

Key:

Existing structure / earth	New Structure
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Legend: Proposed Finishes

Existing floor boards	Carpet
Reclaimed floor boards	Natural stone
Engineered timber floor	Tile
External paving	Mosaic tile
Grille	

General Notes:

- Existing brickwork to be re-pointed and repaired throughout.
- Retain and refurbish all existing window boxes, architraves and shutters.
- All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing A6900
- All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
- All existing walls and ceilings to be locally re-skimmed and painted where required.
- Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

Floor Build-ups

FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.

FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.

FLOOR 3: Specified floor finish on existing structural slab.

FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.

FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.

FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

Proposed Notes:

01	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
02	Proposed metal handrail
03	Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
04	Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
05	Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
06	Existing timber staircase and balustrade to be refurbished and redecorated.
07	Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.
08	Proposed minimal frame fixed aluminium window
09	Proposed minimal frame aluminium casement window (operable)
10	Proposed built in joinery
11	Existing chimney piece and hearth to be refurbished and redecorated where necessary.
12	Proposed column radiator
13	Replace existing mosaic floor finish
14	Existing metal railings to be refurbished and redecorated
15	Proposed metal balustrade
16	Proposed service riser
17	Proposed glass link with slim profile zinc roof
18	New secondary timber stair with simple detailing
19	WIRL partition. Wall build up to match adjacent wall
20	Glazed volume providing access to roof terrace, with black zinc roof
21	Proposed chimney piece and hearth
22	Proposed shower tray over existing floor boards
23	Replacement partition wall
24	New partition wall
25	Proposed bi-folding frosted glass screen to window
26	Proposed dormer windows to match no. 7
27	Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
28	All roof flashings to be replaced
29	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
30	Rainwater pipes and gutters to be replaced with heritage cast iron fittings
31	Reinstatement of sash window in original opening, six over six configuration
32	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
33	New conservation rooflight
34	Acoustic plant enclosure for condenser units
35	PCU concealed within existing joinery
36	PCU concealed within new proposed joinery unit
37	New (Newton 500) landing system to pavement vault.
38	New timber framed dormer sash windows with 3 over 3 configuration

Rev. B	15.10.2021	Issued for Planning
	1. Additional notes provided	
Rev. A	24.08.2021	Issued for Planning
	1. Air conditioning and associated equipment removed from proposals	
Rev. -	04.10.2020	Issued for Planning

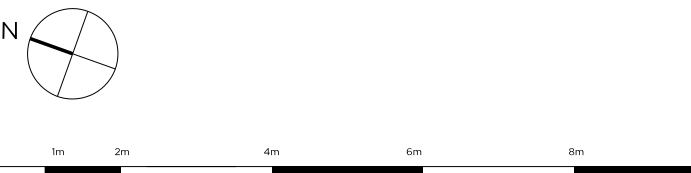
PLANNING

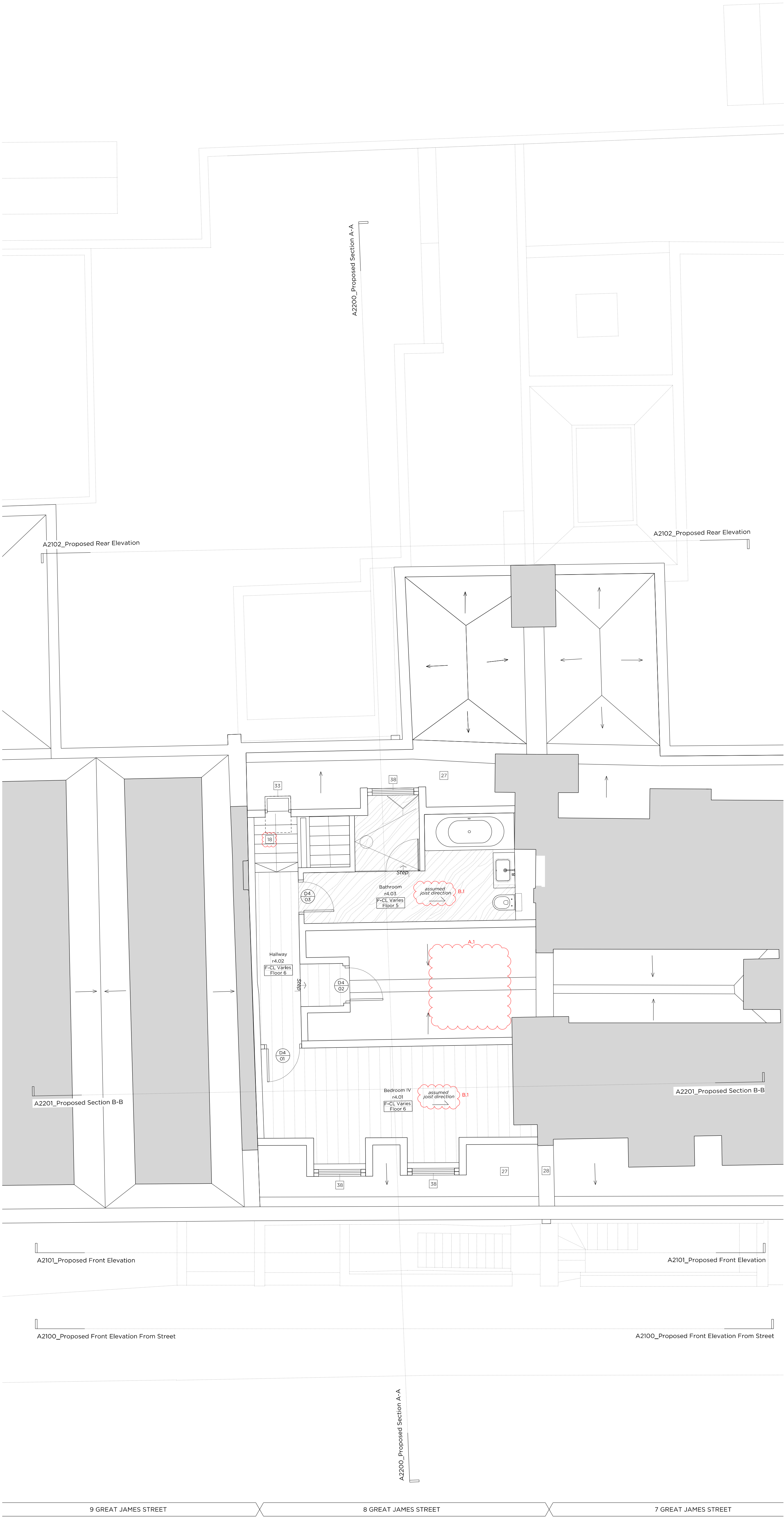
Project No.	20042
Client	GFZ Investments LTD.
Date	October 2020
Scale	1:50 @ A1 / 1:100 @ A3
Project	8 Great James Street
Drawing Title:	Proposed Third Floor Plan
Drawing No.	A2003
Rev.	B
Drawn	CT
Approved	PB
Signed	AA



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07	Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.
08	Proposed minimal frame fixed aluminium window
09	Proposed minimal frame aluminium casement window (operable)
10	Proposed built in joinery
11	Existing chimney piece and hearth to be refurbished and redecorated where necessary.
12	Proposed column radiator
13	Replace existing mosaic floor finish
14	Existing metal railings to be refurbished and redecorated
15	Proposed metal balustrade
16	Proposed service riser
17	Proposed glass link with slim profile zinc roof
18	New secondary timber stair with simple detailing
19	WIRL partition. Wall build up to match adjacent wall
20	Glazed volume providing access to roof terrace, with black zinc roof
21	Proposed chimney piece and hearth
22	Proposed shower tray over existing floor boards
23	Replacement partition wall
24	New partition wall
25	Proposed bi-folding frosted glass screen to window
26	Proposed dormer windows to match no. 7
27	Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
28	All roof flashings to be replaced
29	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
30	Rainwater pipes and gutters to be replaced with heritage cast iron fittings
31	Reinforcement of sash window in original opening, six over six configuration
32	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
33	New conservation rooflight
34	Acoustic plant enclosure for condenser units
35	PCU-concealed within existing joinery
36	PCU-concealed within new proposed joinery unit
37	New (Newton 500) landing system to pavement vault.
38	New timber framed dormer sash windows with 3 over 3 configuration

Rev. B	15.10.2021	Issued for Planning
	1. Additional notes provided	
Rev. A	24.08.2021	Issued for Planning
	1. Air conditioning and associated equipment removed from proposals	
Rev. -	04.10.2020	Issued for Planning

PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date October 2020

Scale 1:50 @ A1 / 1:100 @ A3

Project 8 Great James Street

Drawing Title: Proposed Fourth Floor Plan

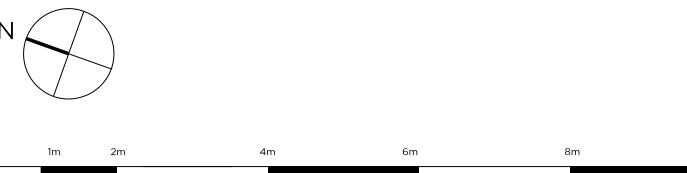
Drawing No. A2004 Rev. B

Drawn CT	Approved PB	Signed AA
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Existing Ridge Level

Existing Parapet Level

Existing Loft Level

Existing Third Floor Level

Existing Second Floor Level

Existing First Floor Level

Existing Ground Floor Level

Existing Lower Ground Floor Level

Key Site Plan 1:1000



Key:

Existing structure / earth New Structure

Proposed Notes:

- Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
- Proposed metal handrail
- Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
- Proposed minimal frame fixed aluminium window
- Proposed minimal frame aluminium casement window (operable)
- Existing chimney piece and hearth to be refurbished and redecorated where necessary.
- Existing metal railings to be refurbished and redecorated
- Proposed metal balustrade
- Proposed glass link with slim profile zinc roof
- Existing dormer windows to be refurbished.
- Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
- All roof flashings to be replaced - where necessary
- Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
- Rainwater pipes and gutters to be replaced with heritage cast iron fittings
- Re-statement of sash window in original opening, six over six configuration
- All elevations to be repointed
- Proposed traditionally detailed timber french door with nine over nine configuration
- Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
- New conservation rooflight
- New cast iron SVP/RWP, to connect to existing stack
- New timber sash window with 3 over 3 configuration to match no. 7
- Proposed built-in joinery
- Proposed Chimney piece and hearth
- Acoustic plant enclosure for condenser unit
- New steel beam inserted within existing non-original floor build-up.
- New timber roof structure constructed to match existing height & pitch.

Rev. C	15.10.2021 1. Additional notes provided. 2. New steel beam illustrated.	Issued for Planning
Rev. B	24.08.2021 1. Air conditioning and associated equipment removed from proposals	Issued for Planning
Rev. A	29.03.2021 1. Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over six configuration.	Issued for Planning
Rev. -	04.12.2020	Issued for Planning

PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date March 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 8 Great James Street

Drawing Title: Proposed Section A-A

Drawing No. A1600 Rev. C

Drawn CT Approved PB Signed AA



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0 10 20 40 60 80 100

8 GREAT JAMES STREET

GJS

Existing Ridge Level

Existing Loft Level

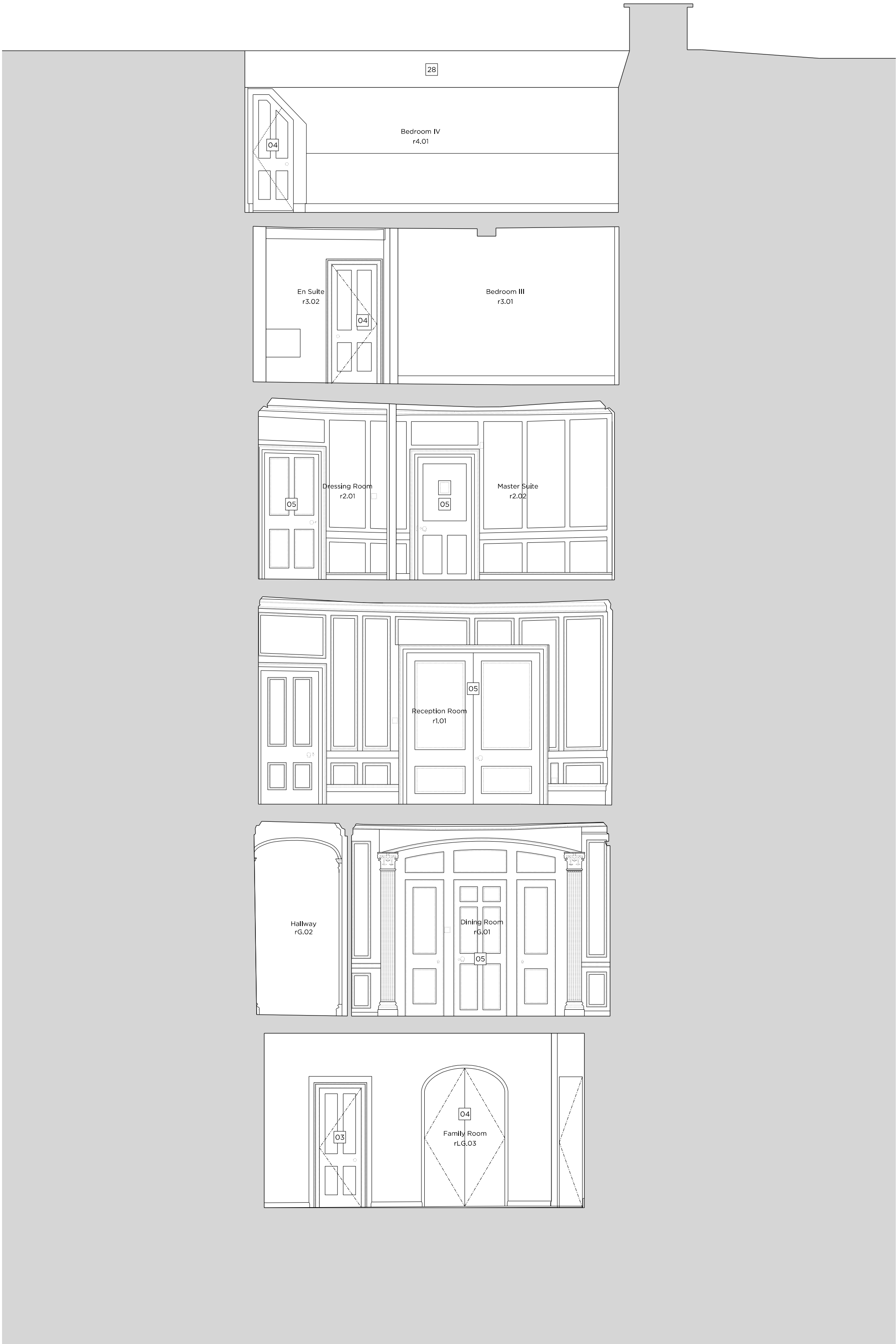
Existing Third Floor Level

Existing Second Floor Level

Existing First Floor Level

Existing Ground Floor Level

Existing Lower Ground Floor Level



9 GREAT JAMES STREET

8 GREAT JAMES STREET

7 GREAT JAMES STREET

Key Site Plan 1:1000



Key:

Existing structure / earth New Structure

Proposed Notes:

- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
- 02 Proposed metal handrail
- 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 06 Proposed minimal frame fixed aluminium window
- 07 Proposed minimal frame aluminium casement window (operable)
- 08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
- 09 Existing metal railings to be refurbished and redecorated
- 10 Proposed metal balustrade
- 11 Proposed glass link with slim profile zinc roof
- 12 Existing dormer windows to be refurbished.
- 13 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
- 14 All roof flashings to be replaced - where necessary
- 15 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
- 16 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
- 17 Re-statement of sash window in original opening, six over six configuration
- 18 All elevations to be repointed
- 19 Proposed traditionally detailed timber french door with nine over nine configuration
- 20 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
- 21 New conservation rooflight
- 22 New cast iron SVP/RWP, to connect to existing stack
- 23 New timber sash window with 3 over 3 configuration to match no. 7
- 24 Proposed built-in joinery
- 25 Proposed Chimney piece and hearth
- 26 Acoustic plant enclosure for condenser unit
- 27 New steel beam inserted within existing non-original floor build-up.
- 28 New timber roof structure constructed to match existing height & pitch.

Rev. C	15.10.2021 1. Additional notes provided.	Issued for Planning
Rev. B	24.08.2021 1. Air conditioning and associated equipment removed from proposals	Issued for Planning
Rev. A	29.03.2021 1. Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over six configuration.	Issued for Planning
Rev. -	04.12.2020	Issued for Planning

PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date March 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 8 Great James Street

Drawing Title: Proposed Section B-B

Drawing No. A1601 Rev. C

Drawn CT Approved PB Signed AA



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