

Heritage Statement

The Constitution, 42 St. Pancras Way,
London NW1 0QT

November 2021



London



Harrogate



Bristol

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1. Introduction

- 1.1. This Heritage Statement has been prepared on behalf of Young's & Co Brewery PLC. in respect of their proposals to sensitively enhance and extend The Constitution public house at 42 St Pancras Way, London NW1 0QT. The proposals include an extension with an enclosable roof terrace above, internal and external refurbishment, upgraded outdoor seating, new bin stores, cycle parking and plant at roof level.
- 1.2. The application site is a four-storey public house (including basement) with garden. The building dates from c.1865 and is situated within the Regent's Canal Conservation Area (Designated Heritage Asset) in the London Borough of Camden. The building is identified as a positive contributor alongside Gray's Inn Bridge. It is not Listed or identified as a designated heritage asset in its own right. It does however form an important townscape marker on the canal and the bend in St Pancras Way.
- 1.3. Regent's Canal Conservation Area was designated 25th April 1974 with subsequent extensions and boundary alterations. The Conservation Area is the only designated heritage asset that could potentially be impacted by the proposals. In describing its special significance, the Conservation Area Appraisal & Management Strategy (2008) states that *"the ever-changing views, the variety and contrast of townscape elements and the informal relationship between buildings and canal make significant contributions to the character of the canal."*
- 1.4. This Statement has been prepared to inform the application for full planning permission and focuses on the significance of the heritage assets potentially affected by the proposals, and the impact of the proposals upon that significance. The site is identified on the map below. Views of the principal elevation and riverside elevation from Gray's Inn Bridge are shown at figures 2 and 3.

Figure 1: Heritage Asset Map



Source: Historic England

Figure 2: The Constitution (West Elevation)



Source: Heritage Potential

Figure 3: View from Gray's Inn Bridge (South Elevation)

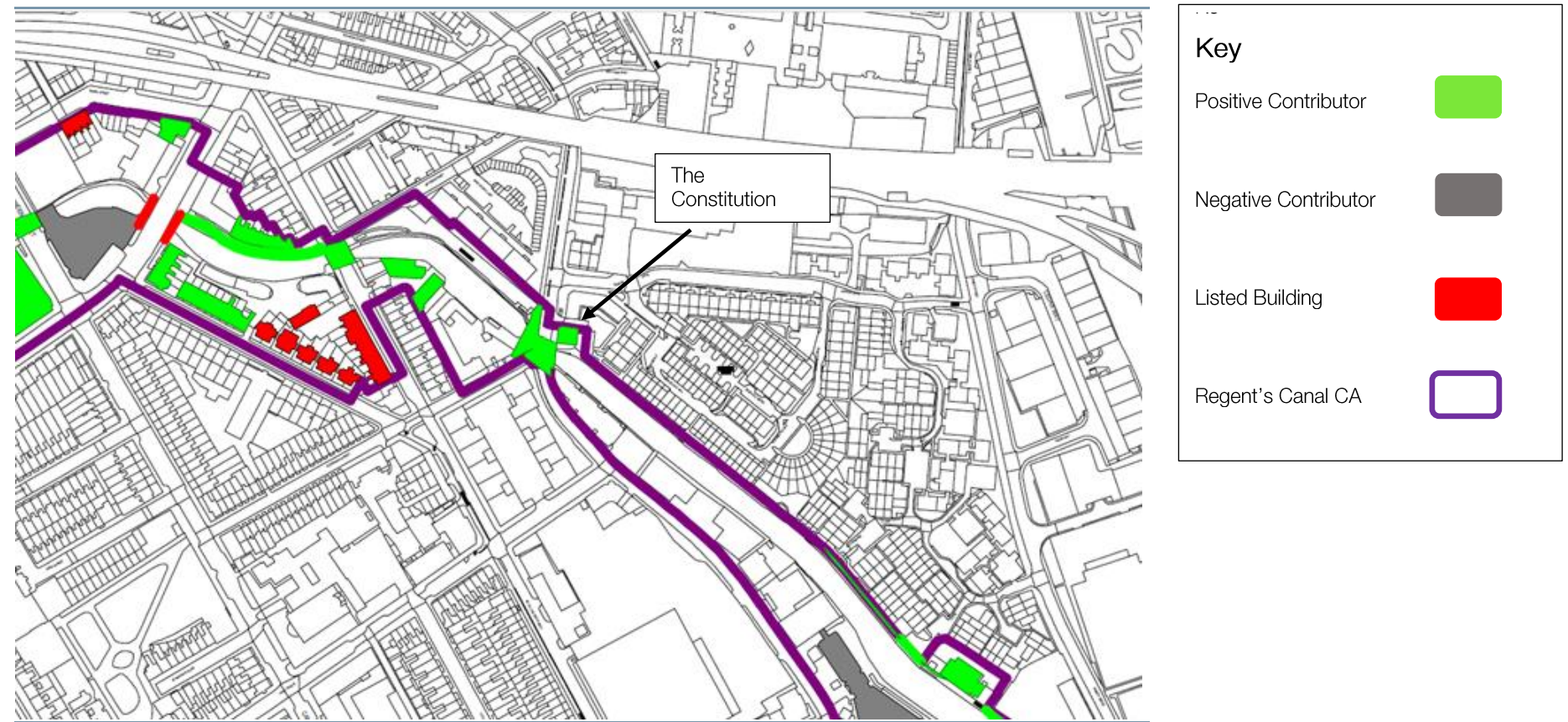


Source: Heritage Potential

2. Site Context

- 2.1. The Constitution occupies a tiered block of land fronting St Pancras Way to its west. It is bounded by a mix of residential uses to its north and east (figure 5), and by Regent's Canal that runs to the south.
- 2.2. The public house is within the Regent's Canal Conservation Area and is arranged over four floors including basement. It also has a patio seating area enclosed by tall brick walls, raised above the canal tow path. The building is thought to date from c.1865 and is roughly rectangular in plan. It is of simple classical design with stock brick walls, glazed tiling, stucco detailing and a curved north-western corner which incorporates the main entrance at street level (figures 1 and 5).
- 2.3. The building reflects a scale and architectural design typical of public houses of this period. The building's current state of repair is poor, reflecting a sustained period of underuse and neglect.
- 2.4. The building is not statutorily listed but is identified as a positive contributor to the Conservation Area, alongside Gray's Inn Bridge. There are no statutory listed buildings within the immediate area and the surrounding built character is notably mixed, with a variety of modern buildings of different uses dating from various points in late c.20 (figures 5 and 6).

Figure 4: Townscape Context Plan



Source: Regent's Canal Conservation Area Townscape Appraisal (2008)

Figure 5: View North on St Pancras Road



Source: Heritage Potential

Figure 6: View Southeast along Regent's Canal



Source: Heritage Potential

3. Planning History & Pre-Application Advice

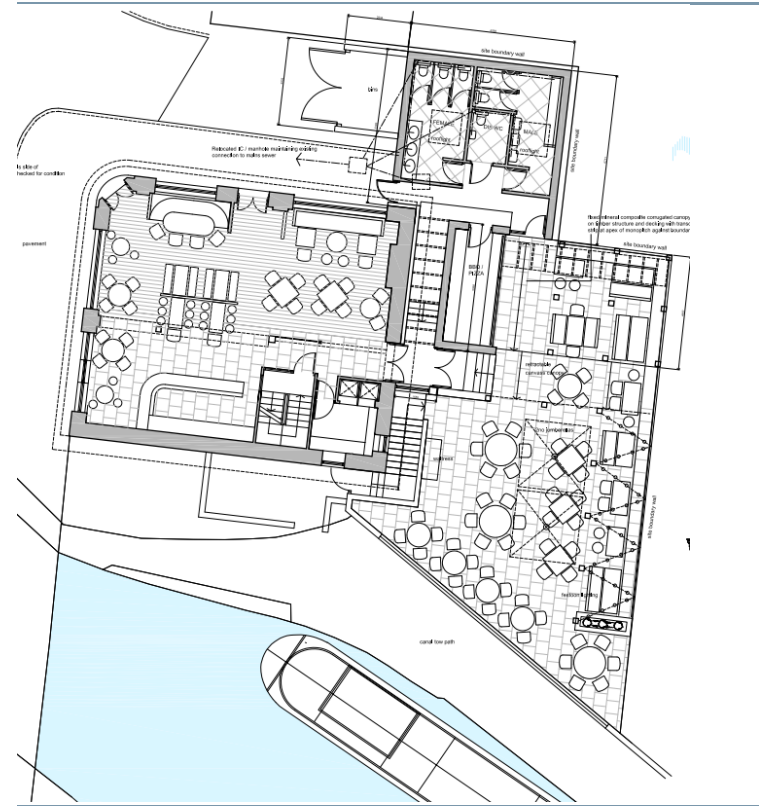
Planning History

- 3.1. The full planning history of the site and relevant surrounding buildings is covered in the accompanying Planning Statement. However, planning history specific to the site is briefly set out below for completeness.
- 3.2. In 1985, an application was granted under reference: 8401789 for the demolition of a garage for the formation of the beer garden.
- 3.3. In 1988, an application was approved for the erection of a conservatory extension within the beer garden (reference: 8701402).
- 3.4. In July 2015, permission was granted for the "erection of a single storey rear extension accommodate toilets and BBQ, replacement of existing canopy roof to beer garden and the installation of kitchen ventilation extract to roof", under application reference: 2015/4955/P.
- 3.5. The proposals sought to demolish the existing rear single storey extension and replace with a larger extension to provide new toilets (including for disabled use), provide a new kitchen to the second floor with ventilation through the roof screened by the parapet and provide a new bespoke BBQ area, bin store and replace the existing beer garden canopy with something 'more substantial'.
- 3.6. The applicant sought to alter the existing public house to enhance the commercial viability of the premises by improved internal and external drinking areas, a dedicated kitchen and better toilet facilities, particularly ensuring access for disabled people. Figures 7 and 8 provide an understanding of the scale and layout of the consented scheme. The scheme was never implemented.

Pre-Application

- 3.7. Following review of the existing site condition and the approved planning history, Young's decided to engage in pre-application discussions to understand scope for external works that can help improve the pub's viability and help return its historic use.
- 3.8. Initial discussions took place in February 2021 for proposals to provide a single storey extension to the public house with associated external terrace above at first floor level, new plant equipment on the roof, a new bin store, cycling facilities and an access staircase to the public house garden area. Following initial engagement, the design team worked alongside officers, to understand the optimum solution for the extension and to deliver necessary improvements to external seating areas.
- 3.9. This considered 'traditional' and 'contemporary' proposal options, showing an extension spanning the length of the rear garden beyond the rear elevation and an external terrace projecting into the garden space towards the canal.
- 3.10. In summary, it was accepted by officers, following a site visit, that views of the rear garden both from the tow path and the bridge are quite constrained and there was a preference for a scaled back, flat roof extension that adopted a contemporary feel.
- 3.11. The design team have sought to reflect the pre-application comments in an amended scheme, subject of this application.

Figure 7: Approved Site Plan (Ref: 2015/4955/P)



Source: Public Access Camden

Figure 8: Approved Canal Elevation (Ref: 2015/4955/P)



Source: Public Access Camden

4. Legislation, Policy & Guidance

Heritage Legislation

- 4.1. The Planning (Listed Buildings and Conservation Areas) Act 1990 is the primary legislation and foundation on which further policy and guidance relating to the conservation of the historic environment is built.
- 4.2. Section 72 of the Act relates to the "general duty as respects conservation areas in exercise of planning functions"; with Section 72 (1) of the Act stating that in exercising planning functions, "special attention should be paid to the desirability of preserving or enhancing the character or appearance of that area".

NPPF (2021)

- 4.3. The National Planning Policy Framework, with which all Local Development Plans must comply, constitutes the national level of planning policy and is a material consideration in planning decisions. The NPPF was originally introduced in March 2012 and was subsequently updated and published on 24 July 2018. The 2018 update broadly retains the wording of the 2012 Chapter on *Conserving and Enhancing the Historic Environment* (Chapter 16). The NPPF was updated again (February 2019) in order to provide definitions for housing need.
- 4.4. The latest update was published in July 2021 and resulted in an amendment to paragraph numbers. Chapter 16 of the Framework, *Conserving and enhancing the historic environment*, also received a new paragraph relating to the preservation of historic statues, plaques, memorials and monuments (Paragraph 198). No in principle changes to national policy were implemented that would alter the structure or conclusions of this Heritage Statement.
- 4.5. The NPPF represents a continuation of the philosophy contained within Planning Policy Statement 5 (PPS5), introduced in 2010 and one of a number of planning policy documents replaced by the NPPF in 2012.
- 4.6. The NPPF uses slightly different terminology to the Act and emphasises that authorities should take account of "the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation".
- 4.7. 'Conservation' is defined within the NPPF as "the process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance".
- 4.8. No definition of 'preservation' (or any variant) is contained within the document. However, Historic England advise that both 'conservation' and 'preservation' are concerned with the management of change which seeks to sustain the special interest or significance of heritage assets. 'Conservation' has the addition of taking opportunities to enhance significance where it is possible and considered to be appropriate. This is discussed in Historic England's 2018 publication *Decisions: Legal Requirements for Listed Building and Other Consents*.
- 4.9. The NPPF also helps to define other key terms within heritage policy. These are provided within the table below.

Term	Definition
Heritage Assets	"A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning

	<i>decisions, because of its heritage interest. It includes designated heritage assets and assets identified by the local planning authority (including local listing)." (p.68)</i>
Significance	<i>"The value of a heritage asset to this and future generations because of its heritage interest, this interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting." (p.73)</i>
Setting of a Heritage Asset	<i>"The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral." (p.73)</i>

- 4.10. Chapter 16 specifically relates to conserving and enhancing the historic environment (paras. 189-208).
- 4.11. Paragraph 194 stipulates that within applications, applicants are required to describe the significance of the heritage assets affected and the contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance.
- 4.12. Local authorities should also identify and assess the significance of the heritage assets affected by a proposal. This should be taken into account when assessing the impact of a proposal on a heritage asset (Paragraph 195). Paragraph 197 of the NPPF goes on to state that when determining applications, local planning authorities should take account of:
 - a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
 - b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
 - c) the desirability of new development making a positive contribution to local character and distinctiveness
- 4.13. Paragraphs 199-208 of the document discuss how potential impacts to heritage assets should be considered with paragraph 199 stipulating a requirement for great weight to be given to an asset's conservation when considering the impact of a proposed development on its significance. The weight given should reflect the importance of the asset (p.57).

Degrees of Harm

- 4.14. Where harm to the significance of a designated heritage asset is identified, the NPPF requires clear and convincing justification of the proposals. The document categorises levels of harm as: total loss; substantial harm; and less than substantial harm.
- 4.15. Paragraph 201 states that where a development would lead to substantial harm to (or total loss of) the significance of a designated asset, local planning authorities should refuse consent, unless it can be demonstrated that such harm is necessary to achieve substantial public benefits that outweigh that harm, or all of the following apply:

- a) the nature of the heritage asset prevents all reasonable uses of the site; and
- b) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and
- c) conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and
- d) the harm or loss is outweighed by the benefit of bringing the site back into use.

4.16. Paragraph 202 states that where a proposed development will lead to less than substantial harm to the significance of a designated asset, this should be weighed against the public benefits of the proposal, including securing its optimum viable use.

4.17. In the case of impact on non-designated heritage assets, Paragraph 203 states that a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

National Planning Practice Guidance (NPPG)

- 4.18. The NPPG offers guidance as to what public benefits may constitute and could be anything that delivers economic, social or environmental progress as described in the National Planning Policy Framework (Paragraph 8). Public benefits may include heritage benefits, such as:
 - sustaining or enhancing the significance of a heritage asset and the contribution of its setting;
 - reducing or removing risks to a heritage asset
 - securing the optimum viable use of a heritage asset in support of its long-term conservation

Local Planning Policy & Guidance

Camden Local Plan (2017)

- 4.19. Policy C4 – Public Houses - The Council will seek to protect public houses which are of community, heritage, or townscape value. The Council will not grant planning permission for proposals for the change of use, redevelopment and/or demolition of a public house unless it is demonstrated to the Council's satisfaction that:
 - a. the proposal would not result in the loss of pubs which are valued by the community (including protected groups) unless there are equivalent premises available capable of meeting the community's needs served by the public house; or
 - b. there is no interest in the continued use of the property or site as a public house and no reasonable prospect of a public house being able to trade from the premises over the medium term.
- 4.20. Policy D1 – Design – states that the Council will seek to secure high quality design in development. Amongst a number of criteria, the Council will require development to:
 - a) Respect local context and character;
 - b) Preserve or enhances the historic environment and heritage assets in accordance with Policy D2 Heritage;

- c) Ensure it is sustainable in design and construction, incorporating best practice in resource management and climate change mitigation and adaptation;
- d) Is of sustainable and durable construction and adaptable to different activities and land uses;
- e) Comprises details and materials that are of high quality and complement the local character;
- f) Integrates well with the surrounding streets and open spaces, improving movement through the site and wider area with direct, accessible and easily recognisable routes and contributes positively to the street frontage;

4.21. Policy D2 – Heritage - The Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets. Designed heritage assets include conservation areas and listed buildings. The Council will not permit the loss of or substantial harm to a designated heritage asset, including conservation areas and Listed Buildings, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- a. the nature of the heritage asset prevents all reasonable uses of the site;
- b. no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation;
- c. conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and
- d. the harm or loss is outweighed by the benefit of bringing the site back into use.

4.22. The Council will not permit development that results in harm that is less than substantial to the significance of a designated heritage asset unless the public benefits of the proposal convincingly outweigh that harm.

Camden Planning Guidance on Design (2019)

Paragraph 2 – Design

4.23. Camden is committed to excellence in design and schemes should consider:

- The context of a development and its surrounding area;
- The design of the building itself;
- The use and function of buildings;
- Using good quality sustainable materials;
- Creating well connected public spaces and good quality public realm
- Opportunities for promoting health and well-being
- Opportunities for improving the character and quality of an area

Paragraph 3 – Heritage

- Camden has a rich architectural heritage, and we have a responsibility to preserve, and where possible, enhance these areas and buildings;
- The Council will only permit development within conservation areas that preserves and where possible enhances the character and appearance of the area;
- Our conservation area statements, appraisals and management plans contain further information and guidance on all the conservation areas;
- Most works to alter a listed building are likely to require listed building consent;
- The significance of 'Non-Designated Heritage Assets' (NDHAs) will be taken into account in decision-making;
- Historic buildings can and should address sustainability and accessibility;
- Heritage assets play an important role in the health and wellbeing of communities

Camden Planning Guidance on Community Uses (2018)

4.24. Section 4 covers public houses in the borough, where a key message is to apply a presumption in favour of retaining pubs, and their associated facilities, where they meet the needs of the community or protected groups.

4.25. It goes on to acknowledge that many of Camden's pubs enhance the built environment and contribute to a strong sense of place and can be familiar and distinctive local landmarks that help to reinforce local identity and provide a link back to the social and cultural history of an area.

4.26. However, pubs in the borough, even where they are well-used and trading successfully, are also vulnerable to being lost due to the development value that conversion of the premises to other uses can realise.

Regent's Canal Conservation Area Appraisal & Management Strategy (2008)

4.27. The Appraisal and Management Strategy sets out the Council's approach to the preservation and enhancement of the Regent's Canal Conservation Area. The pre-application site is identified as a positive contributor to Sub Area 2 – Kentish Town Bridge to the Oblique Bridge. The Statement describes the character of the area, provides an outline of the key issues, and identifies development pressures.

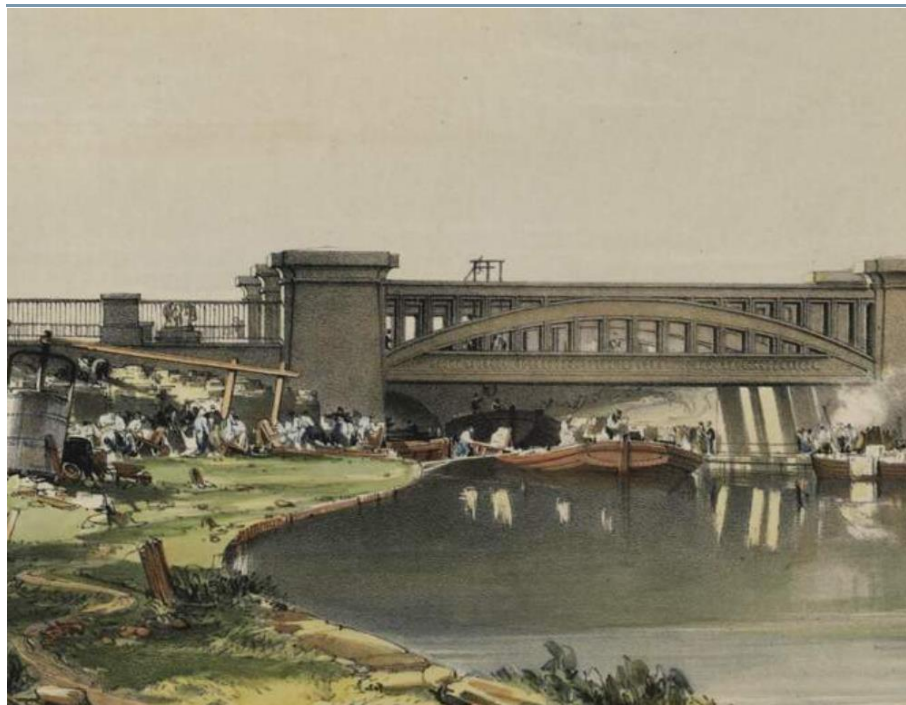
4.28. The document also provides a Management Strategy and technical guidance, including on materials and maintenance, rear extensions as well as mechanical plant.

5. Significance of Heritage Assets

Regent's Canal Conservation Area (Designated Heritage Asset)

- 5.1. The Regent's Canal Conservation Area was designated on 25th April 1974 with subsequent extensions and alterations to the boundary. It is the only Designated Heritage Asset (DHA) that could potentially be impacted by the proposals. The Constitution Public House is identified as a 'positive contributor' within the Conservation Area.
- 5.2. The Regent's Canal passes through a number of London boroughs and covers many different character areas that contribute to its overall significance (figure 10). Its historic development starts from a proposal in 1801 to link Paddington to the London Docks at Wapping. A significant part of the canal's route passes through Camden.

Figure 9: General View over Regent's Canal and Rail Bridge c.1838



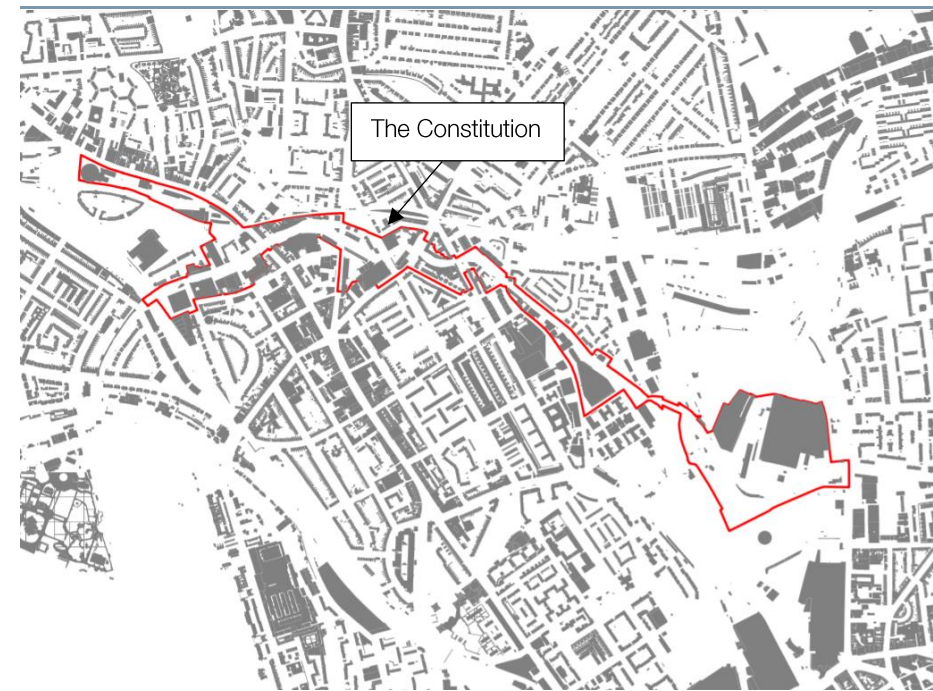
Source: John Cooke Bourne in London Metropolitan Archives

- 5.3. By mid-1815 the canal was largely constructed to Hampstead Road Locks (Camden Lock). The last part of the canal to be completed lies within the Conservation Area between Maiden Lane Bridge (York Way) and Hampstead Road Locks (Camden High Street), which was finally completed in 1820.
- 5.4. For much of c.19 and early c.20 the canal was principally used for industrial haulage. This resulted in the creation of an array of industrial buildings and structures along the waterfront, that illustrate the styles of engineering, construction and architecture characteristic of the industrial revolution and early 20th century. A number of these buildings are typical brick-built warehouse or wharf style buildings of mid to late c.19. Leisure uses also grew out of the industrial activity to support workers on the canal, including public houses.
- 5.5. As the industrial use of the canal irreversibly declined after the Second World War, the canal's importance as an asset of historic and visual interest to the wider townscape came to be realised. It has been increasingly recognised as a valuable resource for "water-based leisure activities, for its tranquil seclusion, for its ecological value and its

potential for transportation and informal recreation."(The Regent's Canal Conservation Area Appraisal & Management Strategy (2008))

- 5.6. The Conservation Area today reflects this historic evolution in activity through its varied townscape character, particularly in the nature and function of adjacent buildings: "The ever-changing views, the variety and contrast of townscape elements and the informal relationship between buildings and canal make significant contributions to the character of the canal." (The Regent's Canal Conservation Area Appraisal & Management Strategy (2008)).

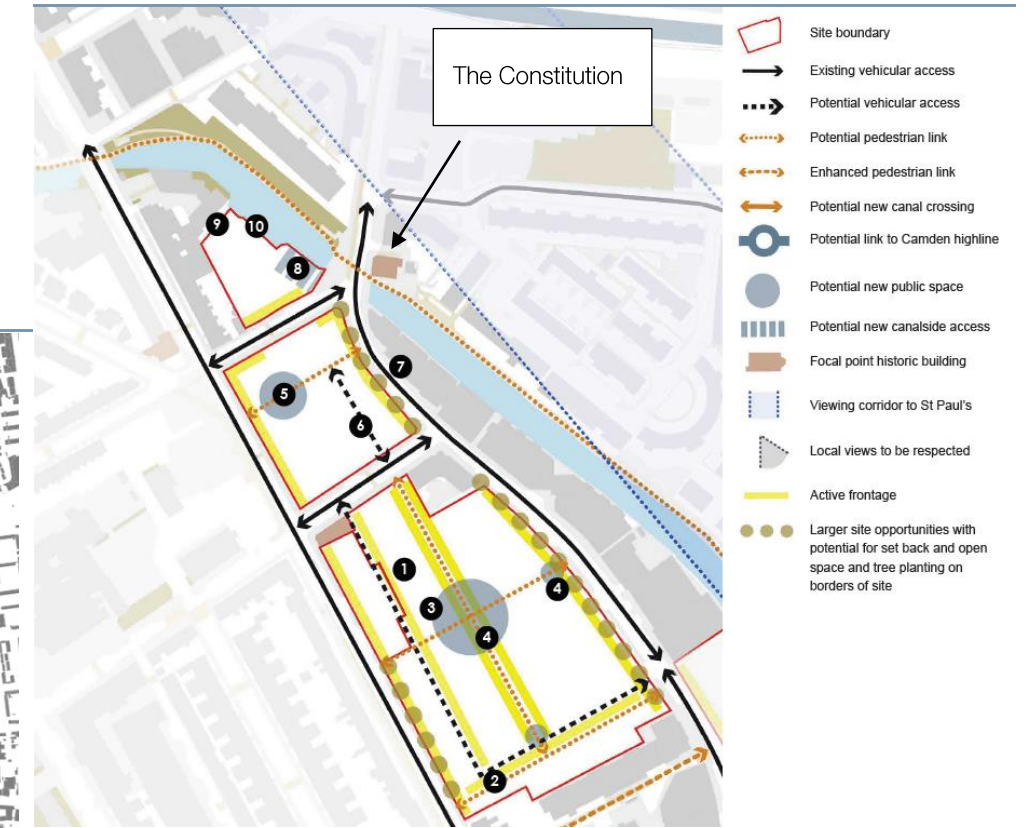
Figure 10: Regent's Canal Conservation Area



Source: Regent's Canal CA Urban Grain

- 5.7. As can be seen at figure 10 (above), the Conservation Area is long and narrow, placing a focus on the canal's route and its immediate surrounds. The application site is identified in Sub Area 2: Kentish Town to Oblique Bridge and in contrast to the harder industrial character of Camden Lock, this section of the canal is considerably softened by sections of informal planting and grass verges.
- 5.8. The Constitution Pub occupies a less formal part of the sub area with a variety of building types, modern and historic, backing onto the canal, creating an introspective character. Despite its varied built context, the pub itself provides an attractive architectural backdrop to the canal and connects the canal to the wider urban grain as a 'focal point historic building' (figure 10). The pub would have provided relief and accommodation during the canal's industrial heyday and the continuation of its historic use offers a visual and functional link to this important history. This contribution has been somewhat eroded by neglect and allowing the pub to fall into disrepair.
- 5.9. Sub Area 2 also represents the longest stretch of canal in the Conservation Area without a public access point. It is identified for having "a rather isolated feel, reinforced by the continuous run of retaining wall along the towpath" which can be seen at figures 12 and 13 (right). The retaining wall screens many buildings on the north (east) side of the canal, including much of the outdoor seating of The Constitution pub.

Figure 11: St Pancras Road Development Aspirations Plan



Source: Canalside to Camley Street Draft SPD (June 2019)

Figure 12: View SE from Grey's Inn Bridge



Source: Heritage Potential

Figure 13: View NW from Canal Level



Source: Heritage Potential

Architectural Significance

5.10. The remaining industrial and canal related architecture is of high architectural significance. However, the architectural interest is highly variable between sub areas, with many stretches of canal characterised by a mix of modern development that offer a neutral contribution to character. The Conservation Area as a whole possesses moderate architectural interest.

Historic Significance

5.11. The canal maintains its original zig zagging route through Camden Town and past the Constitution pub toward St Pancras Lock. It remains an important example of London's nineteenth century industrial infrastructure. The Conservation Area possesses moderate to high historic interest.

Artistic Significance

5.12. The Conservation Area is thought to have limited artistic interest.

Archaeological Significance

5.13. The Conservation Area retains a high concentration of above ground industrial archaeology along the Camden section of the canal. The Conservation Area therefore possesses a degree of archaeological significance.

The Constitution Public House (Non-Designated Heritage Asset)

5.14. The Constitution pub is identified as a positive contributor to the Conservation Area. It is therefore treated as a Non-Designated Heritage Asset (NDHA) for the purposes of this assessment.

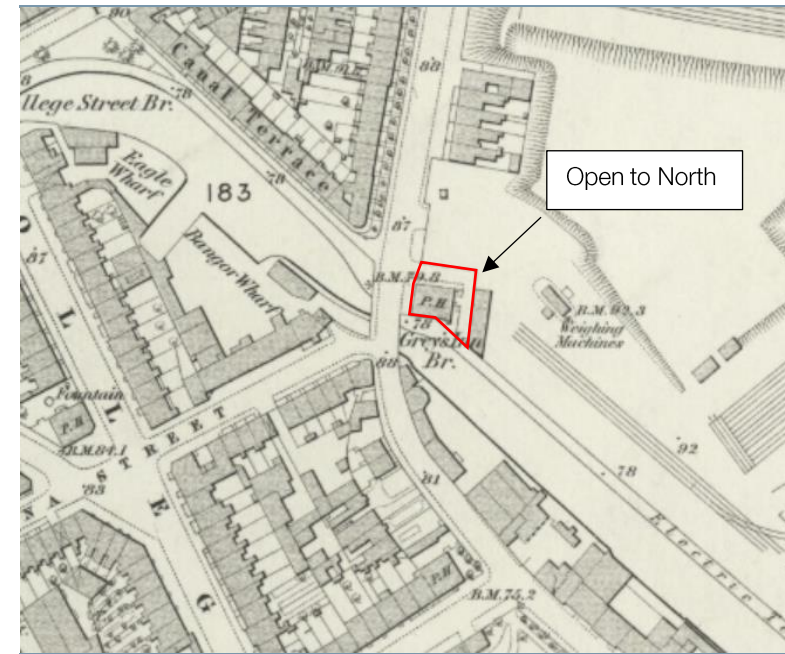
5.15. The pub is thought to date from c.1865, at the height of London's industrial growth. Mapping evidence at figure 14 indicates it was purpose built as a public house and inn (Grey's Inn) and has retained its role, supporting the local area and activities on the canal, up until its recent closure. The pub's historic use is of high historic interest.

5.16. The building is of simple neo-classical design with attractive features, including glazed tiling at ground floor, as well as stucco detailing, sash windows and prominent dentil cornice. The building's architectural qualities are most apparent from the more detailed north and west elevations i.e. the principal elevations from St Pancras Way. The east elevation adjacent to the garden faces away from key viewing points of the building and this is reflected in its plain, more restrained appearance.

5.17. The architectural qualities of the pub are partially undermined by its current neglected state of repair, including dated signage, cracked and peeling paintwork, graffiti and discolouration. To the rear of the premises is a c.20 addition comprising a small toilet extension which has altered the historic footprint to a degree.

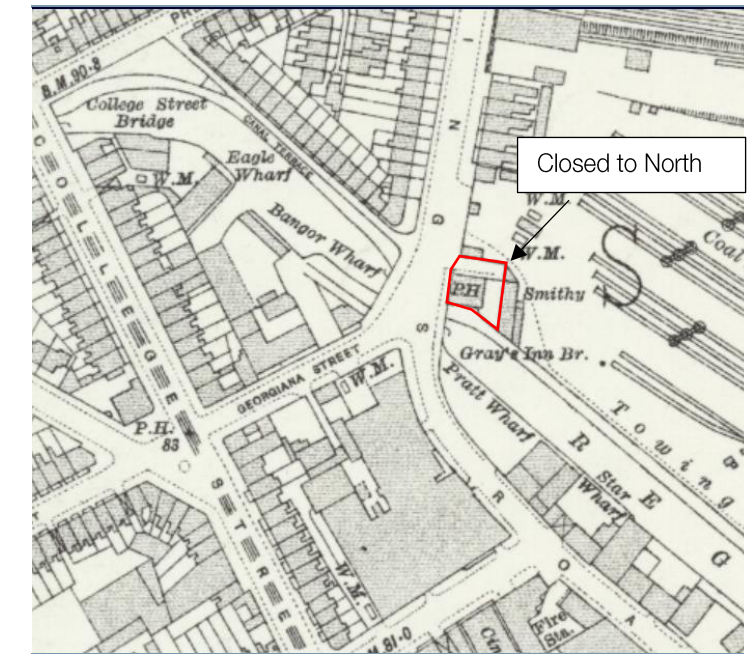
5.18. Tall boundary walls form the northern and eastern boundary to residential properties and are thought to date from adjacent c.19 industrial uses. As indicated at figure 14 and 15, some parts of the wall, such as the enclosure adjacent to the north elevation, do not appear until early c.20 and are not original to the pub. Whilst a historic feature, the architectural and historic contribution of the boundary wall is mixed.

Figure 14: OS Mapping 1870



Source: National Library of Scotland

Figure 15: OS Mapping 1913



Source: National Library of Scotland

Architectural Significance

5.19. The building is simple yet attractive. It retains period features such as glazed tiling, stucco detailing, sash windows and dental cornice that are most prominent on the principal north and west elevations. Due to recent neglect, its external elevations are now tired which undermines their aesthetic contribution to the Conservation Area. The building is of moderate architectural interest.

Historic Significance

5.20. The pub dates from the early 1860's and was purpose built as a public house and inn (Grey's Inn). It has retained this role, supporting the local area, up until its recent closure. The pub's historic use and association with activities on the canal is of high historic interest.

Artistic Significance

5.21. The building possesses no artistic interest of heritage value.

Archaeological Significance

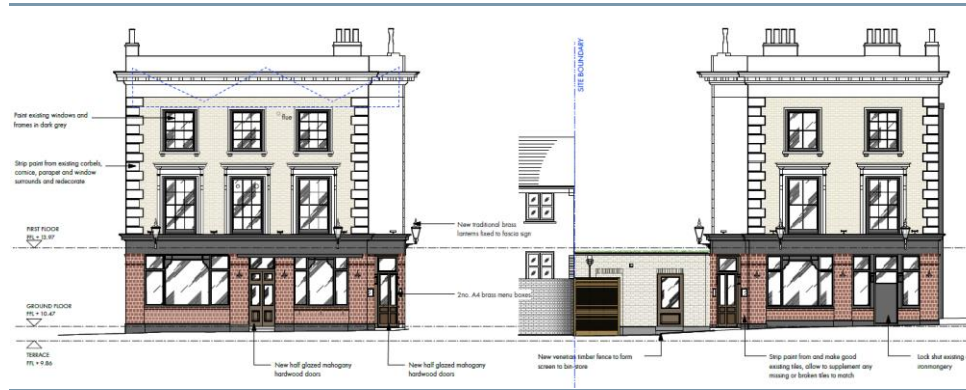
5.22. The building is not thought to possess any archaeological significance.

6. Proposals

6.1. Overall, the works proposed are as follows:

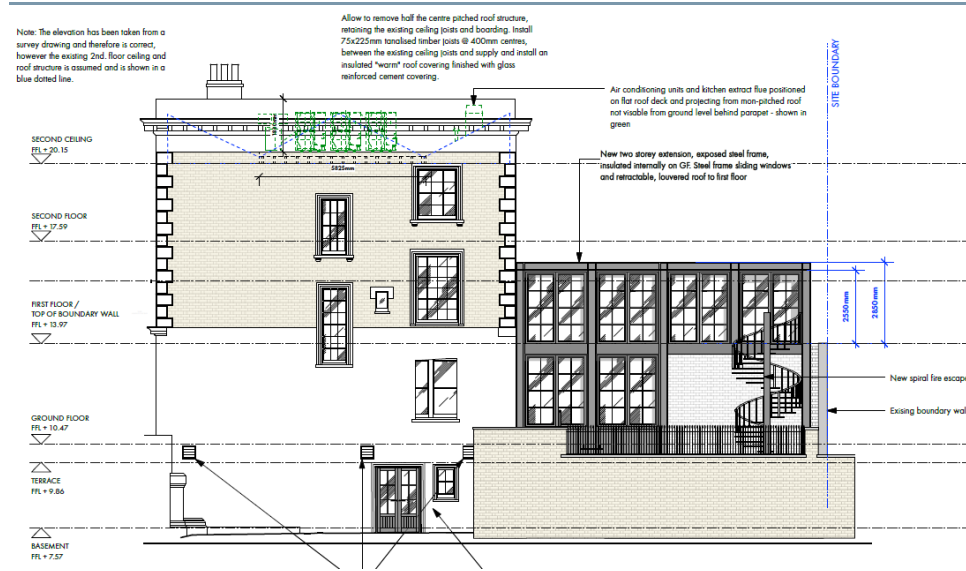
- Two storey flat roof extension to east elevation with sliding windows and enclosable roof terrace
- Flat roof single storey masonry extension with green roof
- New plant deck behind parapet at roof level
- New cycle facilities and bin stores
- Internal and external refurbishment including garden/terrace upgrades
- New access for people with disabilities

Figure 16: Proposed North & West Elevations



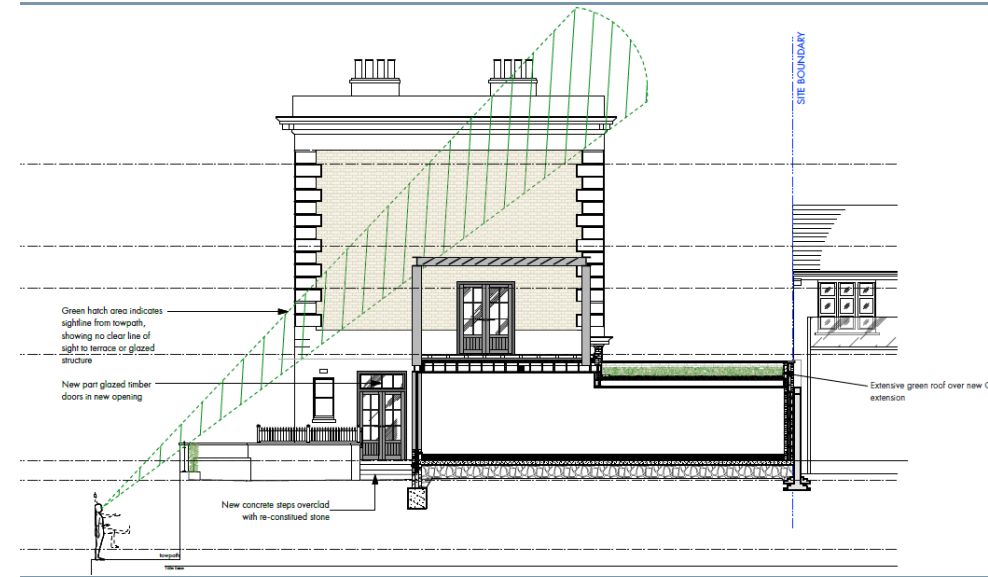
Source: Sampson Associates

Figure 17: Proposed South Elevation



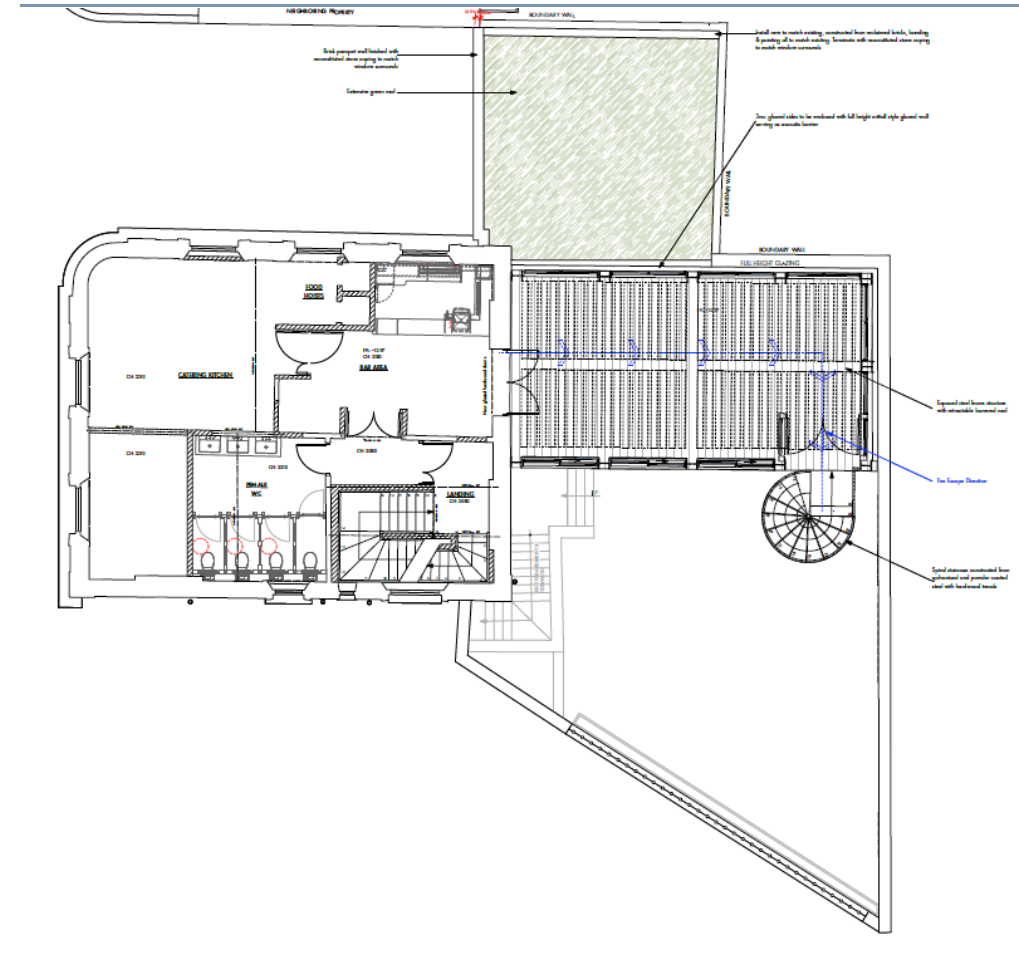
Source: Sampson Associates

Figure 18: Proposed East Elevation



Source: Sampson Associates

Figure 19: Proposed First Floorplan



Source: Sampson Associates

Figure 20: Precedent of Extension Design



Source: Sampson Associates

7. Heritage Impact Assessment

Viability of the Historic Pub Use

- 7.1. Pubs are an important part of British heritage, both in terms of culture and architecture, as reflected in specific pub protection policies, such as Local Plan Policy C4. However, ever increasing taxes, beer duty, the smoking ban, changes to legislation, and changing customer needs, particularly since the Covid-19 pandemic, have put a strain on the traditional pub. This has resulted in many pubs having to adapt to ensure their long-term survival. The Constitution has already permanently closed for business, meaning the need to evolve and adapt is particularly acute if the building is to retain its historic use.
- 7.2. The proposed works represent a considerable investment into the public house. It is considered that they will significantly improve the pub's long-term viability through improving its garden space and canal side facilities, a considerable customer draw and benefit to the wider area. The investment will also return regular viable use to the building, allowing for sensitive repairs and refurbishment consistent with its long-term conservation. These are notable heritage benefits in the context of the challenges facing historic pub's, noted above.

Flat Roof East Extension

- 7.3. In response to pre-application advice, the east extension has been re-oriented so that it is set back from the canal tow path, to be contained within the width of the existing garden area. This positioning significantly reduces the structure's visual prominence in key views and is located on the least sensitive elevation of the pub. The extension will not be visible from tow path level due to the existing retaining wall and will be screened from St Pancras Road and Gray's Inn Bridge by the main building. The pub's prominence as a historic focal point on the canal and its positive relationship with Gray's Inn Bridge will not be undermined by the extension. This greatly limits any potential to impact the prevailing character of this part of the Conservation Area.

Figure 21: View from Gray's Inn Bridge



Source: Heritage Potential

Figure 22: View from Tow Path

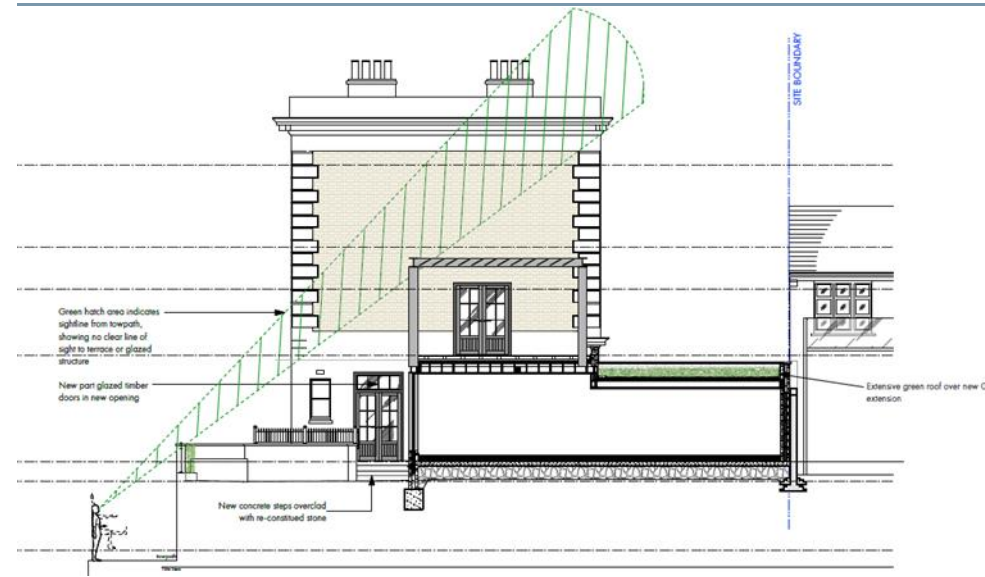


Source: Heritage Potential

- 7.4. A key design principle has been to ensure the east extension is subordinate and proportionate in scale to the main building. The existing pub is substantial at four storeys

and a comparable width to the garden itself. A two-storey extension can therefore be accommodated whilst ensuring subservience in this context.

Figure 23: Proposed East Elevation

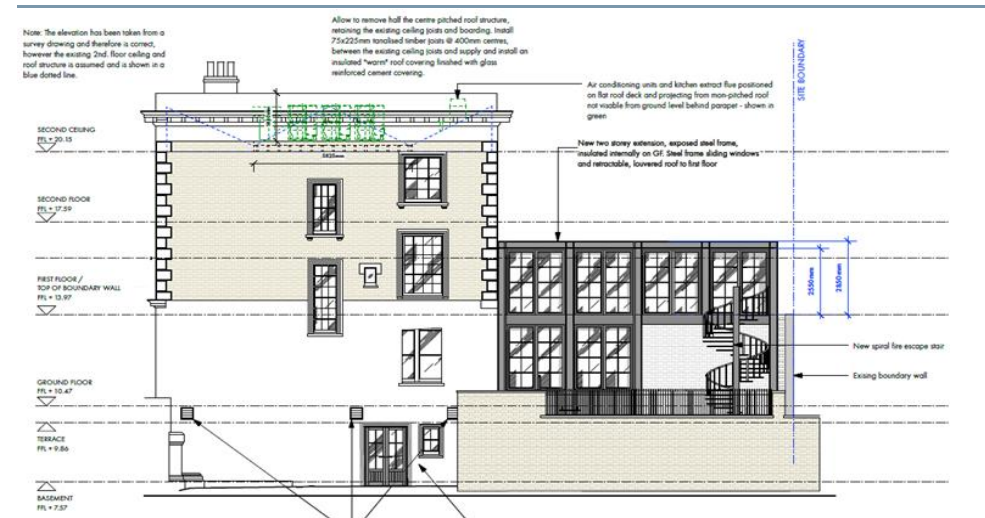


Source: Sampson Associates

- 7.5. The proposed flat roof extension is to be steel framed, exhibiting glazed walls and an enclosable roof terrace. The structure is a contemporary lightweight introduction with a soft appearance, contrasting with the pub's heavy materials. This reinforces subservience whilst avoiding a pastiche approach. Nonetheless, the fenestration pattern nods to the variety of sash windows on the main building, which is appropriate in unifying new with old. The approach taken will alter the pub's immediate context but its scale and design is complementary rather than harmful.

- 7.6. The proposed glass extension would also result in space that can be used all year round and will significantly enhance vitality and viability, representing a key enabler in re-opening the historic pub. The setback garden area, that already incorporates ad-hoc external structures, is the most appropriate and sensitive place to achieve this.

Figure 24: Proposed South Elevation

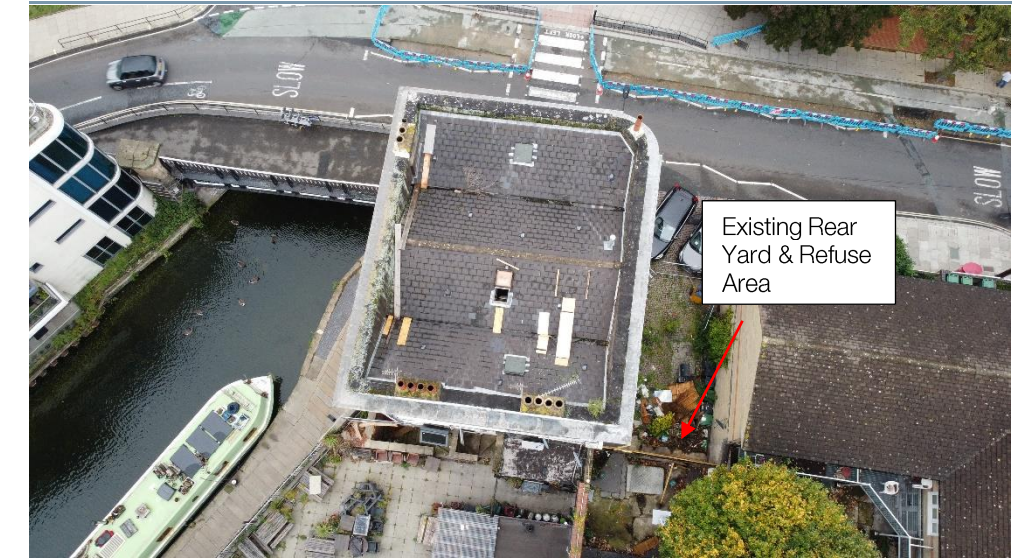


Source: Sampson Associates

Flat Roof North Extension

- 7.7. A simple flat roof, single storey extension will replace the informal rear yard and bin storage area to the north. The existing area is only visible from a small portion of St Pancras Way and some surrounding residential properties.

Figure 25: Aerial Image of Refuse Area



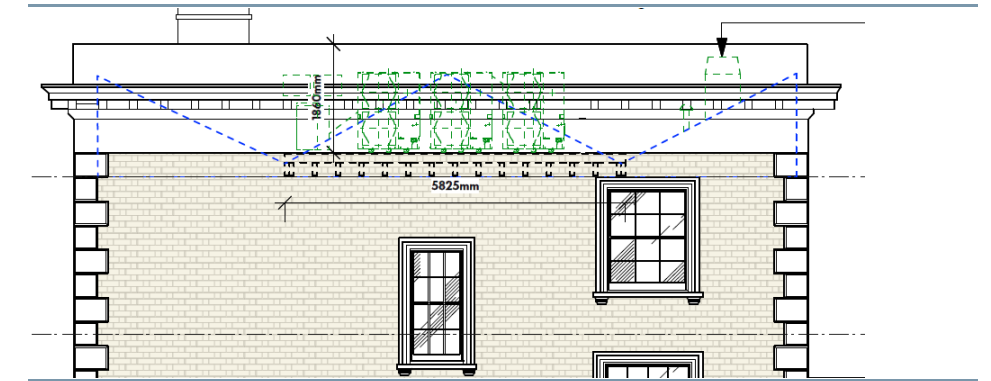
Source: Heritage Potential

- 7.8. Its masonry construction, with matching brickwork and bond to the main building is subtle. The green roof softens and screens existing unsightly views of the refuse area from residential properties. Given the poor existing condition of this part of the site, its formalisation is a benefit in heritage terms. The diminutive scale and traditional construction is most appropriate in this case.

- 7.9. A small area of brick wall is to be removed to connect the two extensions. Whilst historic, the mapping at figures 14 and 15 indicates this section of wall is a c.20 addition. Its part removal will not dramatically alter the historic character of the outdoor area and is a practical necessity to realise the benefits of the wider scheme. This element is not considered to be harmful to identified heritage assets.

New Plant Deck at Roof Level

Figure 26: Plant Deck Line



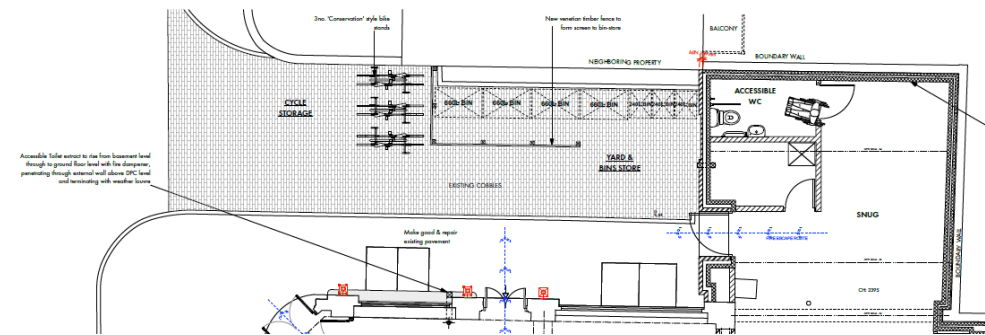
Source: Sampson Associates

7.10. The pub is not statutory listed and its primary heritage significance is derived from its positive contribution to the Conservation Area. As such, there is some flexibility to alter fabric in order to retain the building's townscape contribution.

7.11. The plant necessary to support the enhanced kitchen facilities is to be provided externally. Through an adjustment to the roof to create a flat deck. All external plant can be facilitated at roof level atop of this deck. This allows the installations to be entirely screened behind the parapet and they will not be visible from public view. It is the most appropriate external location for plant and would not 'harm' the pub's townscape contribution to the Conservation Area.

New Cycle Facilities and Bin Stores

Figure 27: Cycle Facilities & North Extension



Source: Sampson Associates

7.12. The re-use and expansion of the pub's facilities requires supporting infrastructure. The area to the north of the pub is narrow and well screened, has little connection with the character of the canal and is informal as existing. It is proposed to locate bin stores within a simple timber enclosure for screening. Accessible cycle storage will sit adjacent, closest to the road. The small-scale works are located sensitively and the formalisation of this area will be a visual improvement. This aspect of the works optimises an underused area and will not be harmful to identified heritage assets.

Internal & External Refurbishment

7.13. As the building is not listed, the internal refurbishments could be undertaken without consent. Nonetheless, reactivating the historic spaces in their original use and providing much needed repair and refurbishment to areas in decay is a significant heritage benefit to the building.

7.14. Externally, the historic facades with classical detailing will be sensitively updated and redecorated but not fundamentally altered. This retains the simple yet attractive architectural interest on the most publicly visible elevations. The redecoration will also promote a more positive image of the pub, including through removal of graffiti and unsightly signage, preserving and enhancing the building's architectural contribution to the Conservation Area.

7.15. Improvements to the garden area are in line with the prevailing character of the pub, including an external terrace at ground floor level. These small-scale updates to the garden have little potential to fundamentally alter the character of the Conservation Area or the pub's contribution to it. Indeed, creating a more coherent and formal garden setting can only encourage use and appreciation of the Conservation Area. A new access is also proposed at canal level, creating a link between the pub and the canal towpath that is specifically encouraged in the Conservation Area Appraisal & Management Appraisal (2008). This is a further heritage and general public benefit.

Public Benefits

7.16. No harm has been identified to the Regent's Canal Conservation Area (DHA) nor The Constitution Public House (NDHA) through the proposed works. As such, paragraph's 202 and 203 of the NPPF do not need to be engaged.

7.17. The proposals will result in a sensitive enhancement of significant elements of the public house to be enjoyed by the public, as well as improve the long-term viability of the pub, to ensure it remains within its historic use. The full extent of the associated public benefits are outlined further below:

- Investment to secure the historic use of the public house, preserving and enhancing a traditional canal-related commercial activity
- Replacement of 'dead space' and promotion of external use and interaction with the Regent's Canal
- Repairing and rejuvenating the building and garden, including preservation of prominent façade on St Pancras Way
- Provide much needed improvements to facilities e.g. accessible toilets and cycle parking, to ensure the building's compatibility with modern drinking and dining
- The provision of additional employment to the area, relating to the improved and expanded public house.

7.18. Notwithstanding the position on potential 'harm' set out in this statement, these are clearly important considerations in balancing any potential for impact on heritage assets, as outlined at Para. 201, 202 and 203 of the NPPF (2021). The proposals also fully accord with the aims of Camden Local Plan Policy D2.

7.19. To this end, the proposals are acceptable in heritage terms.

8. Summary

- 8.1. This Heritage Statement provides an assessment of the works in relation to the relevant national and local planning policies. It demonstrates that the proposals would result in a positive change to the pub, securing its re-use and long-term conservation. Sensitive improvements and reactivation of the pub will also preserve and enhance, as well as encourage greater interaction with, the Regent's Canal Conservation Area.
- 8.2. The proposals are of a high-quality design and have been informed by pre-application advice, ensuring the positioning, orientation and materiality of more significant external works can sit comfortably with the main building and be successfully accommodated within the Conservation Area.
- 8.3. The ambition to return the building's historic use and enable its appreciation by members of the public inevitably requires some degree of alteration, to ensure long term viability. Nonetheless, as set out in this Statement, every aspect of the design has sought to minimise and mitigate potential harm to heritage assets where possible, and a conclusion of 'no harm' to the Designated Heritage Asset and Non-Designated Heritage Asset has been reached.
- 8.4. Notwithstanding the above, the considerable public benefits associated with the proposals are considered to outweigh any low level of less than substantial harm, should one take a conservative approach. These benefits are outlined again below for completeness:
- Investment to secure the historic use of the public house, preserving and enhancing a traditional canal-related commercial activity
 - More outward looking development creating a more active frontage and promoting interaction with the Regent's Canal
 - Repairing and rejuvenating the building and garden, including preservation of prominent façade on St Pancras Way
 - Provide much needed improvements to facilities e.g. access for people with disabilities, accessible toilets and cycle parking
 - The provision of additional employment opportunities in the area, relating to the improved and expanded public house.
- 8.5. As such, the overall heritage position would be one of preservation and enhancement.
- 8.6. The proposals satisfy Section 72 of the 1990 Act, preserving and enhancing the character and appearance of the Conservation Area. Whilst the works are not considered to be harmful, the proposals will deliver substantial public benefits, including heritage specific benefits, which are consistent with the aims of the NPPF.
- 8.7. To this end, the proposals are acceptable in heritage terms and should not prevent planning permission being granted.