



|                                  |   |
|----------------------------------|---|
| Existing structure / earth       | Existing structure to be removed              |
| Removal of existing structure    | Existing structure to be removed in elevation |
| Existing fittings to be removed  |   |
| Existing radiators to be removed |   |

- General Notes:
- All existing non-original floor finishes to be removed.
  - Existing floor finishes are to be removed back to existing floorboards.
  - Existing non-original joinery to be removed where shown.
  - All existing sanitaryware and appliances to be removed.
  - All non-original radiators to be removed.
  - Existing floor boards to be numbered, lifted and set aside to allow levelling of existing joist.

- A1 Loft & Roof Alterations Notes:
- Removal of non-original timber stair to be replaced with new secondary timber stair with simple detailing.
  - Opening formed in non-original loft floor structure to accommodate new secondary timber stair.
  - Existing (non-original) roof to be removed to enable structural alterations at roof level. Timber joists to be set aside and reused with the reconstructed roof where possible.
  - Existing (non-original) roof slates to be removed and set aside for use within reconstruction of roof.
  - Existing (non-original) floorboards lifted, numbered and set aside for use within proposed loft space.
  - Existing steel beams removed and lowered to allow sufficient head height to be achieved at loft level.

|        |                              |                     |
|--------|------------------------------|---------------------|
| Rev. A | 15.10.2021                   | Issued for Planning |
|        | 1. Additional notes provided |                     |
| Rev. - | 04.10.2020                   | Issued for Planning |

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date October 2020

Scale 1:50 @ A1 / 1:100 @ A3

Project 8 Great James Street

Drawing Title: Demolition Third Floor Plan

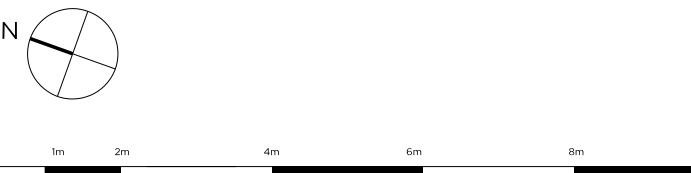
Drawing No. A1403 Rev. A

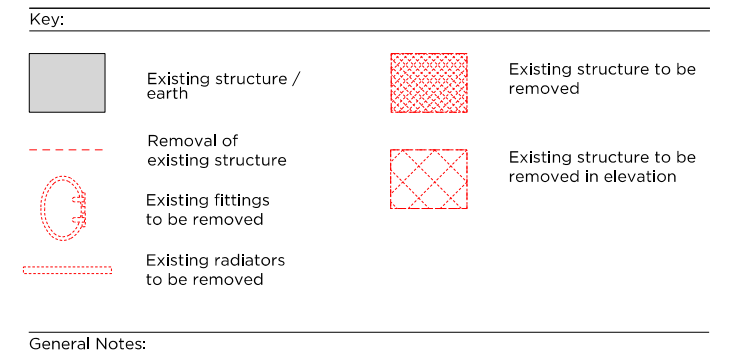
|       |          |        |
|-------|----------|--------|
| Drawn | Approved | Signed |
| CT    | PB       | AA     |



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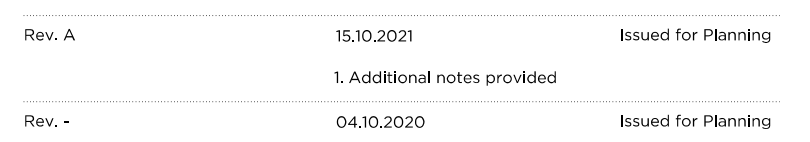




- General Notes:**
1. All existing non-original floor finishes to be removed.
  2. Existing floor finishes are to be removed back to existing floorboards.
  3. Existing non-original joinery to be removed where shown.
  4. All existing sanitaryware and appliances to be removed.
  5. All non-original radiators to be removed.
  6. Existing floor boards to be numbered, lifted and set aside to allow levelling of existing joist.

A.1 Loft & Roof Alterations Notes:

- |   |   |
|---|---|
|  | Removal of non-original timber stair to be replaced with new secondary timber stair with simple detailing.  |
|  | Opening formed in non-original loft floor structure to accommodate new secondary timber stair.  |
|  | Existing (non-original) roof to be removed to enable structural alterations at roof level. Timber joists to be set aside and reused with the reconstructed roof where possible. |
|  | Existing (non-original) roof slates to be removed and set aside for use within reconstruction of roof.  |
|  | Existing (non-original) floorboards lifted, numbered and set aside for use within proposed loft space.  |
|  | Existing steel beams removed and lowered to allow sufficient head height to be achieved at loft level.  |



Project No. 20042

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Client GFZ Investments LTD.

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Date October 2020

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Scale 1:50 @ A1 / 1:100 @ A3

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Project

Drawing Title: **Demolition Fourth Floor Plan**

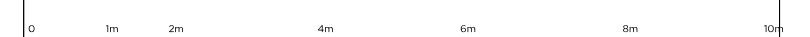
|             |      |
|-------------|------|
| Drawing No. | Rev. |
| A1404       | A    |

|       |          |        |
|-------|----------|--------|
| Drawn | Approved | Signed |
| CT    | PB       | AA     |

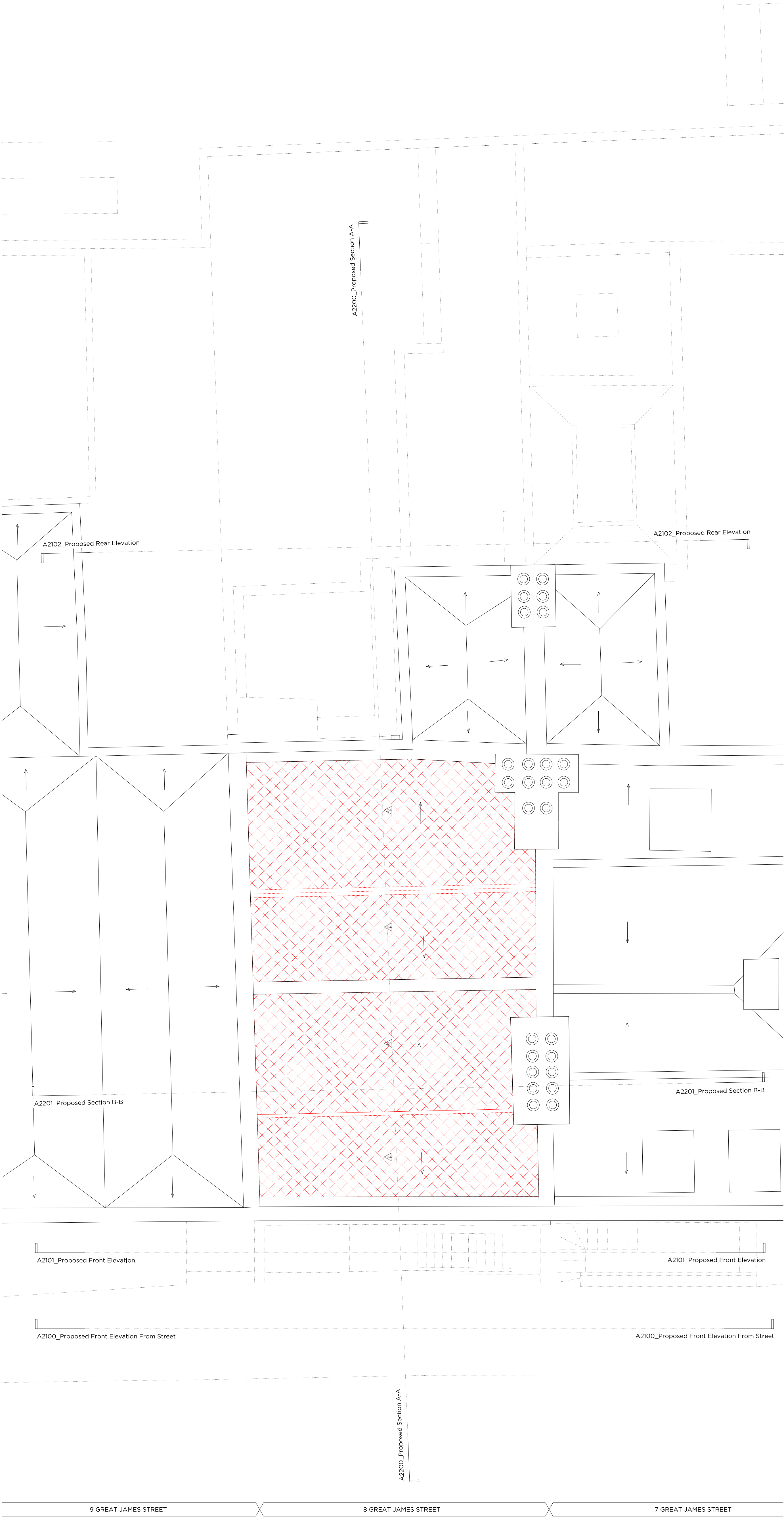


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|                                  |   |                                  |
|----------------------------------|---|----------------------------------|
| Key:                             | Existing structure / earth                    | Existing structure to be removed |
| Removal of existing structure    | Existing structure to be removed in elevation |                                  |
| Existing fittings to be removed  |   |                                  |
| Existing radiators to be removed |   |                                  |

- General Notes:
- All existing non-original floor finishes to be removed.
  - Existing floor finishes are to be removed back to existing floorboards.
  - Existing non-original joinery to be removed where shown.
  - All existing sanitaryware and appliances to be removed.
  - All non-original radiators to be removed.
  - Existing floor boards to be numbered, lifted and set aside to allow levelling of existing joist.

- A1 Loft & Roof Alterations Notes:
- Removal of non-original timber stair to be replaced with new secondary timber stair with simple detailing.
  - Opening formed in non-original loft floor structure to accommodate new secondary timber stair.
  - Existing (non-original) roof to be removed to enable structural alterations at roof level. Timber joists to be set aside and reused with the reconstructed roof where possible.
  - Existing (non-original) roof slates to be removed and set aside for use within proposed roof.
  - Existing (non-original) floorboards lifted, numbered and set aside for use within proposed roof.
  - Existing steel beams removed and lowered to allow sufficient head height to be achieved at loft level.

|        |            |                     |
|--------|------------|---------------------|
| Rev. A | 15.10.2021 | Issued for Planning |
| Rev. - | 04.10.2020 | Issued for Planning |

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date October 2020

Scale 1:50 @ A1 / 1:100 @ A3

Project 8 Great James Street

|                |          |        |                      |  |
|----------------|----------|--------|----------------------|--|
| Drawing Title: |          |        | Demolition Roof Plan |  |
| Drawing No.    |          | A1405  | Rev.<br>A            |  |
| Drawn          | Approved | Signed |                      |  |
| CT             | PB       | AA     |                      |  |



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Existing Ridge Level

Existing Loft Level

Existing Third Floor Level

Existing Second Floor Level

Existing First Floor Level

Existing Ground Floor Level

Existing Lower Ground Floor Level



No. 9

No. 8 GREAT JAMES STREET

No. 7

Key Site Plan 1:1000



Key:

- |                                  |   |
|----------------------------------|---|
| Existing structure / earth       | Existing structure to be removed              |
| Removal of existing structure    | Existing structure to be removed in elevation |
| Existing fittings to be removed  |   |
| Existing radiators to be removed |   |

General Notes:

- All existing non-original floor finishes to be removed.
- Existing floor finishes are to be removed back to existing floorboards.
- Existing non-original joinery to be removed where shown.
- All existing sanitaryware and appliances to be removed.
- All non-original radiators to be removed.
- Existing floor boards to be numbered, lifted and set aside to allow levelling of existing slab.

Loft & Roof Alterations Notes:

- Removal of non-original timber stair to be replaced with new secondary timber stair with simple detailing.
- Opening formed in non-original loft floor structure to accommodate new secondary timber stair.
- Existing (non-original) roof to be removed to enable structural alterations at roof level. Timber joists to be set aside and reused with the reconstructed roof where possible.
- Existing (non-original) roof slates to be removed and set aside for use within reconstruction of roof.
- Existing (non-original) floorboards lifted, numbered and set aside for use within proposed loft space.
- Existing steel beams removed and lowered to allow sufficient head height to be achieved at loft level.

|        |                              |                     |
|--------|------------------------------|---------------------|
| Rev. A | 15.10.2021                   | Issued for Planning |
| Rev. - | 1. Additional notes provided |                     |
| Rev. - | 04.10.2020                   | Issued for Planning |

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date March 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 8 Great James Street

Drawing Title: Demolition Front Elevation from Street

Drawing No. A1500 Rev. A

|       |          |        |
|-------|----------|--------|
| Drawn | Approved | Signed |
| CT    | PB       | AA     |



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0 1m 2m 3m 4m 5m 6m 7m 8m 9m 10m



Existing Ridge Level

Existing Loft Level

Existing Third Floor Level

Existing Second Floor Level

Existing First Floor Level

Existing Ground Floor Level

Existing Lower Ground Floor Level



No. 9 No. 8 GREAT JAMES STREET No. 7

Key Site Plan 1:1000



Key:

|                                  |   |
|----------------------------------|---|
| Existing structure / earth       | Existing structure to be removed              |
| Removal of existing structure    | Existing structure to be removed in elevation |
| Existing fittings to be removed  |   |
| Existing radiators to be removed |   |

General Notes:

- All existing non-original floor finishes to be removed.
- Existing floor finishes are to be removed back to existing floorboards.
- Existing non-original joinery to be removed where shown.
- All existing sanitaryware and appliances to be removed.
- All non-original radiators to be removed.
- Existing floor boards to be numbered, lifted and set aside to allow levelling of existing slab.

Loft & Roof Alterations Notes:

- Removal of non-original timber stair to be replaced with new secondary timber stair with simple detailing.
- Opening formed in non-original loft floor structure to accommodate new secondary timber stair.
- Existing (non-original) roof to be removed to enable structural alterations at roof level. Timber joists to be set aside and reused with the reconstructed roof where possible.
- Existing (non-original) roof slates to be removed and set aside for use within reconstruction of roof.
- Existing (non-original) floorboards lifted, numbered and set aside for use within proposed loft space.
- Existing steel beams removed and lowered to allow sufficient head height to be achieved at loft level.

Rev. A 15.10.2021 Issued for Planning

Rev. - 04.10.2020 Issued for Planning

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date March 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 8 Great James Street

Drawing Title: Demolition Front Elevation

Drawing No. A1501 Rev. A

Drawn CT Approved PB Signed AA

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0 10 20 30 40 50 60

Existing Ridge Level

Existing Loft Level

Existing Third Floor Level

Existing Second Floor Level

Existing First Floor Level

Existing Ground Floor Level

Existing Lower Ground Floor Level



No. 7

No. 8 GREAT JAMES STREET

No. 9

Key Site Plan 1:1000



Key:

- Existing structure / earth
- Removal of existing structure
- Existing fittings to be removed
- Existing radiators to be removed
- Existing structure to be removed
- Existing structure to be removed in elevation

General Notes:

- All existing non-original floor finishes to be removed.
- Existing floor finishes are to be removed back to existing floorboards.
- Existing non-original joinery to be removed where shown.
- All existing sanitaryware and appliances to be removed.
- All non-original radiators to be removed.
- Existing floor boards to be numbered, lifted and set aside to allow levelling of existing slab.

Loft & Roof Alterations Notes:

- Removal of non-original timber stair to be replaced with new secondary timber stair with simple detailing.
- Opening formed in non-original loft floor structure to accommodate new secondary timber stair.
- Existing (non-original) roof to be removed to enable structural alterations at roof level. Timber joists to be set aside and reused with the reconstructed roof where possible.
- Existing (non-original) roof slates to be removed and set aside for use within reconstruction of roof.
- Existing (non-original) floorboards lifted, numbered and set aside for use within proposed loft space.
- Existing steel beams removed and lowered to allow sufficient head height to be achieved at loft level.

|        |                              |                     |
|--------|------------------------------|---------------------|
| Rev. A | 15.10.2021                   | Issued for Planning |
| Rev. - | 1. Additional notes provided |                     |
| Rev. - | 04.10.2020                   | Issued for Planning |

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date March 2021

Scale 1:100 @ A1 / 1:200 @ A3

Project 8 Great James Street

Drawing Title: Demolition Rear Elevation

Drawing No. A1502 Rev. A

|       |          |        |
|-------|----------|--------|
| Drawn | Approved | Signed |
| CT    | PB       | AA     |



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0 0.5m 1m 2m 3m 4m 5m





Key Site Plan 1:1000



Key:

|                                  |   |
|----------------------------------|---|
| Existing structure / earth       | Existing structure to be removed              |
| Removal of existing structure    | Existing structure to be removed in elevation |
| Existing fittings to be removed  |   |
| Existing radiators to be removed |   |

- General Notes:
- All existing non-original floor finishes to be removed.
  - Existing floor finishes are to be removed back to existing floorboards.
  - Existing non-original joinery to be removed where shown.
  - All existing sanitaryware and appliances to be removed.
  - All non-original radiators to be removed.
  - Existing floor boards to be numbered, lifted and set aside to allow levelling of existing slab.

- Loft & Roof Alterations Notes:
- Removal of non-original timber stair to be replaced with new secondary timber stair with simple detailing.
  - Opening formed in non-original loft floor structure to accommodate new secondary timber stair.
  - Existing (non-original) roof to be removed to enable structural alterations at roof level. Timber joists to be set aside and reused with the reconstructed roof where possible.
  - Existing (non-original) roof slates to be removed and set aside for use within reconstruction of roof.
  - Existing (non-original) floorboards lifted, numbered and set aside for use within proposed loft space.
  - Existing steel beams removed and lowered to allow sufficient head height to be achieved at loft level.

|        |                              |                     |
|--------|------------------------------|---------------------|
| Rev. A | 15.10.2021                   | Issued for Planning |
| Rev. - | 1. Additional notes provided |                     |
| Rev. - | 04.10.2020                   | Issued for Planning |

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date March 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 8 Great James Street

|                |                        |          |
|----------------|------------------------|----------|
| Drawing Title: | Demolition Section A-A |          |
| Drawing No.    | A1600                  | Rev. A   |
| Drawn          | CT                     | Approved |
|                | PB                     | Signed   |
|                | AA                     |          |



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Existing Ridge Level

Existing Loft Level

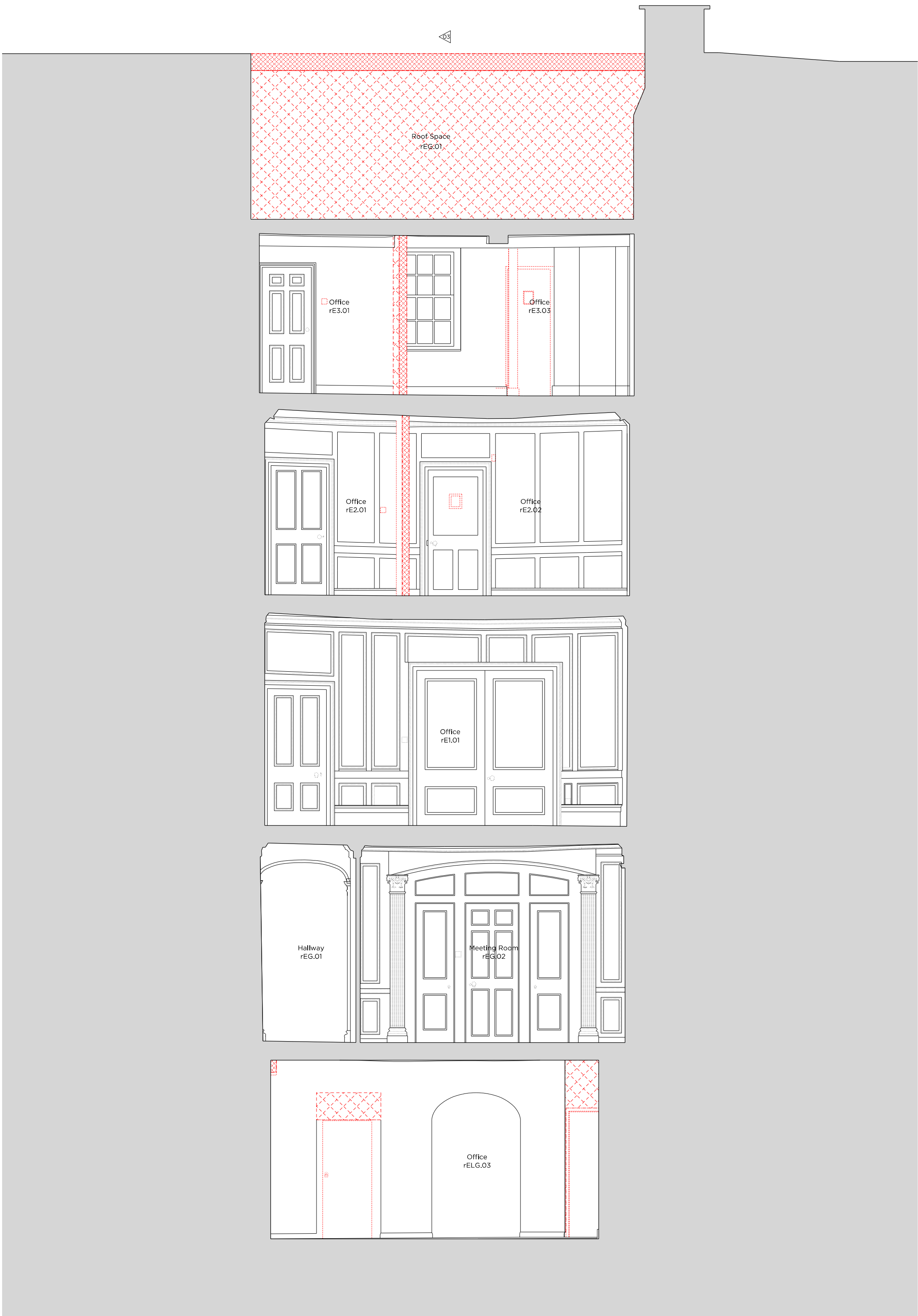
Existing Third Floor Level

Existing Second Floor Level

Existing First Floor Level

Existing Ground Floor Level

Existing Lower Ground Floor Level



9 GREAT JAMES STREET 8 GREAT JAMES STREET 7 GREAT JAMES STREET

Key Site Plan 1:1000



- Key:
- Existing structure / earth
  - Removal of existing structure
  - Existing fittings to be removed
  - Existing radiators to be removed
  - Existing structure to be removed
  - Existing structure to be removed in elevation

- General Notes:
- All existing non-original floor finishes to be removed.
  - Existing floor finishes are to be removed back to existing floorboards.
  - Existing non-original joinery to be removed where shown.
  - All existing sanitaryware and appliances to be removed.
  - All non-original radiators to be removed.
  - Existing floor boards to be numbered, lifted and set aside to allow levelling of existing slab.

- Loft & Roof Alterations Notes:
- Removal of non-original timber stair to be replaced with new secondary timber stair with simple detailing.
  - Opening formed in non-original loft floor structure to accommodate new secondary timber stair.
  - Existing (non-original) roof to be removed to enable structural alterations at roof level. Timber joists to be set aside and reused with the reconstructed roof where possible.
  - Existing (non-original) roof slates to be removed and set aside for use within reconstruction of roof.
  - Existing (non-original) floorboards lifted, numbered and set aside for use within proposed loft space.
  - Existing steel beams removed and lowered to allow sufficient head height to be achieved at loft level.

Rev. A 15.10.2021 Issued for Planning

Rev. - 04.10.2020 Issued for Planning

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date March 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 8 Great James Street

Drawing Title: Demolition Section B-B

Drawing No. A1601 Rev. A

Drawn CT Approved PB Signed AA



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