

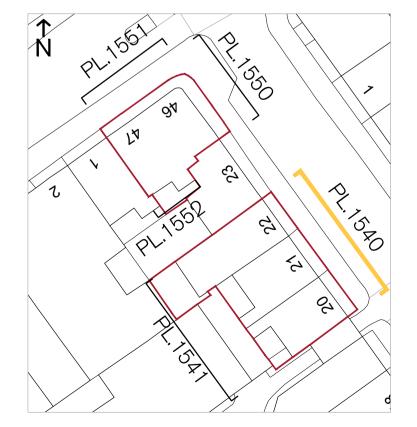


Outside Scope of Works

Grey hatch indicates adjacent buildings.

NOTES:

- 1. Existing painted metal railings and balustrade redecorated.
- 2. New mechanical equipment and service runs to roofs. Refer to MEP information for details on services and structural engineers information for roof strengthening works.
- 3. Existing painted metal bars redecorated white. 4. New glazing to replace exiting top panels modified for plant vent.
- 5. New sash window.
- 6. New wall mounted external lights.
- 7. New external door. 8. Existing metal gangway retained and re-supported to structural engineers
- details. Existing painted metalwork redecorated black. 9. New wall mounted cycle stands.
- 10. New metal bars installed externally to existing window to match existing.
- 11. Existing rain water goods cleaned and redecorated black. Damaged or
- poorly installed components repaired and replaced. 12. New external building signage.
- 13. New metal balustrade painted black.
- 14. New plant screen and door.
- New roof membrane overlaid onto existing asphalt roof on 22 Southampton Place and 46-47 Bloomsbury Square.
- 16. New roof membrane overlaid onto existing asphalt roof on 20-21 Southampton Place.
- 17. New 150mm louvre for shower and toilet.
- 18. New 100mm kitchenette extract wall fan. 19. New 100mm toilet extract wall fan.
- 20. New 100mm louvre for shower.
- 21. New 100mm louvre for future tea point fan connection.
- 22. New free standing roof edge protection to flat roof perimeter.
- 23. Existing mansard roofs retained and missing/damaged slates replaced 24. Damaged, slipped or missing slates to mansards to be replaced to match
- 25. New mechanical equipment located on roofs. Refer to MEP information for
- details on services and structural engineers information for roof strengthening works or raised kerbs.
- 26. Existing chimney render and flashing's repaired. 27. Existing parapet and party walls repaired.
- 28. New extended external stairs to match existing.
- 29. Condenser units in rear courtyard, refer to MEP information for details.
- 30. New roof access hatches. 31. Existing dormers leadwork, roofs and flashings to be repaired.
- 32. New decking to rear external courtyards.
- 33. Boosted cold water service to serve bib tap, refer to MEP drawings and schedules for details.
- 34. All existing windows refurbished.



EDR