

# HIGHGATE NEWTOWN COMMUNITY CENTRE

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## Landscape Management Plan



OCTOBER 2021  
FIRST ISSUE STAGE 5

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## 1.0 INTRODUCTION

The purpose of the Landscape Management Plan's (LMP) is to describe the proposed soft landscape implementation strategy and long-term maintenance activities required for the development at Highgate Newtown Community Centre and residences. This Landscape Management Plan is to be read in conjunction with landscape drawings in the Appendix.

The following Landscape Management Plan describes the works to be implemented. It identifies the long term design objectives for all soft landscape areas, the parties responsible for the implementation of the Plan, any maintenance activities to be carried out under the construction Contract and later by the Management Company, and finally provides a scheduled summary of all the maintenance operations. This plan will form the basis for any agreements between the Employer and the Management Company that will maintain the site following the defects liability period set out within the Construction contract.

As part of the Construction Contract the below are subject to a Defects Liability Periods to ensure the successful establishment of all landscape elements, to begin from Practical Completion and will be as follows:

- Trees: 24 months or until leafing out in the third growing season after planting whichever is the later.
- Hedges: 24 months or until leafing out in the third growing season after planting whichever is the later.
- All perennial planting: 12 months
- All areas of hard landscape constructed as part of the Construction Contract: 12 months

The Contractor must allow for a minimum of 1 maintenance visits to site per week throughout the construction Contract maintenance and establishment period. During these maintenance visits the Contractor must ensure that the maintenance activities described within this Landscape Management Plan are undertaken to the satisfaction of the Employer.

Following the 24 month construction defects Contract maintenance and establishment period the hard and soft landscape areas within the external public realm will be maintained by London Borough of Camden.

Private garden spaces that are inaccessible from the public realm will not be subject to a maintenance and establishment period. Planting within private gardens are excluded from this Maintenance Plan. All planting within inaccessible private gardens will be the responsibility of individual property owners from the date of Practical Completion.

### 1.1 Programme & Practical Completion

This Landscape Management Plan and the written General Arrangement - Tree & Planting Plan assumes that the opening date for the scheme will be during the summer months (May to August). Once the construction and hand-over programme has been agreed between the Contractor and Employer these planting proposals are to be re-appraised. Where possible the exact planting programme must ensure an attractive and established planted environment at Practical Completion. The Contractor programme must consider seasonal planting requirements to ensure an established planted environment at Practical Completion. The exact programme of all soft landscape works must be confirmed with the Landscape Architect once the programmed completion date has been agreed. The objective is to provide an attractive and established landscape setting at the time of Practical Completion in order to maximise marketing and sales opportunities for the Client.

### 1.2 Landscape Implementation Plan

The Contractor must prepare a Landscape Implementation Plan to be submitted to the Landscape Architect prior to the commencement of landscape works on site. This Landscape Implementation Plan must include:

- The identification of a Project Landscape Coordinator. This member of the Contractors on site team will be the principal point of contact between the Contractor and Landscape Architect and will be responsible for planning the landscape works.
- A programme of works for the procurement and installation of all trees, hedges, shrubs, climbing plants and grassed areas etc
- A Contractor programme which allows for the inspection and approval of all trees, hedges, shrubs and climbing plants at the nursery. All plants to be good examples of the species and to be approved by the Landscape Architect.
- A Contractor programme which allows for all trees, hedges, shrubs and climbing plants to be selected and approved by the Landscape Architect at the nursery from a group of at least 200% of the required quantity. Representative photos of trees, hedges, shrubs, and climbing plants to be provided before any nursery visit. Cost of all trees, hedges, shrubs and climbing plants to include travel expenses for nursery visits as necessary.
- A Contractor statement on the feasibility of early installation of trees, hedges, shrubs, climbing plants and grassed areas to

allow maximum possible period for the establishment of soft landscape works prior to hand over.

- The identification of any temporary protection measures required to prevent other trades compacting areas of installed growing medium or damaging installed planting.
- A Contractor programme which allows for the reinstatement of soft landscape areas affected by the works.
- The identification of procedures and documentation required for Landscape Architect approval of all installed landscape works prior to Practical Completion. Contractor to ensure all works are 'snagged' and rectified by Contractors on site team prior to any requests for Landscape Architect approval of completed works.
- Project Landscape Coordinator to monitor progress on site against programme with particular regard to seasonal restrictions of soft planting works. Contractor to liaise with Landscape Architect to ensure installed planting provides an attractive and established landscape setting at the time of Practical Completion.

### 1.3 Contact Details

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## 2.0 DESCRIPTION OF THE WORKS

The external works at HNCC creates a series of public and semi-public landscaped spaces. The public streets encourage pedestrian movement through attractive streetscape with shallow gradients, accessible surfaces and a variety of routes. Where possible dwellings are provided with planted margins that act as a green buffer with areas of pedestrian circulation. The development also includes private garden spaces.

Refer to General Arrangement - Landscape Plan and Tree & Planting Plans – for details of the external landscape planting. These are in the Appendix.

### 2.1 Tree Planting

Trees are to be planted on the site. Refer General Arrangement for tree planting schedule. For details of tree pit construction and tree planting refer to drawings in the appendix.

All trees planted as part of the construction Contract are subject to a 24 month defects liability period to ensure establishment.

### 2.2 Hedging

Hedges are to be planted throughout the site.

Refer to Drg. No.'s LL566-300-0001 General Arrangement - Landscape Plan & Drg. No. LL566-300-0081 General Arrangement - Tree & Planting Plan – for details of the external landscape planting.

Any hedges planted as part of the construction Contract would be subject to a 24 month defects liability period.

### 2.3 Public Realm Planting

Planted margins are to be formed within the public realm. These areas will include shrubs, grasses, perennials and bulb planting. For the location and details of all planting to public realm gardens refer to General Arrangement - Tree & Planting Plan for details of the external landscape planting.

All areas of public realm planting (adjoining communal areas and public streets) undertaken as part of the construction Contracts are to be subject to a 24 month defects liability period.

### 2.4 Private Gardens

Planting within private residential gardens that are inaccessible from communal areas are to be maintained by individual property owners. As such they are not included within the 24 month defects liability period or long-term maintenance strategy.

### 2.5 Areas of Paving

The external spaces of HNCC are to be surfaced with granite setts, porphyry pebbles, precast concrete flags, and self-binding gravel. For the location and details of all hard landscape elements refer to General Arrangement – Landscape Plan, General Arrangement – Areas Of Hard Surfaces.

All areas of hard landscape constructed as part of the construction Contract are to be subject to a 12 month defects liability period.

### 2.6 Green Roof Areas

Refer to Architect's drawings for location of each of the following areas, which contain hard surfacing and planting areas:

- 2.6.1 Brown Roof
- 2.6.2 Extensive Green Roof
- 2.6.3 Semi-Intensive Green Roof
- 2.6.4 Roof Terrace with timber decking

## 3.0 DESIGN OBJECTIVES FOR LANDSCAPE ELEMENTS

The long-term design objective for the landscape scheme is to provide attractive communal external spaces and gardens. All planting must provide an attractive green setting for the residents. Tree planting provides height and structure within the external landscape and must provide a high quality landscape setting.

The long-term management and maintenance activities set out within this Landscape Management Plan seek to ensure the successful establishment of the external landscape spaces:

- the establishment of healthy trees of good form with a flowing branch line, strong leader and clear stems (dependant on species);
- the establishment of public realm gardens and courtyards with neatly clipped hedgerows and herbaceous perennial / grass borders free from weeds;
- the maintenance of smooth, even pedestrian hard landscape surfaces.

### 3.1 Long Term Design Objectives & Management Activities

The construction Contract will allow for a defects liability period to ensure the successful establishment of all landscape elements. All areas of soft landscape installed as part of the construction Contract will be subject to a defects liability period from the date of Practical Completion:

- the Contract will include for a 24 month maintenance and establishment period for all areas of grass, shrubs and hedges from the date of Practical Completion
- the Contract will include for a 24 month maintenance and establishment period for all new tree and hedge planting from the date of Practical Completion

Following the 24 months defects liability period London Borough of Camden will continue the maintenance of the external landscape spaces to ensure the continuation of the landscape structure and objectives.

## 4.0 LANDSCAPE MAINTENANCE ACTIVITIES

The landscape maintenance works required within the construction Contract are specified in an NBS Landscape Specification issued as part of the contract documents. The Design & Build Contract identifies a 24 month Maintenance Period following Practical Completion for all areas of grass, shrubs and perennials and a 24 month Maintenance Period following practical completion for all new tree and hedge planting.

The Defects Liability Periods will begin from Practical Completion and will be as follows:

- Trees: 24 months or until leafing out in the third growing season after planting whichever is the later.
- Hedges: 24 months or until leafing out in the third growing season after planting whichever is the later.
- All perennial planting: 24 months

### 4.1 Summary Of Maintenance Operations Required To Tree, Hedge & Shrub Planting Generally

- Frequency of maintenance visits: weekly throughout the construction Contract maintenance and establishment period.
- Plants/trees/shrubs that have failed to thrive (unless due to theft or malicious damage after completion) during the defects liability period stated above are to be replaced with equivalent plants/trees/shrubs.
- Replacements are to match size of adjacent or nearby plants of same species or match original specification (allowing for growth of originally planted stock) whichever is the greater size.
- Timing of making good: within 8 weeks of notification of failure (subject to planting season restrictions).
- Weed control: Maintain weed free area around each tree and shrub, minimum diameter the larger of 800mm or the surface of original planting pit. Keep planting beds clear of weeds, by hand and mechanical means.
- Planted areas: Fork over beds as necessary to keep soil loose, with gentle cambers and no hollows. Take care not to reduce depth or effect of mulch.
- Precautions: Ensure that trees and shrubs are not damaged by use of mowers, nylon filament rotary cutters and similar powered tools.
- Staking: Check condition of stakes, ties, guys and guards. Replace broken or missing items. Adjust if necessary to allow for growth and prevent rubbing of bark. Frequency of checks: 4 weeks.
- Trees: Spray crown when in leaf during warm weather. Carry out in the late afternoon / evening.
- Prune at appropriate times, to remove dead or dying and diseased wood and suckers, to promote healthy growth and natural shape. Prune trees to favour a single central leading shoot, unless type and form is of a multi stemmed or pleached nature.
- Watering: As necessary to ensure establishment and proper development at the discretion of the Contractor.
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#### 4.1.1 Specimen trees

##### TREE WORK GENERALLY

Identification: Before starting work agree which trees, shrubs and hedges are to be removed or pruned.

Protection: Avoid damage to neighbouring trees, plants and property.

Standards: To BS 3998 and Health & Safety Executive (HSE) 'Forestry and arboriculture safety leaflets'.

Removing branches: Cut vertical branches similarly, with no more slope on the cut surface than is necessary to shed rainwater.

Appearance: Leave trees with a well balanced natural appearance.

Chain saw work: Operatives must hold a Certificate of Competence.

Tree work: To be carried out by an approved member of the Arboricultural Association.

## ADDITIONAL WORK

Defective, diseased, unsafe or weak parts of trees additional to those scheduled for attention: Give notice if detected.

## CLEANING OUT AND DEADWOODING

- Dead, dying, or diseased wood, broken branches and stubs.
- Fungal growths and fruiting bodies.
- Rubbish, wind blown or accumulated in branch forks.
- Wires, clamps, boards and metal objects, if removable without causing further damage and not part of a support structure that is to be retained.
- Other unwanted objects, e.g. treehouses, swings.
- Climbing plants: As required.

## STAKING

Check condition of stakes, ties, guys and guards. Replace broken or missing items. Adjust if necessary to allow for growth and prevent rubbing of bark. Frequency of checks: 4 weeks; Remove stakes 2 years after planting.

## REFIRMING OF TREES AND SHRUBS

Timing: After strong winds, frost heave and other disturbances.

Refirming: Tread around the base until firmly bedded.

Collars in soil at base of tree stems, created by tree movement: Break up by fork, avoiding damage to roots. Backfill with topsoil and refirm.

- Spray crown with water when in leaf during very warm weather. Carry out in the late afternoon / evening;
- Prune at appropriate times, to remove dead or dying and diseased wood and suckers, to promote healthy growth and natural shape. Prune trees to favor a single central leading shoot, unless type and form is of a multi stemmed or pleached nature. Do not damage or tear the stem or bark. Keep wounds as small as possible and cut cleanly back to sound wood. Make cuts above and sloping away from an outwards branch bark ridge or branch collar as a pruning guide. Use clean sharp secateurs, hand saws or other approved tools. Trim off ragged edges of bark or wood with a sharp knife. Do not use growth retardants, fungicide or pruning sealant unless instructed. All prunings material should be removed from site.

- Regular inspections to check for pests and disease should be undertaken at the appropriate season.

## CROWN LIFTING

Clearances: Remove branch systems to give clearance.

- Height: 2.5m above footpaths.

Removing branches: Remove whole branches back to the stem, or cut lower portions of branches back to lateral or sublateral buds or branches. Do not leave stumps.

## BARK DAMAGE

Wounds:

- Do not attempt to stop sap bleeding.
  - Bark: Remove ragged edges using a sharp knife.
  - Wood: Remove splintered wood from deep wounds. - Size: Keep wounds as small as possible.
- Liquid or flux oozing from apparently healthy bark: Give notice.

### 4.1.2 Hedge, shrub, herbaceous and bulb planting

- Planting areas will need to be mulched annually and a general fertilizer applied if required. These areas should be kept weed free, generally by hand-weeding with the minimal use of herbicides. Irrigation should be undertaken during particularly dry periods. Excessive pruning and shaping should be avoided and the plants should be allowed to develop their natural form and structure. Where needed planting areas should be dead headed, thinned and gaps replanted to maintain full cover, good seasonal interest and highlight.

SNOW REMOVAL FROM SHRUBS/ TREES Standard: To BS 7370-4.

Plants subject to snow removal: All evergreens. Timing: Within 24 hours of snowfall.

ESTABLISHMENT OF NEW PLANTING Duration: 1 year.

Weed control:

- Method: Keep planting beds clear of weeds by hoeing and screening.
  - Area: Maintain a weed free area around each tree and shrub, minimum diameter the larger of 1 m or the surface of the original planting pit.
- Soil condition: Fork over beds to keep soil loose, with gentle cambers and no hollows. Do not reduce depth or effect of mulch.
- Watering: As required to maintain health of planting.

- Throughout the year herbaceous planting areas should be kept weed and pest free using hand tools and clear of fallen leaves and litter. Dead or damaged plants should be pruned regularly and dead flower heads removed as appropriate for each species. Where necessary, plants should be staked or supported in an unobtrusive manner as possible. At the end of the growing season plants should be cut back unless seed heads are to be retained for autumn and winter appeal and plants split when they have become overgrown in size. Areas of bulb planting should be cut back and tidied at the appropriate season after flowering.

## WEED CONTROL GENERALLY

Weed tolerance: At all times, weed cover less than 5% and no weed to exceed 100 mm high. Adjacent plants, trees and grass: Do not damage.

## HAND WEEDING

General: Remove weeds entirely, including roots.

Disturbance: Remove the minimum quantity of soil, and disturb plants, bulbs and mulched surfaces as little as possible.

Completion: Rake area to a neat, clean condition.

Mulch: Reinstatate to original depth.

## SOIL AERATION

Compacted soil surfaces:

- Prick up: To aerate the soil of root areas and break surface crust. - Size of lumps: Reduce to crumb and level off.
- Damage: Do not damage plants and their roots.

## SOIL LEVEL ADJUSTMENT

Level of soil/mulch at edges of beds: Reduce to 50 mm below adjacent grass or hard surface.

- Arisings (if any): Spread evenly over the bed.

## MAINTENANCE OF LOOSE MULCH Thickness (minimum): 75 mm.

- Topup: Every 3 months.

Mulch spill on adjacent areas: Remove weeds and rubbish and return to planted area. Weeding: Remove weeds growing on or in mulch by hand weeding.

## WINTER LEAF REMOVAL

Operations: Take down temporary leaf fences. Collect accumulations of drifted leaves from the vicinity and from planting beds.

Arisings: Remove to recycling facility.

## STAKING

- Check condition of stakes, ties, guys and guards. Replace broken or missing items. Adjust if necessary to allow for growth and prevent rubbing of bark. Frequency of checks: 4 weeks.

## IRRIGATION

Watering: As necessary to ensure establishment and proper development at the discretion of the Contractor.

- Trees/hedges: Spray crown when in leaf during warm weather. Carry out in the late afternoon / evening.

## PRUNE

Prune at appropriate times, to remove dead or dying and diseased wood and suckers, to promote healthy growth and natural shape.

Trees: prune to favour a single central leading shoot, unless type and form is of a multi stemmed or pleached nature.

Hedges: Prune to 1.1m at time of planting. Once established maintain annually to 1.1m in accordance with the Schedule of Maintenance Activities at section 4.5. *Fagus sylvatica* (Beech) hedge is to be trimmed late summer to encourage the hedge

to respond and retaining its leaves through the Winter, followed by renovation of old leaves to make way for new growth in late winter, for year-round screening. Prune to a slightly tapered form (base of the hedge is slightly wider than the top), allowing daylight to reach lower parts, maintaining a dense and bushy plant.

#### 4.2 Summary of maintenance operations required to areas of paving and gravel areas

- Every month throughout the year sweep all areas of external paving free of mud, grit, debris etc and remove any weeds or litter.
- Throughout the winter months collect leaves and dead-head planting
- Herbicide: Apply a suitable foliar acting or residual herbicide. Allow recommended period for herbicide to take effect before clearing arisings.
- Hard surfaces: Remove litter, leaves and other debris.
- Surface gutters and channels: Remove mud, silt and debris.
- Drainage gullies: Empty traps and flush clean.
- Gravel areas: Rake over. Remove weeds, litter, leaves and debris, and level off.
- Repairs to flexible bituminous pavings: In accordance with the original paving specification or BS 7370-2, clause 4.12.
- Stain removal: In accordance with BS 7370-2, table 4.

#### PAVED AREAS, PATIOS AND PATHS

- Paths and paved areas should be kept clear of litter and weeds by mechanical or hand sweeping and where necessary hosing and pressure washing to remove stubborn residues and any discoloration to the paving. It may be necessary to undertake deep cleansing of heavily trafficked areas on a regular basis;
- Seasonal activities to include salting and clearance of snow& ice, and leaves etc. to footway on snow reaching 5mm depth;
- Throughout the winter months collect leaves and dead-head planting;
- Every month throughout the year, inspect hard surfaces and notify the client of any damaged surfaces or trip hazards; and
- Every month throughout the year to inspect and treat areas where algae and moss have grown, in order to mitigate against the risk of slippery surfaces causing falls.

#### STEPS, RAMP AND WALLS

- These areas should be maintained in a similar manner to paved areas with particular attention being given to minimize any trip hazards.

#### DRAINAGE GULLIES AND CHANNELS

- Drainage systems should be regularly maintained ensuring they are in full working order. A regular cycle of maintenance should keep all gullies and channels clear and free of weeds, leaves and rubbish.

#### FENCING

- Fences: Inspect and repair to maintain protection against intruders. Gaps to be maintained in existing pallisade fence to allow passage of small mammals.

#### 4.3 Summary of Maintenance Operations Required to Roof Areas

- Annually and during the growing season (April to November) inspect the roof areas for self-seeded woody shrubs and remove by hand.
- Annually, at the end of the growing season (around October / November) strim any meadow areas to approximately 60mm sward, remove arisings, to ensure a regenerating meadow (Semi-intensive green roof only)
- Watering to prevent drying out and to ensure establishment (Semi-intensive and intensive roofs only).
- Check gutters / gravel margins for weeds, leaf litter, weeds etc and remove.

#### 4.4 Landscape Management Responsibilities

The maintenance operations for all areas of new tree planting, hedge planting, shrub planting and grassed areas are to be undertaken by the Contractor as part of the construction Contract for the required defects liability period.

Following the 24 months defects liability period Brentford Lock West Management Company will continue the maintenance operations for the external spaces at Brentford Lock West Phase 2.

#### 4.5 Schedule of Landscape Maintenance Activities

Please refer to the 'Schedule of Landscape Maintenance Activities'. This table provides a summary of the landscape maintenance activities set out within a standard NBS Specification in a single matrix. It sets out the annual time periods during which specific maintenance activities should be undertaken.

**SCHEDULE OF SEASONAL LANDSCAPE MAINTENANCE ACTIVITIES**

| Maintenance Activity:  | Jan | Feb | Mar | Apr | May | Jun | Jul | Aug | Sep | Oct | Nov | Dec |
|--|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| <b>Grass, Trees, Hedges &amp; Shrubs:</b>  |     |     |     |     |     |     |     |     |     |     |     |     |
| Weeding where necessary (including Intensive green roof and containers)  |     |     |     |     |     |     |     |     |     |     |     |     |
| Litter and debris collection (including Intensive green roof and containers)   | x   | x   | x   | x   | x   | x   | x   | x   | x   | x   | x   | x   |
| Tree, hedge and shrub replacements if necessary.   |     |     |     |     |     |     |     |     |     |     |     |     |
| <b>Shrubs:</b>   |     |     |     |     |     |     |     |     |     |     |     |     |
| Fertiliser application   |     |     | x   |     |     |     |     |     |     |     |     |     |
| Watering (sufficient to prevent wilt) if necessary   |     |     |     |     |     |     |     |     |     |     |     |     |
| Trimming and pruning (dependant on species) if necessary   |     |     |     |     |     |     |     |     |     |     |     |     |
| <b>Trees:</b>  |     |     |     |     |     |     |     |     |     |     |     |     |
| Fertiliser application   |     |     |     | x   |     |     |     |     |     |     |     |     |
| Watering (sufficient to prevent wilt) if necessary   |     |     |     |     |     |     |     |     |     |     |     |     |
| Underground guying to be inspected and maintained if necessary   |     |     |     |     |     |     |     |     |     |     |     |     |
| Pruning if necessary   |     |     |     |     |     |     |     |     |     |     |     |     |
| Inspect for damage and disease   |     |     |     |     |     |     |     |     |     |     |     |     |
| <b>Hedges:</b>   |     |     |     |     |     |     |     |     |     |     |     |     |
| Fertiliser application   |     |     | x   |     |     |     |     |     |     |     |     |     |
| Watering (sufficient to prevent wilt) if necessary   |     |     |     |     |     |     |     |     |     |     |     |     |
| Cutting (when at sufficient size) specific to hedge species requirement  |     |     |     |     |     |     | x   |     |     | x   |     |     |
| <b>Paving:</b>   |     |     |     |     |     |     |     |     |     |     |     |     |
| Every month through year sweep all areas of external paving free of mud, grit, debris etc and remove any weeds                                     | x   | x   | x   | x   | x   | x   | x   | x   | x   | x   | x   | x   |
| Every month throughout the year inspect and scarify Self Binding Aggregate surfaces as necessary to provide continuing even and permeable surface. | x   | x   | x   | x   | x   | x   | x   | x   | x   | x   | x   | x   |
| Removal of leaves, ice and snow as necessary.  | x   | x   | x   | x   |     |     |     |     | x   | x   | x   | x   |

|   |  |
|---|--|
|   | Hatched areas indicate timescale within which activity is to be undertaken if found necessary. |
| x | Indicates month activity is to be undertaken.  |

Note 1: Contract allows for 24 months maintenance and establishment period for all areas of grass and shrubs from date of Practical Completion.

Note 2: Contract allows for 24 months maintenance and establishment period for all new tree and hedge planting from date of Practical Completion.

Note 3: Following the 24 months defects liability period LBC will continue the long-term maintenance of the external spaces.

APPENDIX





- NOTES**
- All dimensions in millimetres unless otherwise shown.
  - All levels in metres above Ordnance Datum (mAOD) unless otherwise shown.
  - All dimensions to be checked on site and any discrepancies reported to Employer before pricing / work starts.
  - Any ambiguities or discrepancies within this drawing and any other information given elsewhere must be reported to Camlins and the Employer for clarification before pricing work proceeds.
  - All drawings to be read in conjunction with other Camlins drawings and specification information as appropriate.
  - Refer to relevant Engineer's and Architect's information as appropriate for confirmation of all engineering and architectural details.
  - All works to be carried out in accordance with the latest British Standards and appropriate codes of practice as a minimum.

- KEY**
- Ownership Boundary
  - Existing tree to be retained and protected. Refer to Greenman Environmental Management's Detailed Arboricultural Method Statement.
  - Proposed trees  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0072-S1-P1
  - Granite Sets In Stretcher Bond  
200mm x 100mm x 100mm. To take vehicular loading.  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0201-S1-P1
  - Porphyry Sawm Top Pebbles  
To take vehicular loading.  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0201-S1-P1
  - Precast Concrete Flag Paving  
450mm x 500mm x 20mm. Pedestrian loading only.  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0201-S1-P1
  - Rein Sound Gravel - permeable surface.  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0202-S1-P1
  - Self Binding Aggregate - permeable surface.  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0202-S1-P1
  - Granite Channel  
500mm x 200mm x random lengths (600-1200mm)  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0211-S1-P1
  - Linear drainage channel with steel grating.  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0211-S1-P1
  - Galvanised Steel Stodrain  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0221-S1-P1
  - Granite kerbs K1-3  
300mm x 150mm x 200mm x random lengths (600-1200mm)  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0211-S1-P1
  - Granite Edging (E1) & Precast Concrete Edging (E2)  
80mm x 50mm x 150mm x random lengths (600-1200mm)  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0211-S1-P1
  - Retaining Wall Using King Post System I-beam  
Vertical With Hecolated Slender Posts  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0201 and -0231-S1-P1
  - 2500 mm High Type 1 Brick Wall With Wire Tension System Attached  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0201 and -0234-S1-P1
  - 2000 mm High Type 1 Brick Wall With Wire Tension System Attached  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0201 and -0234-S1-P1
  - 1200 mm High Type 1 Brick Wall With Wire Tension System Attached  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0201 and -0234-S1-P1
  - 1000mm Low Brick Wall with Railing on Top  
to match existing boundary treatment.  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0201 and -0234-S1-P1
  - 1800mm High Type 1 Brick Wall  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0201 and -0234-S1-P1
  - Reinstated Brick Wall to Match Existing  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0201 and -0234-S1-P1
  - Existing Barbican Fencing to be Retained (F1A) or Extended (F1B)  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0201 and -0232-S1-P1
  - Garden Boundaries Timber Fencing 1800mm  
(on top of retaining wall where in dips in levels F2B)  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0201 and -0234-S1-P1
  - Powder Coated Weld Mesh Panel Fencing 1200mm High  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0201 and -0233-S1-P1
  - Reinstated Railing to Match Existing
  - Stainless Steel Moped Safety Barrier  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0201 and -0243-S1-P1
  - Cycle stands, Sheffield loop style, brushed stainless steel  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0242-S1-P1
  - Granite Landscape Feature and Drinking Fountain  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0241-S1-P1 & Drg. No. HNCC-CAM-ZZ-DR-L-0246-S1-P1
  - Stainless Steel Boltard - Lift Assist Rise & Fall  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0244-S1-P1
  - Gates - Types 1 & 2. Nominal 1.2m wide  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0201 and -0233-S1-P1
  - Information Panels x 2no. - Locations to be confirmed.  
For details refer to Drg. No. HNCC-CAM-ZZ-DR-L-0245-S1-P1

| Rev. | Date       | Description  | Revised by | Checked by |
|------|------------|--|------------|------------|
| 05   | 2021-10-28 | Substation location adjusted to 1m off 118 Gushdown Road gable. Amenity  | JW         | MSS        |
| 06   | 2021-10-27 | Vehicle added to table 2   | JW         | MSS        |
| 07   | 2021-10-27 | Substation location adjusted to 1.5m off 118 Gushdown Road gable.        | JW         | MSS        |
| 08   | 2021-07-07 | Height and fence adjusted of substation. Gas meter location added.       | IF         | MSS        |
| 09   | 2021-07-07 | Reinstating and connecting number of cycle stands (11 stands, 22 spaces) | IF         | MSS        |
| 10   | 2021-07-07 | Revising substation area design  | IF         | MSS        |

**Camlins**  
New Zealand House,  
Abbey Farmgate,  
Stroudbury, SY2 6FD  
01753 281 778  
www.camlins.com

**hunters**  
**Camden**  
**Harvey**  
**FARRANS**  
**Wright**

Highgate Newtown Community Centre  
London Borough of Camden

General Arrangement - Landscape Plan

Drawn by: MSS  
Checked by: PSS  
Scale: 1:200@A1  
Date: 22.06.2021

- NOTES**
- All dimensions in millimetres unless otherwise shown.
  - All levels in metres above Ordnance Datum (mAOD) unless otherwise shown.
  - All dimensions to be checked on site and any discrepancies reported to Employer before pricing / work starts.
  - Any ambiguities or discrepancies within this drawing and any other information given elsewhere must be reported to Camlins and the Employer for clarification before pricing work proceeds.
  - All drawings to be read in conjunction with other Camlins drawings and specification information as appropriate.
  - Refer to relevant Engineer's and Architect's information as appropriate for confirmation of all engineering and architectural details.
  - All works to be carried out in accordance with the latest British Standards and appropriate codes of practice as a minimum.

- KEY**
- Ownership Boundary
  - Extensive green roof  
For details refer to GA Irrigation Requirements Drawing HNCC-CAM-ZZ-DR-L-0082-S1-P1 GA.
  - Sedum green roof
  - 500mm gravel border for maintenance

Green roof build up and species specification to be detailed by specialist green roof contractor, in co-ordination with Architect, Roof Specialist and Engineer.

Refer to following General Arrangement drawings for irrigation and growing medium requirements:

- GA Irrigation Requirements - HNCC-CAM-ZZ-DR-L-0083-S1-P1
- GA Growing Medium Requirements - HNCC-CAM-ZZ-DR-L-0081-S1-P1

Green roof proposals form part of the ecological enhancements proposals to satisfy Planning Conditions and BREAME:

- GA Ecological Enhancements HNCC-CAM-ZZ-DR-L-0084-S1-P1

| Rev. | Date       | Description   | Revised by | Checked by |
|------|------------|---|------------|------------|
| 02   | 2021-10-21 | Substation location adjusted to 1m off 118 Gushdown Road gable. | JW         | MSS        |

**Camlins**  
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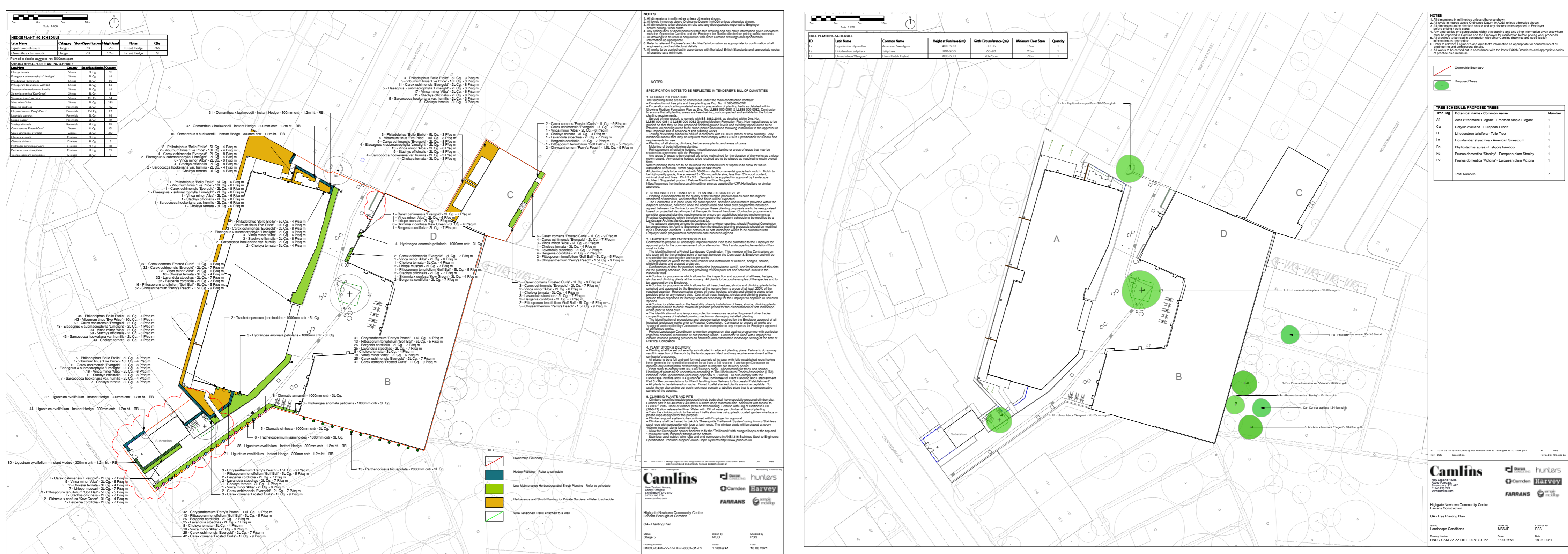
**hunters**  
**Camden**  
**Harvey**  
**FARRANS**  
**Wright**

Highgate Newtown Community Centre  
London Borough of Camden

GA - Roof Landscape Plan

Drawn by: MSS  
Checked by: MSS  
Scale: 1:200@A1  
Date: 28.04.2021





**HEDGE PLANTING SCHEDULE**

| Latin Name             | Category | Stock/Specification | Height (cm) | Notes         | Qty |
|------------------------|----------|---------------------|-------------|---------------|-----|
| Ligustrum ovalifolium  | Hedges   | RB                  | 1.2m        | Instant Hedge | 266 |
| Osmanthus x burkwoodii | Hedges   | RB                  | 1.2m        | Instant Hedge | 79  |

Planted in double staggered row 300mm apart

**SHRUB & HERBACEOUS PLANTING SCHEDULE**

| Latin Name                             | Category   | Stock/Specification | Quantity |
|--|------------|---------------------|----------|
| Chamaenerion                           | Shrubs     | 2L Cg               | 64       |
| Elaeagnus x submacrophylla 'Limelight' | Shrubs     | 2L Cg               | 50       |
| Philadelphus Belle Etoile              | Shrubs     | 2L Cg               | 52       |
| Pittosporum tenuifolium 'Golf Ball'    | Shrubs     | 2L Cg               | 64       |
| Sarcococca hookeriana var. humilis     | Shrubs     | 2L Cg               | 64       |
| Skinimia x confusa 'Kew Green'         | Shrubs     | 2L Cg               | 3        |
| Viburnum tinus 'Eve Price'             | Shrubs     | 10L Cg              | 64       |
| Vincia minor 'Alba'                    | Shrubs     | 2L Cg               | 233      |
| Bergenia cordifolia                    | Perennials | 2L Cg               | 102      |
| Chrysanthemum 'Perry's Peach'          | Perennials | 1.5L Cg             | 15       |
| Limonium                               | Perennials | 2L Cg               | 92       |
| Stachys officinalis                    | Perennials | 2L Cg               | 17       |
| Carex comans 'Frosted Curly'           | Grasses    | 2L Cg               | 15       |
| Carex oshimensis 'Evergold'            | Grasses    | 2L Cg               | 26       |
| Clematis cirrhosa                      | Climbers   | 2L Cg               | 8        |
| Clematis cirrhosa                      | Climbers   | 2L Cg               | 5        |
| Hydrangea anomala petiolaris           | Climbers   | 2L Cg               | 10       |
| Parthenocissus tricuspidata            | Climbers   | 2L Cg               | 13       |
| Tachelospermum jasminoides             | Climbers   | 2L Cg               | 8        |

**TREE PLANTING SCHEDULE**

| ID | Latin Name              | Common Name        | Height at Purchase (cm) | Girth Circumference (cm) | Minimum Clear Span | Quantity |
|----|-------------------------|--------------------|-------------------------|--------------------------|--------------------|----------|
| Ls | Liquidambar styraciflua | American Sweetgum  | 400-500                 | 30-35                    | 1.5m               | 1        |
| Lt | Liriodendron tulipifera | Tulip Tree         | 700-900                 | 60-80                    | 2.5m               | 1        |
| Ul | Ulmus luteus 'Narguen'  | Elm - Dutch Hybrid | 400-500                 | 20-25cm                  | 2.0m               | 1        |

**NOTES**

- All dimensions in millimetres unless otherwise shown.
- All levels in metres above Ordnance Datum (AOD) unless otherwise shown.
- Before dimensions to be checked on site and any discrepancies reported to Employer before planting work starts.
- Any ambiguities or discrepancies within this drawing and any other information given elsewhere must be reported to Camlins and the Employer for clarification before planting work proceeds.
- All drawings to be read in conjunction with other Camlins drawings and specification information as appropriate.
- Refer to relevant Engineers and Architects information as appropriate for confirmation of all engineering and architectural details.
- All works to be carried out in accordance with the latest British Standards and appropriate codes of practice as a minimum.

**NOTES:**

**SPECIFICATION NOTES TO BE REFLECTED IN TENDERER'S BILL OF QUANTITIES**

- GROUND PREPARATION:**
  - The following items are to be carried out under the main construction contract:
    - Excavation and carting material away for preparation of planting beds as detailed within Growing Medium Formation Plan as Drg. No. LL585-000-0061 & LL585-000-0062. Contractor to ensure that all planting areas are free draining, not compacted and suitable for the planting requirements.
    - Spread of new topsoil, to comply with BS 3882:2015, as detailed within Drg. No. LL585-000-0061 & LL585-000-0062 Growing Medium Formation Plan. New topsoil areas to be graded so that they lie into proposed finished ground levels and existing topsoil areas to be retained. All planting areas to be stone pocked and raked following installation to the approval of the Employer and in advance of soft planting works.
    - Testing of existing subsoil to ensure it complies with BS 8601 (area of new planting). Any additional subsoil that may be required must comply with BS 8601 Specification for subsoil and requirements for use.
    - Planting of all shrubs, climbers, herbaceous plants, and areas of grass.
    - Mulching of beds following planting.
    - Replacement of existing hedges, miscellaneous plantings or areas of grass that may be retained in agreement with the Employer.
    - Any areas of grass to be retained are to be maintained for the duration of the works as a close mown sward. Any existing hedges to be retained are to be clipped as required to retain overall form.
  - When planting beds are to be matched the finished level of topsoil is to allow for future installation of nominal 70mm deep layer of bark mulch.
  - All planting beds to be mulched with 50-80mm depth ornamental grade bark mulch. Mulch to be high quality grade, minimum 30mm particle size, less than 5% wood content, minimal dust and fines. Ph 4.5 - 5.5. Sample to be supplied for approval by Landscape Architect. Suggested product: Deluxe Maritime Pine Nuggets <https://www.cpa-horticulture.co.uk/maritime-pine> as supplied by CPA Horticulture or similar approved.

- SEASONALITY OF HANDOVER - PLANTING DESIGN REVIEW:**
  - Planting is fundamental to the quality of the finished product and as such the highest standards of materials, workmanship and finish will be expected.
  - The Contractor is to price upon the plant species, densities and numbers provided within the adjacent Schedule, however, once the construction and hand-over programme has been agreed between the Contractor and Employer these planting proposals are to be re-appraised based on projected visual impact at the specific time of handover. Contractor programme to consider seasonal planting requirements to ensure an established planted programme at Practical Completion, which therefore may require the adjacent schedule to be modified by a Landscape Architect/landscape subcontractor.
  - The adjacent planting scheme is designed for a winter opening, should Practical Completion be programmed for April to September then the detailed planting proposals should be modified by a Landscape Architect. Exact details of all soft landscape works to be confirmed with Employer once programme completion date has been agreed.

- LANDSCAPE IMPLEMENTATION PLAN:**
  - Contractor to prepare a Landscape Implementation Plan to be submitted to the Employer for approval prior to the commencement of on site works. The Landscape Implementation Plan must include:
    - The identification of a Project Landscape Coordinator. This member of the Contractor's on site team will be the principal point of contact between the Contractor & Employer and will be responsible for planning the landscape works.
    - A programme of works for the procurement and installation of all trees, hedges, shrubs, climbing plants and grassed areas etc.
    - Confirmation of date for practical completion (approximately weekly) and implications of this date on the planting schedule, including providing revised plant list and schedule suited to the handover date.
    - A Contractor programme which allows for the inspection and approval of all trees, hedges, shrubs and climbing plants at the nursery. All plants to be good examples of the species and to be approved by the Employer.
    - A Contractor programme which allows for all trees, hedges, shrubs and climbing plants to be selected and approved by the Employer at the nursery from a group of at least 20% of the required quantity. Representative photos of trees, hedges, shrubs and climbing plants to be provided for every nursery visit. Cost of all trees, hedges, shrubs and climbing plants to include travel expenses for nursery visits as necessary for the Employer to approve all selected species.
    - A Contractor statement on the feasibility of early installation of trees, shrubs, climbing plants and grassed areas to allow maximum possible period for the establishment of soft landscape works prior to hand over.
    - The identification of any temporary protection measures required to prevent other trades compacting areas of installed growing medium or damaging installed planting.
    - The identification of procedures and documentation required for the Employer approval of all installed landscape works prior to Practical Completion. Contractor to ensure all works are approved and recorded by Contractors on site team prior to any requests for Employer approval of completed works.
    - The Landscape Coordinator to monitor progress on site against programme with particular regard to seasonal restrictions of soft planting works. Contractor to liaise with Employer to ensure installed planting provides an attractive and established landscape setting at the time of Practical Completion.

- PLANT STOCK & DELIVERY:**
  - Planting shall be set out exactly as indicated in adjacent planting plans. Failure to do so may result in rejection of the work by the landscape architect and may require amendment at the contractor's expense.
  - All plants to be a full and well formed example of its type, with fully established roots having been grown in the specified container for at least a full season. Landscape Contractor to approve any cutting back of flowering plants during the pre-delivery period.
  - Plant stock to comply with BS 3838 Nursery stock. Specification for trees and shrubs handling of plants to be undertaken according to the Horticultural Trades Association (HTA) National Plant Specification (including Appendix 1, 2 and 3). To also comply with the landscape Institute and HTA guidance: 'The Committee for Plant Handling and Establishment Part 3 - Recommendations for Plant Handling from Delivery to Successful Establishment'.
  - All plants to be delivered on racks, boxed / pallet stacked and not acceptable. To assist the on site setting-out each rack must contain a labelled plant that is a representative sample of the species.

- CLIMBING PLANTS AND PITS:**
  - Climbers specified outside proposed shrub beds shall have specially prepared climber pits. Climber pits to be 400mm x 400mm x 600mm deep minimum size, backfilled with topsoil to BS3882: 2015. Base of climber pit to be freestanding. Fertiliser with 50g of Hortibac CRF 15-0-12 slow release fertilizer. Water with 15L of water per climber at time of planting.
  - Train the climbing shrub to the verandah / trellis structure using plastic coated garden wire tags or plastic clips designed for the purpose.
  - Climber support system to be confirmed with Employer for approval.
  - Climbers shall be trained to Jacob's Greenhouse Trelliswork System using 4mm x Stainless steel rope with turnbuckle with loop at both ends. The climber studs will be placed at every 300mm interval along length of rope.
  - Allow for Greenhouse spacer baskets to fix the 'Trelliswork' with swaged loops at the top and 'Stainless steel cable / wire rope and connectors in ANSI 316 Stainless Steel to Engineers Specification. Possible supplier Jacob Rope Systems <http://www.jacob.co.uk>

PE 2021-10-21 Hedge adjusted and lengthened at entrance adjacent substation. Shrub planting removed and amenity terraces added to block D

Rev: Date Description

Revised by: Checked by:

**Camlins** **hunting** **hunting**

New Zealand House, Abbey Foregate, Stroud, Glos, ST9 6FD 0143 290 779 [www.camlins.com](http://www.camlins.com)

**FARRANS** **simple mckip**

**GA - Planting Plan**

Scale: 1:200@A1

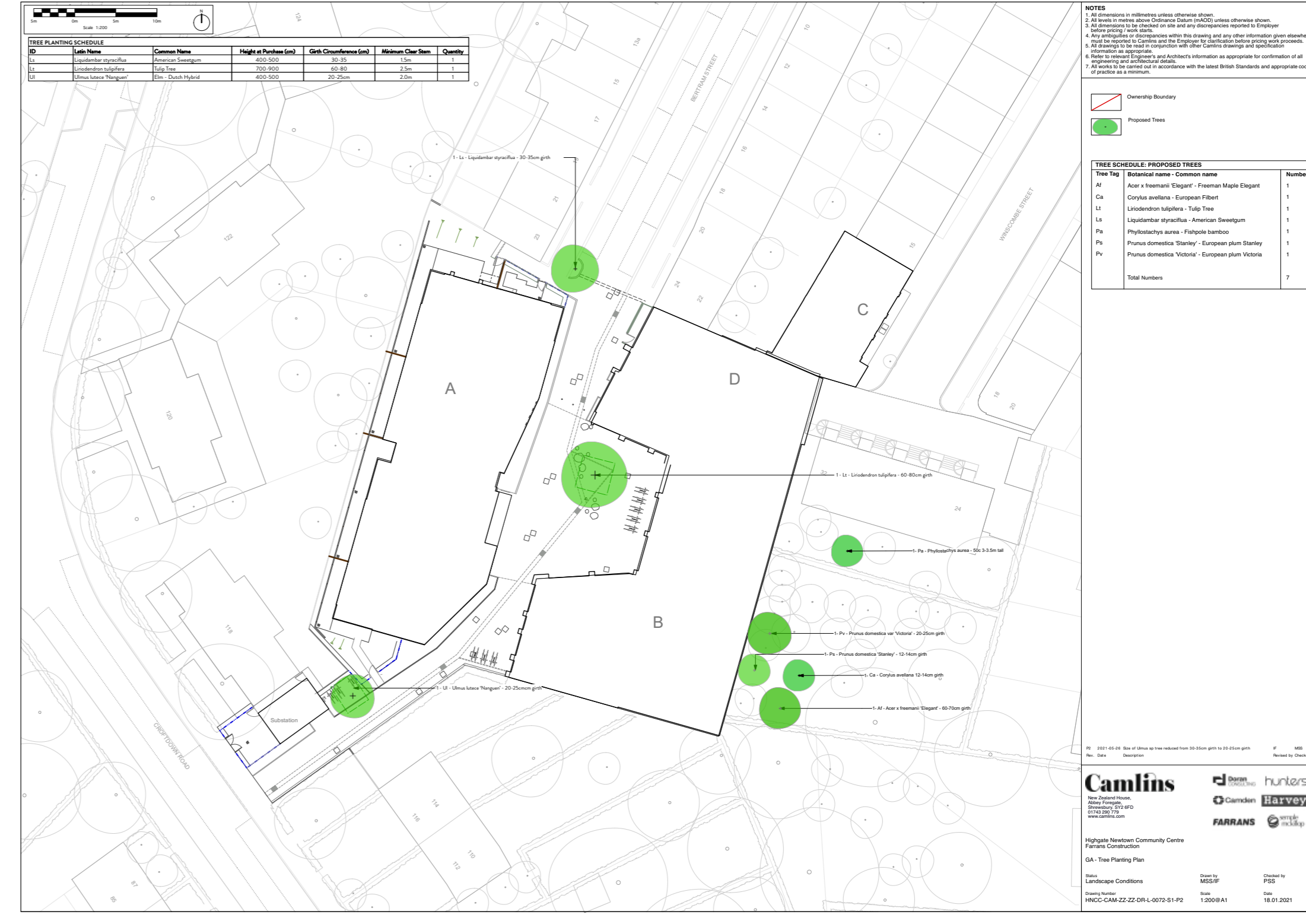
Date: 10.08.2021

Drawn by: MSS

Checked by: PSS

Scale: 1:200@A1

Date: 10.08.2021



**TREE PLANTING SCHEDULE**

| ID | Latin Name              | Common Name        | Height at Purchase (cm) | Girth Circumference (cm) | Minimum Clear Span | Quantity |
|----|-------------------------|--------------------|-------------------------|--------------------------|--------------------|----------|
| Ls | Liquidambar styraciflua | American Sweetgum  | 400-500                 | 30-35                    | 1.5m               | 1        |
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PE 2021-05-26 Size of Ulmus up tree reduced from 30-35cm girth to 20-25cm girth

Rev: Date Description

Revised by: Checked by:

**Camlins** **hunting** **hunting**

New Zealand House, Abbey Foregate, Stroud, Glos, ST9 6FD 0143 290 779 [www.camlins.com](http://www.camlins.com)

**FARRANS** **simple mckip**

**GA - Planting Plan**

Scale: 1:200@A1

Date: 18.01.2021

Drawn by: MSS

Checked by: PSS

Scale: 1:200@A1

Date: 18.01.2021



**TREE SCHEDULE: PROPOSED TREES**

| Tree Tag      | Botanical name - Common name                         | Number |
|---------------|--|--------|
| Af            | Acer x freemansi 'Elegant' - Freeman Maple Elegant   | 1      |
| Ca            | Corylus avellana - European Filbert                  | 1      |
| Lt            | Liriodendron tulipifera - Tulip Tree                 | 1      |
| Ls            | Liquidambar styraciflua - American Sweetgum          | 1      |
| Pa            | Phyllostachys aurea - Fishpole bamboo                | 1      |
| Ps            | Prunus domestica 'Stanley' - European plum Stanley   | 1      |
| Pv            | Prunus domestica 'Victoria' - European plum Victoria | 1      |
| Total Numbers |  | 7      |

PE 2021-05-26 Size of Ulmus up tree reduced from 30-35cm girth to 20-25cm girth

Rev: Date Description

Revised by: Checked by:

**Camlins** **hunting** **hunting**

New Zealand House, Abbey Foregate, Stroud, Glos, ST9 6FD 0143 290 779 [www.camlins.com](http://www.camlins.com)

**FARRANS** **simple mckip**

Highgate Newtown Community Centre  
Farrans Construction

GA - Tree Planting Plan

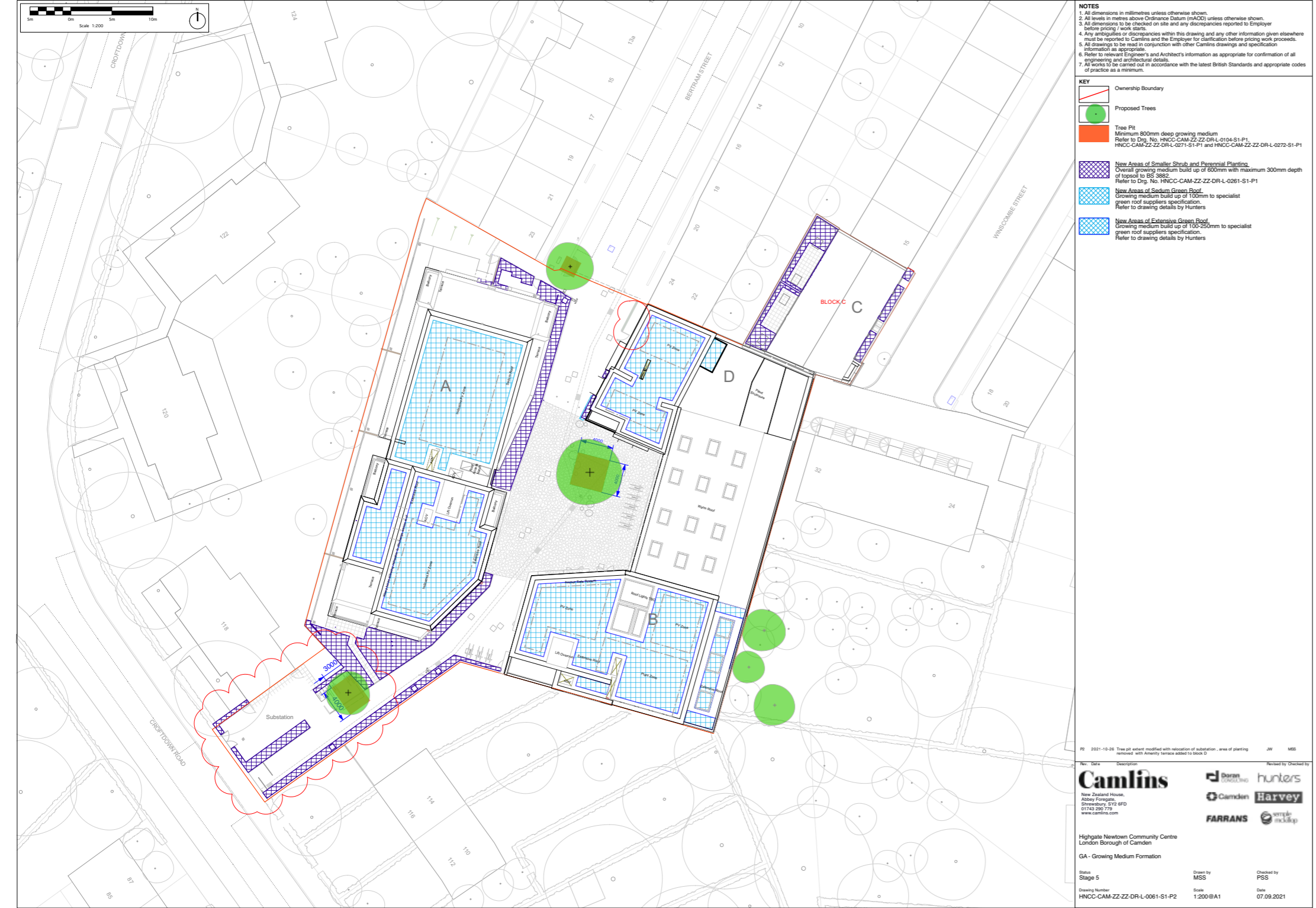
Drawn by: MSS

Checked by: PSS

Scale: 1:200@A1

Date: 18.01.2021





**NOTES**

- All dimensions in millimetres unless otherwise shown.
- All levels in metres above Ordnance Datum (mAOD) unless otherwise shown.
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- Refer to relevant Engineer's and Architect's information as appropriate for confirmation of all engineering and architectural details.
- All works to be carried out in accordance with the latest British Standards and appropriate codes of practice as a minimum.

**KEY**

- Ownership Boundary
- Proposed Trees
- Tree Pit  
Minimum 800mm deep growing medium  
Refer to Drg. No. HNCC-CAM-ZZ-ZZ-DR-L-0104-S1-P1  
HNCC-CAM-ZZ-ZZ-DR-L-0271-S1-P1 and HNCC-CAM-ZZ-ZZ-DR-L-0272-S1-P1
- New Areas of Smaller Shrub and Perennial Planting  
Overall growing medium build up of 600mm with maximum 300mm depth of topsoil to BS 3882  
Refer to Drg. No. HNCC-CAM-ZZ-ZZ-DR-L-0261-S1-P1
- New Areas of Sedum Green Roof  
Growing medium build up of 100mm to specialist green roof suppliers specification  
Refer to drawing details by Hunters
- New Areas of Extensive Green Roof  
Growing medium build up of 100-250mm to specialist green roof suppliers specification  
Refer to drawing details by Hunters

PS 2021-10-26 Tree pit extent modified with relocation of substation - area of planting removed with amenity fence added to block D JW MSS

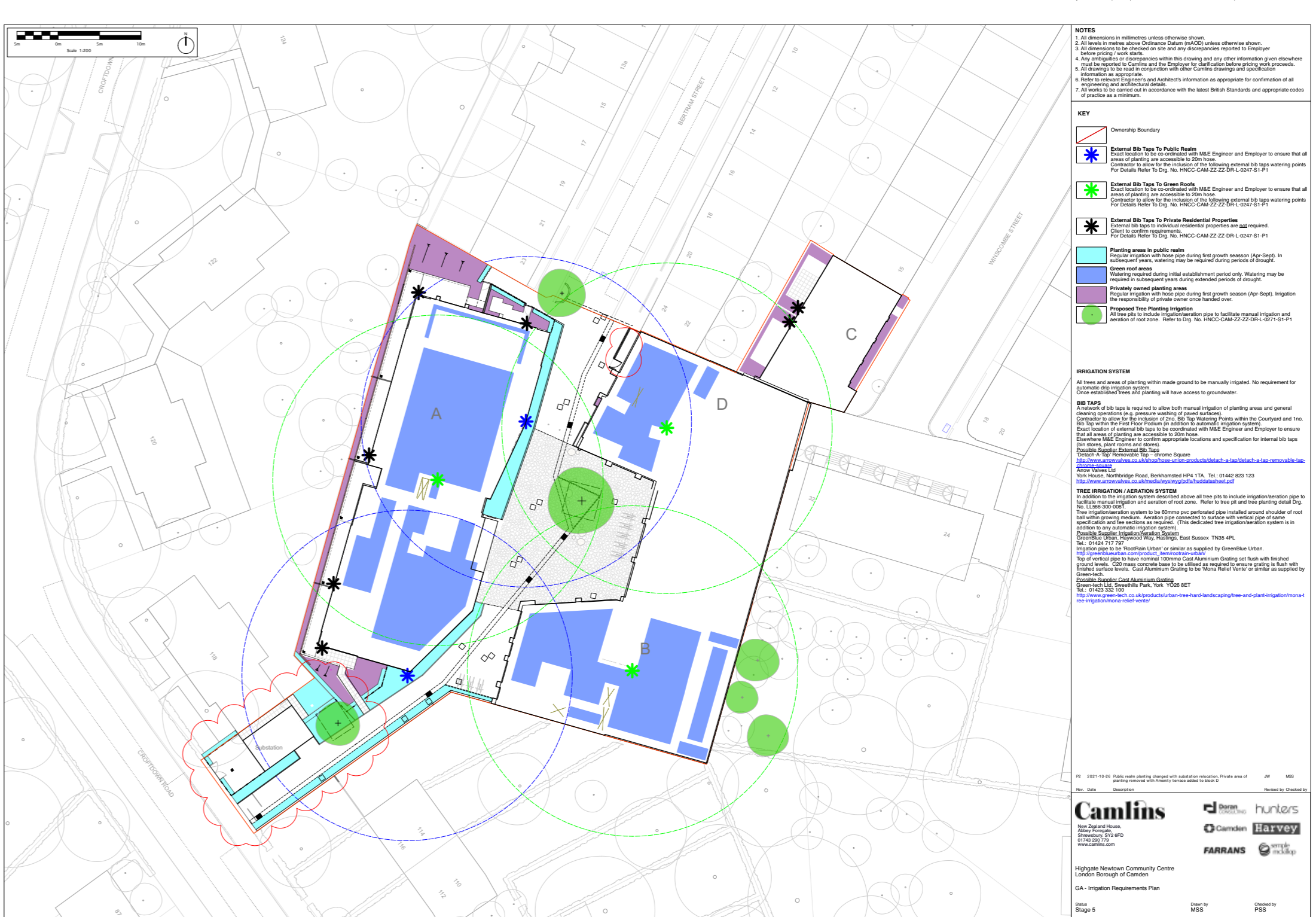
Rev. Date Description Revised by Checked by

**Camlins** **hunters**  
New Zealand House, Abbey Foregate, Sharnbury, SY2 6FD 01743 250 779 www.camlins.com

Highgate Newtown Community Centre London Borough of Camden

GA - Growing Medium Formation

Status: Stage 5  
Drawing Number: HNCC-CAM-ZZ-ZZ-DR-L-0061-S1-P2  
Scale: 1:200@A1  
Date: 07.09.2021



**NOTES**

- All dimensions in millimetres unless otherwise shown.
- All levels in metres above Ordnance Datum (mAOD) unless otherwise shown.
- All dimensions to be checked on site and any discrepancies reported to Employer before pricing / work starts.
- Any ambiguities or discrepancies within this drawing and any other information given elsewhere must be reported to Camlins and the Employer for clarification before pricing work proceeds.
- All drawings to be read in conjunction with other Camlins drawings and specification information as appropriate.
- Refer to relevant Engineer's and Architect's information as appropriate for confirmation of all engineering and architectural details.
- All works to be carried out in accordance with the latest British Standards and appropriate codes of practice as a minimum.

**KEY**

- Ownership Boundary
- External Bib Taps To Public Realm  
Exact location to be co-ordinated with M&E Engineer and Employer to ensure that all areas of planting are accessible to 20m hose.  
Contractor to allow for the inclusion of the following external bib taps watering points  
For Details Refer to Drg. No. HNCC-CAM-ZZ-ZZ-DR-L-0247-S1-P1
- External Bib Taps To Green Roofs  
Exact location to be co-ordinated with M&E Engineer and Employer to ensure that all areas of planting are accessible to 20m hose.  
Contractor to allow for the inclusion of the following external bib taps watering points  
For Details Refer to Drg. No. HNCC-CAM-ZZ-ZZ-DR-L-0247-S1-P1
- External Bib Taps To Private Residential Properties  
External bib taps to individual residential properties are not required.  
Client to confirm requirements.  
For Details Refer to Drg. No. HNCC-CAM-ZZ-ZZ-DR-L-0247-S1-P1
- Planting areas in public realm  
Regular irrigation with hose pipe during first growth season (Apr-Sept). In subsequent years, watering may be required during periods of drought.
- Green roof areas  
Watering required during initial establishment period only. Watering may be required in subsequent years during extended periods of drought.
- Privately owned planting areas  
Regular irrigation with hose pipe during first growth season (Apr-Sept). Irrigation the responsibility of private owner once handed over.
- Proposed Tree Planting Irrigation  
All tree pits to include irrigation/aeration pipe to facilitate manual irrigation and aeration of root zone. Refer to Drg. No. HNCC-CAM-ZZ-ZZ-DR-L-0271-S1-P1

**IRRIGATION SYSTEM**

All trees and areas of planting within made ground to be manually irrigated. No requirement for automatic drip irrigation system.  
Once established trees and planting will have access to groundwater.

**BIB TAPS**

A network of bib taps is required to allow both manual irrigation of planting areas and general cleaning operations (e.g. pressure washing of paved surfaces).  
Contractor to allow for the inclusion of 20m Bib Tap Watering Points within the Courtyard and 10m Bib Tap within the First Floor Podium (in addition to automatic irrigation system).  
Exact location of external bib taps to be coordinated with M&E Engineer and Employer to ensure that all areas of planting are accessible to 20m hose.  
Elsewhere M&E Engineer to confirm appropriate locations and specification for internal bib taps (in stone, plant rooms and stores).  
Possible Suppliers: External Bib Taps  
Detachable Removable Tap - Orange Square  
<http://www.arowvalves.co.uk/shop/hose-union-products/attach-a-tap/attach-a-tap-removable-tap-attach-a-tap-removable-tap-attach-a-tap-removable-tap>  
Arow Valves Ltd  
York House, Northbridge Road, Donkinsted HP4 1TA. Tel: 01442 823 123  
<http://www.arowvalves.co.uk/media/1674/valve-catalogue.pdf>

**TREE IRRIGATION / AERATION SYSTEM**

In addition to the irrigation system described above all tree pits to include irrigation/aeration pipe to facilitate manual irrigation and aeration of root zone. Refer to tree pit and tree planting detail Drg. No. L130-2021-01

Tree irrigation/aeration system to be 60mm pvc perforated pipe installed around shoulder of root ball with growing medium. Aeration pipe connected to surface with vertical pipe of same specification and tee sections as required. (This dedicated tree irrigation system is in addition to any automatic irrigation system).  
Possible Suppliers: Tree Irrigation/Aeration Systems  
Green-tect: Haywood Way, Hastings, East Sussex TN35 4PL  
Tel: 01424 717 797  
<http://www.green-tect.co.uk/products/urban-tree-hard-landscaping/tree-and-plant-irrigation/mona-4-free-irrigation/mona-relief-vent/>  
Irrigation pipe to be 'hooftman Urban' or similar as supplied by GreenBlue Urban.  
<http://www.greenblueurban.com/product/leeroot/leeroot-urban/>  
Top of vertical pipe to have nominal 100mm Cast Aluminium Grating set flush with finished ground levels. C20 mass concrete base to be utilised as required to ensure grating is flush with ground surface levels. Cast Aluminium Grating to be 'Mona Relief Vent' or similar as supplied by Green-tect.  
Possible Suppliers: Cast Aluminium Grating  
Green-tect Ltd, Sawchills Park, York, YO26 8ET  
Tel: 01423 332 100  
<http://www.green-tect.co.uk/products/urban-tree-hard-landscaping/tree-and-plant-irrigation/mona-4-free-irrigation/mona-relief-vent/>

PS 2021-10-26 Public realm planting changes with substation relocation. Private area of planting removed with amenity fence added to block D JW MSS

Rev. Date Description Revised by Checked by

**Camlins** **hunters**  
New Zealand House, Abbey Foregate, Sharnbury, SY2 6FD 01743 250 779 www.camlins.com

Highgate Newtown Community Centre London Borough of Camden

GA - Irrigation Requirements Plan

Status: Stage 5  
Drawing Number: HNCC-CAM-ZZ-ZZ-DR-L-0082-S1-P2  
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