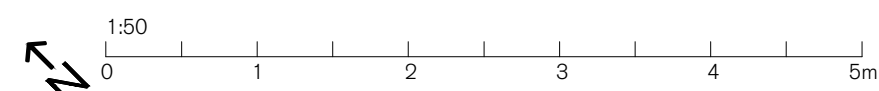


- NOTES:
- Existing mechanical, public health and electrical equipment carefully removed throughout as indicated in MEP information. Redundant fixing positions and service runs made good.
 - Existing electrical cupboards carefully removed and abutments made good.
 - Old abutments made good ready to receive new finishes.
 - Existing external doors and frames carefully removed and openings made good ready to receive new doors.
 - Existing lifts retained and refurbished.
 - Existing sanitary ware carefully removed and abutments / substrates made good ready to receive new finishes and equipment.
 - Existing kitchens and associated services carefully removed with abutments and substrates made good ready to receive new finishes.
 - Existing metal staircase and balustrade carefully removed. Old fixing locations to be made good.
 - Existing window guarding carefully removed.
 - Existing tiled wall finish carefully removed and substrate made good ready to receive new finish.
 - Existing service risers and boxing removed.
 - Existing window removed and sill below taken down to floor level to form new door. Abutments made good.
 - Existing window removed, sill dropped and structural opening widened to form new doorway.
 - Existing casement windows carefully removed and structural openings made good ready to receive new windows.
 - Existing security screens / bars carefully removed and old fixing points made good.
 - Existing infilled vault entrances carefully opened up.
 - Existing wall carefully removed in accordance with structural engineers information.
 - Existing cornice carefully removed where indicated.
 - New opening formed in existing timber stud and plasterboard wall.
 - Existing curtains / blinds removed and redundant fixing holes made good.
 - Existing dado and skirting carefully removed, old fixing locations made good.
 - Existing opening timber reveal and architraves carefully removed and wall made good as required.
 - Existing steel staircase carefully removed. Abutments made good.
 - Existing skylights removed.
 - Existing metal tube guarding and roof fixings carefully removed and roof structure made good.
 - Existing dado carefully removed, old fixing locations made good.
 - Existing sliding roof hatch and rails removed and fixing locations made good.
 - Existing redundant rooftop plant housings removed and retained roof made good.
 - Existing tiled floor carefully removed back to original floorboards.
 - Existing MDF paneling removed to expose existing cast iron fireplace.
 - New opening formed in existing roof. Structural opening details to structural engineers details.
- KEY
- Ownership Boundary Line (all other land shown south of blue line on plan is within applicants control).
- Application boundary.
- DEMOLITION KEY:
- Walls / elements to be carefully demolished and adjoining elements to be made good where necessary.
- Existing door, architraves and lining to be removed. Refer to door schedule for additional details. Structural opening to be made good.
- Existing ceilings carefully removed.



SPRATLEY & PARTNERS
7 CENTENARY BUSINESS PARK, STATION ROAD, HENLEY-ON-THAMES, OXFORDSHIRE RG9 1DS. 01491 411277
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INFORMATION. ALL DIMENSIONS TO BE CHECKED ON SITE. THIS DRAWING IS COPYRIGHT.

REV.	ISSUED	DESCRIPTION	DRAWN	CHECKED
-	-	-	-	-
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PROJECT HOLBORN LINKS PROJECT 5 20-22 SP & 46-47 BS	DESCRIPTION 20-22 SP DEMOLITION GROUND FLOOR PLAN
CLIENT EDR	

DATE JULY '21	SCALE AT A1 1:50	JOB NO 21.865
STATUS PLANNING	DRAWING NO PL.1321	
DRAWN CW	CHECKED RE	REV A

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& P