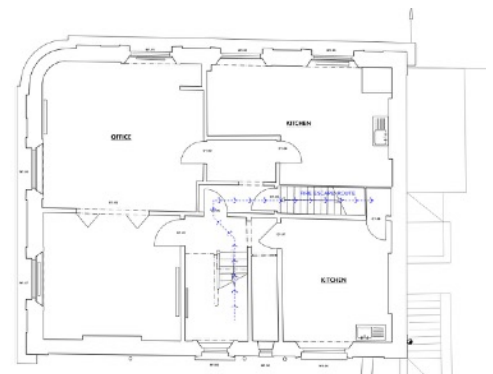


Fig 4 - Existing First Floor Plan

## 4. PROPOSED FIRE STRATEGY

- 4.1. The following bullet point list for the Constitution public house, Camden presents the key fire safety provisions associated with the development to demonstrate compliance with the functional requirements of Part B of the Building Regulations 2010.
- All customer, staff and back of house areas will be protected by a fire detection and alarm system, for all other areas,. The system will be designed to BS 5839.
  - A simultaneous evacuation strategy will be implemented for all floors. .
  - Travel distances will be limited as appropriate for the risk profile of the use of the building
  - Existing external fire fighting vehicle perimeter access to the site will be retained where direct access from St Pancras Way is possible.
  - All external window openings and walls on the lower ground floor level towpath will have min. 30 minutes fire resistance.
  - Emergency escape lighting designed and installed to BS 5266: Pt 1: 2016 will be provided throughout the building.
  - Emergency escape routes and other relevant fire safety related will be provided with signage in accordance with the Health and Safety (Signs and Signals) Regulation 1996. This includes the signing of exit doors/ routes in accordance with BS ISO 3864-1 and BS 5499-4.

## 5. FIRE FIGHTING APPLIANCES

- 5.1. Hand held fire extinguishers will be provided in accordance with BS 5306 part 8. This includes one per 200m<sup>2</sup> of floor area, for use by trained personnel. Fire extinguishers should be suitable for the risk in that particular area. This could be 1 x 13A Water and 1 x 2kg CO<sub>2</sub> per fire point every 200m. Fire call points will be located near the fire exit where possible.
- 5.2. The following locations will be provided with a pair of extinguishers consisting of 13A rated water based and 2kg CO<sub>2</sub>:
- Behind the bar in the lower ground retail area
  - Behind the bar in the ground retail are
  - Behind the bar in the first floor retail area
- 5.3. The retail kitchen will be fitted with;
- 1 x 6 litre Wet Chemical (where no fryers fit 6 litre Foam)
  - 1 x 2kg CO<sub>2</sub>
  - 1 x Fire Blanket
- 5.4. A fire blanket will be provided in the accommodation kitchen

## 6. FIRE BRIGADE ACCESS

- 6.1. Existing external fire fighting vehicle perimeter access to the site will be retained where direct access from St Pancras Way is possible.

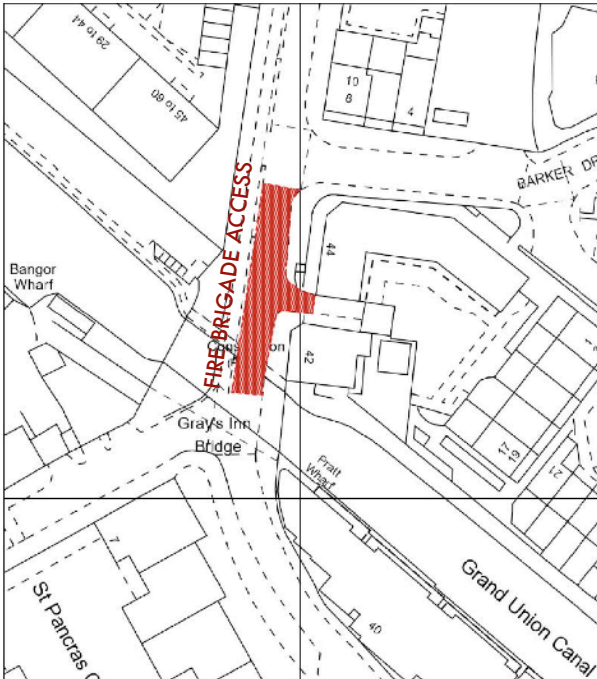


Fig 5 - Fire Brigade Access

## 7. FIRE SAFETY MANAGEMENT

Fire safety in buildings is a balance between the technical systems within the building and how the building is used and managed. It is not possible to rely solely on the technical provisions in the building and an active role on the part of the management is essential. It is therefore necessary that systems are managed appropriately.

As with all buildings, there will be standard fire safety management requirements for the day to day operation of the building. It is a fundamental assumption that features described within this fire strategy and the associated plans report will require management and maintenance throughout the life of the building.

Managing fire safety is the whole process throughout the life of a building, starting with the initial design, which is intended both to minimise the incidence of fire and to ensure that, if a fire does occur, appropriate fire safety systems (including active, passive and procedural systems) are in place and are fully functional.

Effective management of fire safety can contribute to the protection of the building occupants in many ways:

- By working to prevent fires occurring in the first place,
- By monitoring the fire risk on an on-going basis and taking appropriate action to eliminate or reduce risk,
- By being aware of the types of people in the building (such as disabled people, elderly people, children, pregnant women, etc.) and any special needs,
- By ensuring that all of the fire safety measures in the building are kept in working order and in particular that the means of escape are always available,
- By training staff and organizing the evacuation plan, to ensure that occupants leave quickly if a fire occurs,
- By taking command in the event of a fire until the fire and rescue service arrives,
- By updating the Fire Strategy for changes in the use of the building.

It is important that fire safety management take on an active role in the operation of the building. They will be required to provide evidence of the above procedures but should also be capable of specific measures and contingency planning.

## 8. MEANS OF ESCAPE

8.1. The functional requirement B1 for means of escape is as follows:

8.2. The site will implement a simultaneous evacuation strategy, where all occupants (customers, staff or any other visitors to the site) will evacuate if a fire is detected anywhere in the building.

8.3. Direction of escape and final exits are indicated on the proposed fire strategy drawings appendixes.

8.4. The following doors will be self-closing, thirty minute fire doors fitted with combined intumescent stops and smoke seals. Their associated walls and partitions will also be thirty minutes fire resisting and extend from true floor to true ceiling.

DPB.01 - Lower Ground

DPG.04 - Rear Terrace Exit

DPG.11 - Lobby door to Trade Area

DPG.12 - Lobby door to Trade Area

DPG.13 - Lobby door to Lower Ground

DPG.14 - Lobby door to Lower Ground

DP1.01 - Female WC to Lobby

DP1.08 - Kitchen to Bar Area

DP1.06 - Stairwell to Lobby

DP1.07 - Lobby to Bar Area

DP2.01 - Stairwell Lobby

DP2.03 - Plant Room

DP2.05 - Staff Accommodation Entrance

DP2.07 - Staff Accommodation Kitchen

8.5. The final exit from the rear external terrace is via the external stairwell to the towpath to a place of ultimate safety.

8.6. The lower ground exit doors are situated at a sufficient distance from the base of the stairs from the external terrace the glazing in the associated wall and WPB.01 will be of fire resistant construction and sealed shut

8.7. The lower ground floor has several inner-inner room areas (such as the COSHH cupboard, wine and spirits store and beer/cask storage) these areas will be used for stock retrieval only and will have provision of emergency lighting and smoke detection

8.8. The spiral stair from the first floor terrace will be constructed in accordance with building regulations and BS5395-2 (type E, public stair).

8.9. Outward opening exit doors will either be 'push to open' during trading or fitted with full width 'Push Bar' locking devices.

8.10. Any exit doors for the public fitted with slide/drop bolts, will have the rear keep removed so the barrel can be removed during trading.

### *Requirement*

#### **Means of warning and escape**

**B1.** The building shall be designed and constructed so that there are appropriate provisions for the early warning of fire, and appropriate means of escape in case of fire from the building to a place of safety outside the building capable of being safely and effectively used at all material times.

## 9. FIRE DETECTION & WARNING

- 9.1. The refurbished building and extensions will be provided throughout with a new fire detection and alarm system in accordance with BS5839: pt 1.
- 9.2. The main fire alarm panel will be located in the ground floor lobby area.
- 9.3. In conformance with BS 9999: 2017, Table 11 travel distances within the site will be limited as follows:
- Lower Ground Floor: 22m (single direction of travel) - Low Fire Risk Area
  - Ground Floor Plan: 13m (two way direction of travel) - Normal Fire Risk Area
  - First Floor Plan: 28m (two way direction of travel) - Normal Fire Risk Area
  - Second Floor Plan: 7m (single direction of travel) - Normal Fire Risk Area
- 9.4. To protect for life safety, an automatic fire detection and alarm system will be provided which meets the recommendations of BS5839-1 2017 with an L5 level of coverage. This fire detection is indicated on the following fire strategy plans. L5 indicates a risk based approach to detection location, this is as follows:
- Sufficient smoke detectors to be provided in;  
Lower ground  
COSH cupboard, Wines and Spirits store, Bottle store, Beer cask/storage, Stage area, Trade area  
Ground floor  
Throughout trade area (including snug, bar area and lounge bar, Entrance lobby, Head of stairs to lower ground  
First floor  
Stairwell landing, Lobby, Bar area  
Second floor  
Stairwell landing, Office, Plant room, Accommodation corridor
  - Heat detectors to be provided in; Throughout retail kitchen, Accommodation kitchen
  - Manual call points to be provided: Head of stairs second floor, Behind first floor retail bar, Retail kitchen, Behind ground floor bar, Behind lower ground bar
  - Sounders to be provided throughout with flashing beacons in the accessible WC.
- 9.5. Self-contained non-maintained emergency lighting units linked to the local lighting sub-circuit should be provided in accordance with the recommendations of BS5266-1 in:
- Lower Ground  
Bottle Store, Accessible WC, Trade Areas, Stairwell
- Ground Floor  
Male WC, Trade Areas, Stairwell
- First Floor  
Female WC, Trade Areas, Stairwell, Catering Kitchen, Bar Area, Enclosed Roof Terrace
- External  
Spiral stair, external terrace, towpath stairwell, above final exists, alongside exit routes
- Designated final exits signage to be illuminated by Maintained emergency lighting




Prepared on Behalf of Young & Co.'s Brewery, P.L.C


by

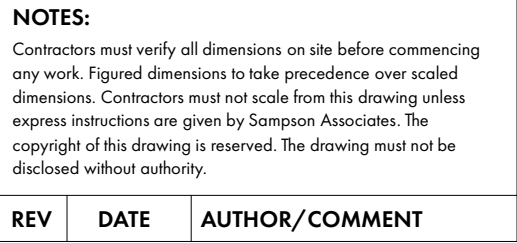
Sampson Associates

## 10. APPENDIX A - PROPOSED FIRE STRATEGY DRAWINGS

**FIRE STRATEGY KEY**

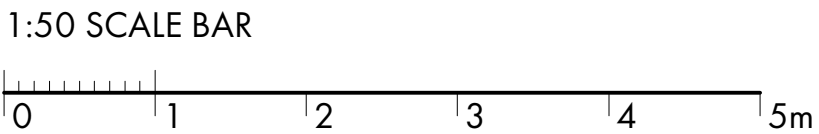
 MEANS OF ESCAPE DIRECTION

 30 mins FIRE RESISTING CONSTRUCTION



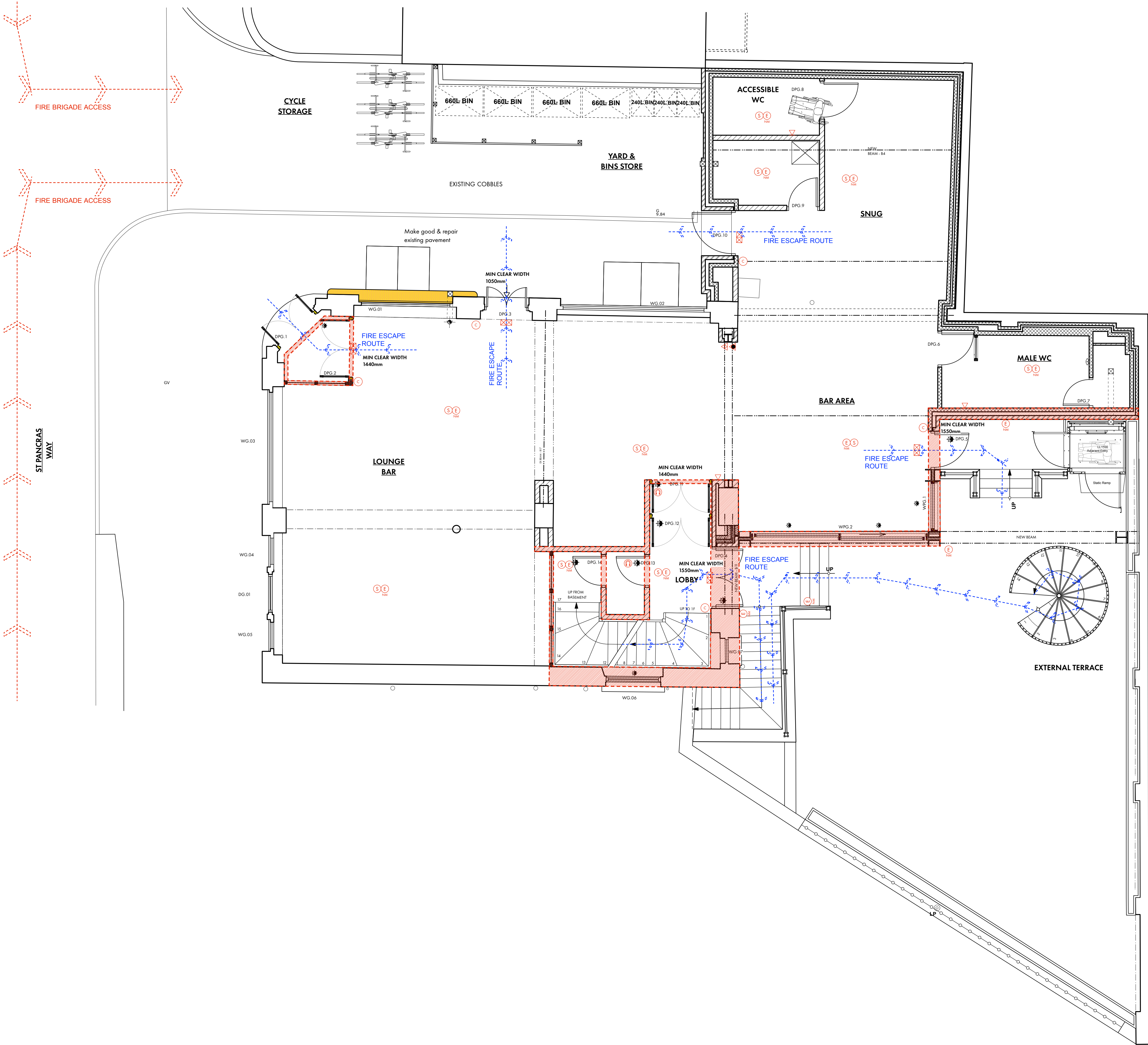
**SAMPSON** | ARCHITECTS  
ASSOCIATES | INTERIOR DESIGNERS

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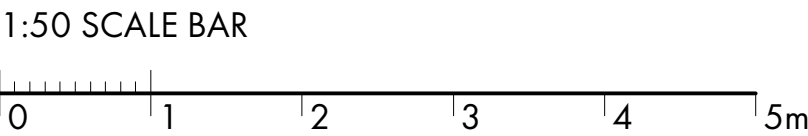
FIRE & SECURITY KEY	
Fire Detection & Signage	
	Smoke Detector
	Heat Detector
	Sounder
	Visual Indicator
	Call Point (break glass)
	Fire Alarm Panel
	Internally Illuminated Fire Exit Sign
	Emergency Light (Non-maintained)
	Emergency Light (Maintained)
	Directional Arrow Sign
	Secure Door in Open Position Sign
	Fire Exit Sign
	Fire Door FD30S
	Fire Door FD40S
	Magnetic hold-open connected to fire alarm
Fire Extinguishers	
	Water
	CO2
	Fire Blanket
	Class F (Wet Chemical)
	Dry Powder
	Foam
Security	
	CCTV Camera
	PIR Alarm sensor
	Door contacts connected to intruder alarm
	Panic Button
	Keypad
CONSTRUCTION KEY	
	New Walls
	Masonry - brickwork
	Masonry - blockwork
	Stud - Timber/ Metal, as noted below
Ceilings	
	Overhead feature e.g. beam/ rooflight/ etc.
	New beam
Drainage & Mechanical	
	Manhole
	Inspection Chamber
	Gully
	Drainage Channel
	Existing below ground drainage (assumed)
	New ø100mm below ground drainage run
	Soil Pipe (SVP or Stub Stack)
	Rain Water Pipe
	Water supply/ tap
	Radiator
	Extract/Supply fan

FIRE STRATEGY KEY	
	MEANS OF ESCAPE DIRECTION
	30 mins FIRE RESISTING CONSTRUCTION
	FIRE FIGHTING VEHICLE ACCESS ROUTE




NOTES:		
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Client:	YOUNG'S & CO.	Drawn By:	JS	Scale:	1:50
Site:	CONSTITUTION, CAMDEN	First Issued:	SEPT '20	Issue:	PLANNING
Title:	PROPOSED GROUND FLOOR FIRE STRATEGY PLAN				





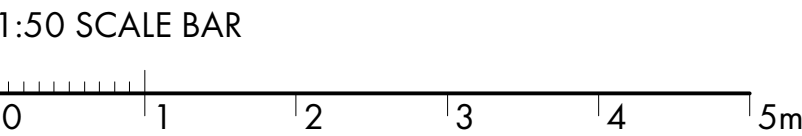
**FIRE STRATEGY KEY**

 MEANS OF ESCAPE DIRECTION

 30 mins FIRE RESISTING CONSTRUCTION

**SAMPSON** ARCHITECTS  
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ASSOCIATES INTERIOR DESIGNERS

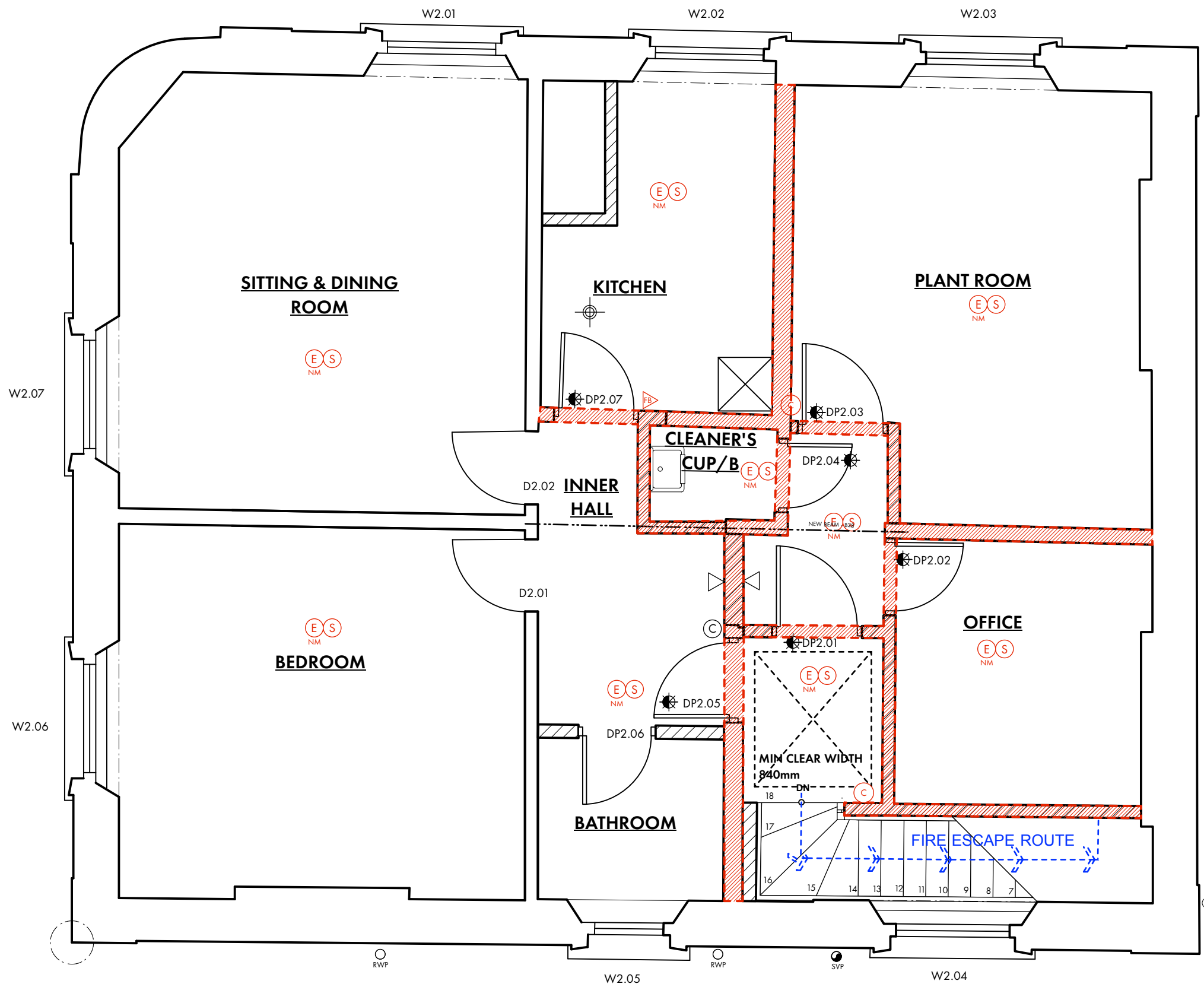
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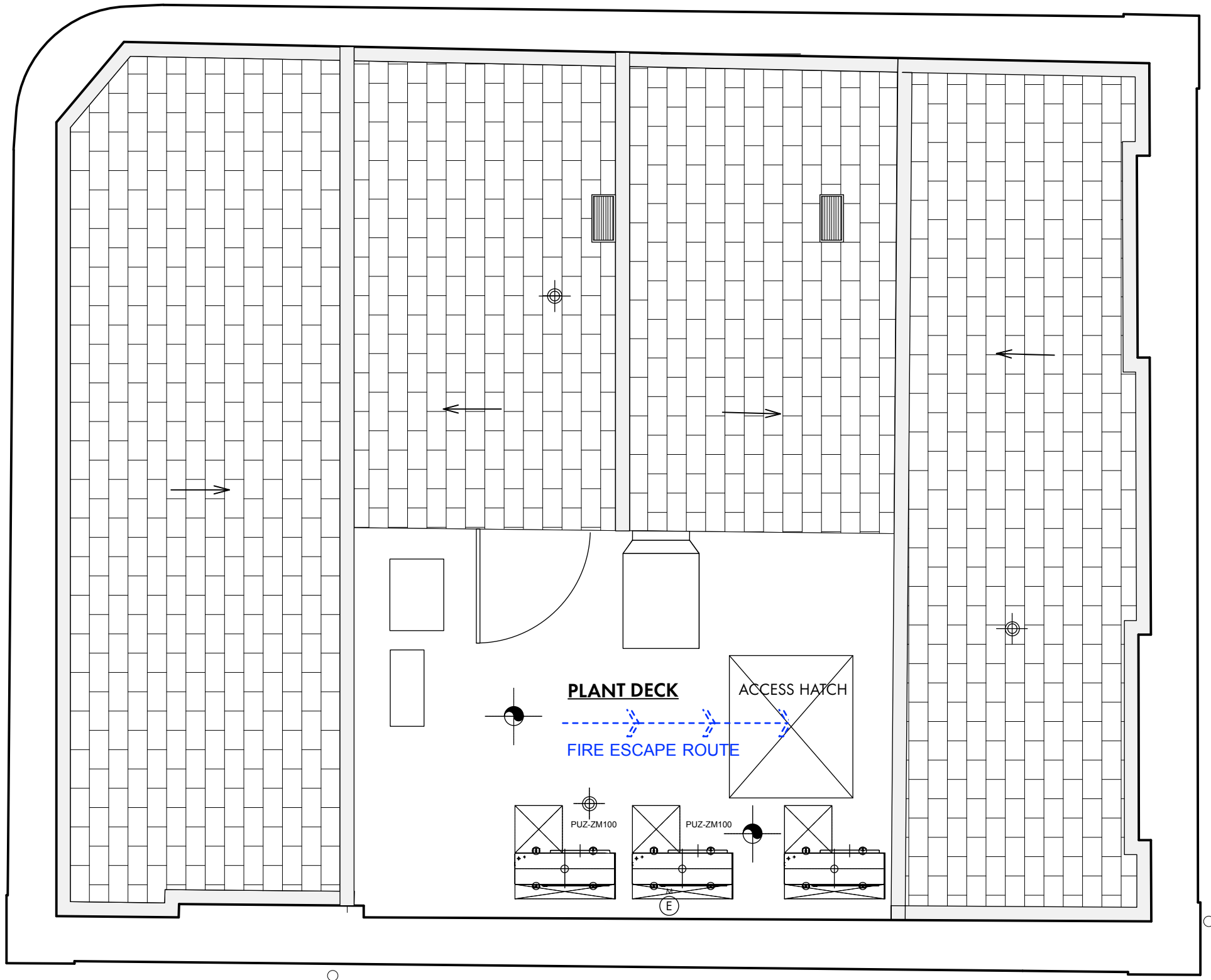
YOUNG'S & CO
CONSTITUTION, CAMDEN
PROPOSED FIRST FLOOR PLAN FIRE STRATEGY

FIRE & SECURITY KEY	
Fire Detection & Signage	
	Smoke Detector
	Heat Detector
	Sounder
	Visual Indicator
	Call Point (break glass)
	Fire Alarm Panel
	Internally illuminated Fire Exit Sign
	Emergency Light (Non-maintained)
	Emergency Light (Maintained)
	Directional Arrow Sign
	Secure Door in Open Position Sign
	Fire Exit Sign
	Fire Door FD30S
	Fire Door FD60S
	Magnetic hold-open connected to fire alarm
Fire Extinguishers	
	Water
	CO2
	Fire Blanket
	Class F (Fat Chemical)
	Dry Powder
	Foam
Security	
	CCTV Camera
	PIR Alarm sensor
	Door contacts connected to intruder alarm
	Panic Button
	Keypad
CONSTRUCTION KEY	
New Walls	
	Masonry - brickwork
	Masonry - blockwork
	Stud - Timber / Metal, as noted below
Ceilings	
	Overhead feature e.g. beam/ rod/light/ etc.
	New beam
Drainage & Mechanical	
	Manhole
	Inspection Chamber
	Gully
	Drainage Channel
	Existing below ground drainage (assumed)
	New at 100mm below ground drainage run
	Soil Pipe (SVP or Stub Stack)
	Rain Water Pipe
	Water supply/ tap
	Radiator
	Extract/Supply fan

FIRE STRATEGY KEY	
	MEANS OF ESCAPE DIRECTION
	30 mins FIRE RESISTING CONSTRUCTION




**A** PROPOSED SECOND 02 FLOOR PLAN  
Scale: 1:50



**B** PROPOSED ROOF PLAN  
Scale: 1:50

NOTES:		
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Client: <b>YOUNG'S &amp; CO</b>	Draw No:	<b>3076.48.00</b>	Drawn By:	<b>EB</b>	
	Site Name:	<b>CONSTITUTION, CAMDEN</b>	Scale @ A1:	<b>1:50</b>	
	Title:	<b>PR. SECOND FLOOR &amp; ROOF FIRE STRATEGY PLAN</b>			

