

vented guiley investigated - clear channel,
replace modern cement render with Roman
cement matching original render, strip existing
grilles of clogging paint to restore airflow, seek
to reduce external flower bed to lightwell level,
retain stone slab adjoining window cill - set to
fall away from window, remove concrete base
- ref dwg GC 102A

Full CCTV survey of drains to confirm condition

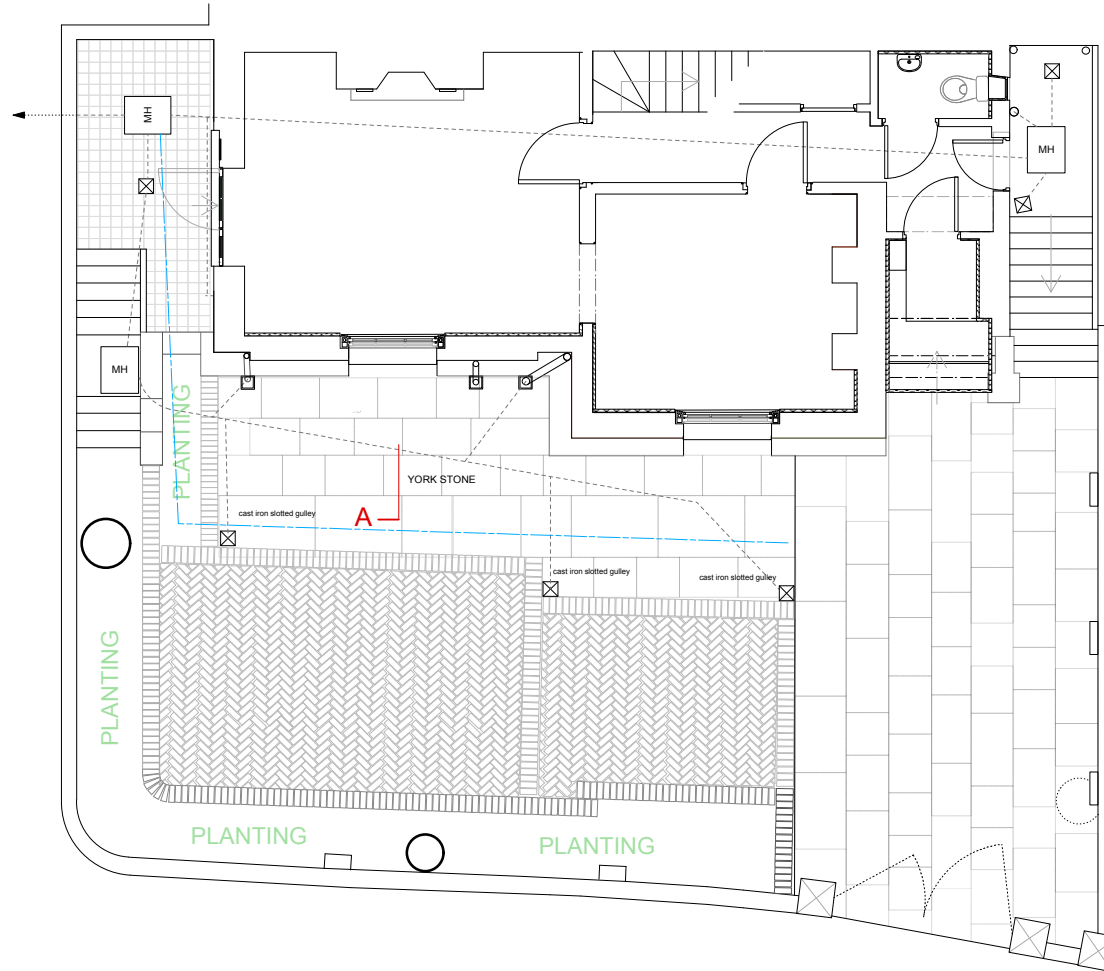
retain york stone paving and re-bed loose or
unelevel slabs to retain existing pattern but
minimised trip hazards

retain existing herringbone paviors, border walls
and perimeter wall as existing.

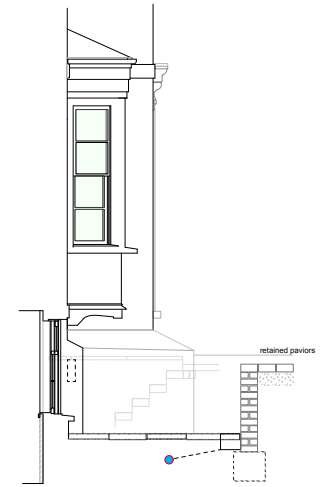
retain concrete to falls, black quarry tile finish to
North and South areas

retain red engineering brick stair to North area

existing timber gates require decay cut out,
pieced in matching timber with joints reinforced
with metal plates or fixings as required



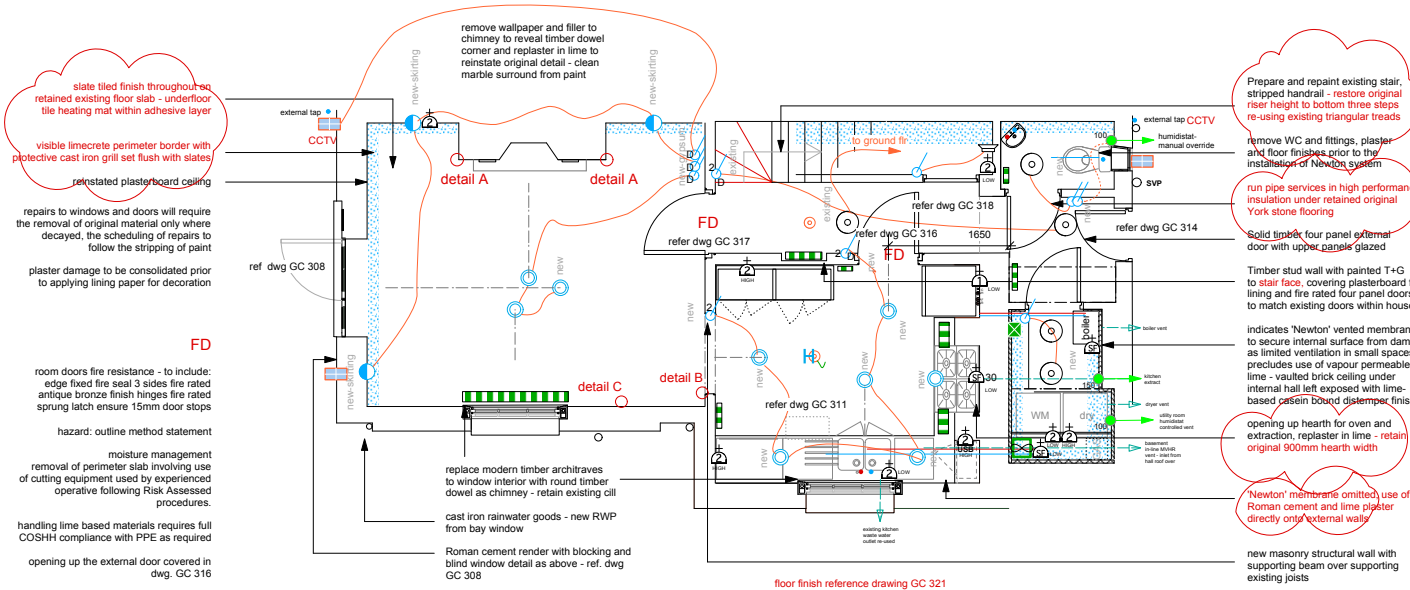
retained york stone stairs cleaned
and modern repairs after cracked base



reclaimed york stone paving
guiley moved away from
house wall, retaining wall in
brick herringbone paviors
retained - revealed masonry
vented cavities rendered in
Roman cement decorated
as per house in microporous
silicate paint

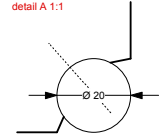
new land drain

SECTION A 1:50

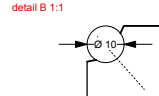


LEGEND

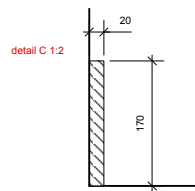
- WATER**
- RADIATOR Iron column floor standing radiator tbc
 - THERMOSTAT tbc
 - towel radiator electric backup tbc
 - WATER supply
 - STUB STACK AAV - Air Admittance Valve
 - SVP Note: min 450mm from WC connection to drain invert level
- SMALL POWER + LIGHTING - H = HIGH LEVEL**
- NOTE: LOW LEVEL OUTLETS TO BE 450mm FFL WHERE EXISTING LOCATIONS RETAINED, SKIRTING MOUNTED ELSEWHERE
- All outlets to be brass thin face-plate
- PENDANT / CEILING LIGHT various client supply
 - SPOT LIGHT recessed fitting LED allow for Envirolight DCL7AC acoustic intrusent hood to each fitting
 - LIGHT IP65 rated
 - WALL LIGHT tbc IP rated where appropriate
 - 5 AMP OUTLET wall switched tbc
 - LIGHT SWITCHES (SINGLE / DOUBLE / 2-way D-dimmer) All switches brass finish TBC
 - WALL LIGHT EXTERNAL IP65 rated main feed switched
 - WALL LIGHT EXTERNAL IP65 rated mains feed PIR controlled
- DOUBLE with 2x USB / EXTERNAL / DOUBLE / SINGLE SOCKET OUTLET**
- SWITCHED FUSED SPUR OUTLET** to suit application
- SOUNDER, REF AUTOMATIC FIRE DETECTION SYSTEM**
- Worktop mounted Kitchen extraction with remote switch operation with wall vent kit to suit 150mm - 61 litres per second, dB(A) @3m 45
- Wall mounted WC extraction with remote switch operation with wall vent kit to suit 100mm - 25 litres per second, dB(A) @3m 38
- Distribution Board for ground and first floor electrical circuits, flag or similar quality, allow for min. 1 number space circuit for future use. Board-RCD to BS 7671:2008+A3:2015 Amendment 3 compliant, conforms to BS EN 61439-3 pnc. Annex ZB
- WiFi router location for security linked to PIR/camera detection via bluetooth located within retained storage cupboard
- WiFi router location for doorbell linked sounder/mobile devices via bluetooth located within retained storage cupboard
- WiFi router for internet devices via bluetooth located within retained storage cupboard
- MAINS OPERATED SMOKE ALARM AUTOMATIC FIRE DETECTION SYSTEM detectors and alarms connected to the control unit and indicating unit at GP all to BS 5824 PART 1 TYPE L3. NOTE POWER ISOLATION AND BREAK-GLASS AND PANEL IN GUEST CLOAKS AREA
- MAINS OPERATED ALARM/HEAT ALARM - GENT or similar approved
- FD30** 1200mm fire door hinges, latches and frame seals to BS 476: Part 22
- CCTV** Outlet connection to CCTV security/light



timber dowel corner bead - original existing detail retained and plaster repaired



timber dowel corner bead - replica detail



timber skirting throughout - replicate skirting to stair side

repairs to windows and doors will require the removal of original material only where decayed, the scheduling of repairs to follow the stripping of paint

plaster damage to be consolidated prior to applying lining paper for decoration

previously stripped joinery to be refixed where loose, prepared for redecoration

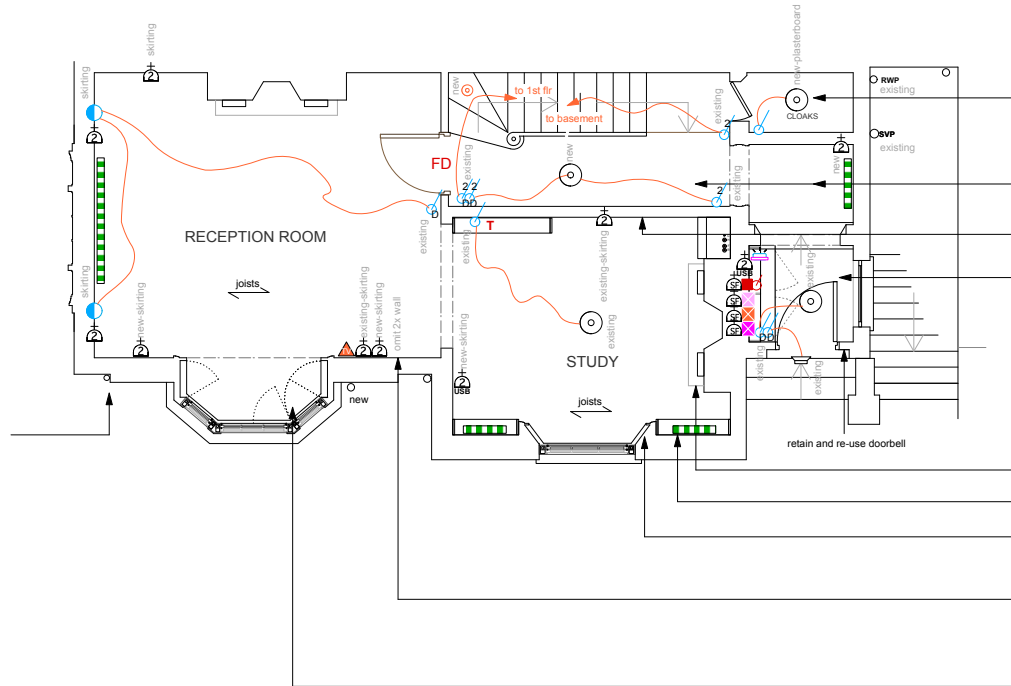
floorboards to be cleaned, refixed using out floorboard nails where necessary, finish to be non petroleum based floor wax

FD

room doors adjoining the stair require upgrading fire resistance - to include: edge fixed fire seal 3 sides fire rated antique bronze finish hinges fire rated sprung latch ensure 15mm door stops

cast iron rainwater pipework:
- replacing PVC from main valley
- iron guttering and downpipe from bay roof
- cast iron hopper and downpipe from Northern parapet gutter

Welsh slate roofing matching colour thickness and edge finish replaces modern leadwork - lead secret gutter



repair existing lime based plaster to walls following paint removal - remove rotten joists and redundant steel water tank reinstate plaster ceiling under hall roof door prepared for new paintwork
- floor boards cleaned and wax finished

floors cleaned and waxed, skirtings, spindles and steps decorated, stair handrail cleaned and waxed

study walls filled with lime based repair, fully papered and redecorated - note section of existing lacure finish to remain visible, location TBC

stone floor cleaned, recessed lime based pointing to joints/cracks

joinery, window and door prepared and redecorated, locks and hinges changed

consolidation of water damaged ceiling in situ, loose lining paper carefully removed and re-lined. Cornice cleaned of paint for redecoration in lime distemper, missing ornament replaced

2x marble surrounds to iron insert hearths cleaned, fractured hearthstones to be consolidated in situ

shelving cleaned and retained as found
missing shutters remade as per details of bay window fitted into existing empty shutter boxes, decorated as window

gypsum plaster first coat repairs to electrical installation to be carefully removed and matching 3 coat haired lime with split laths used to repair walls prior to lining paper. No power outlets above 450mm

missing leaves of existing shutters re-instated, conservation repair to existing shutters, redecorated. Modern filler removed and original details reinstated to moulded reveal to bay soffit

Note:
all original joinery/mouldings/skirting repaired using conservation methods and appropriate matching materials - to be decorated

Gypsum + mesh undercoat to stair wall skimmed in gypsum and painted if gypsum cannot be removed without significant damage to lime plaster under

NOTE: switches, sockets and light fittings to re-use current outlet locations where possible to minimise the cutting of new electrical boxes into historic fabric.

Unauthorized electrical works using gypsum plaster repairs around boxes to have gypsum removed - replaced with 3 coat lime plaster

denotes re-use of existing outlet location

denotes new wall outlet using lime repair

denotes new outlet set into skirting board avoiding plaster damage

denotes new location in existing plasterboard

denotes removal of outlets and restoration of lime plaster

LEGEND

WATER

- RADIATOR Iron column floor standing radiator tbc
- T THERMOSTAT tbc
- towel radiator electric backup tbc
- WATER supply
- STUB STACK AAV - Air Admittance Valve
- SVP Note: min 450mm from WC connection to drain invert level

SMALL POWER + LIGHTING - H = HIGH LEVEL

- NOTE: LOW LEVEL OUTLETS TO BE 450mm FFL WHERE EXISTING LOCATIONS RETAINED, SKIRTING MOUNTED ELSEWHERE
- All outlets to be brass thin face-plate
- PENDANT / CEILING LIGHT various client supply
- SPOT LIGHT recessed fitting LED allow for Envirolight DCL7/AC acoustic intumescent hood to arch fitting
- LIGHT IP65 rated
- WALL LIGHT tbc IP rated where appropriate
- 5 AMP OUTLET wall switched tbc
- LIGHT SWITCHES (SINGLE / DOUBLE / 2-way D-dimmer) All switches brass finish TBC
- WALL LIGHT EXTERNAL IP65 rated main fed switched
- WALL LIGHT EXTERNAL IP65 rated mains fed PIR controlled
- DOUBLE with 2x USB / EXTERNAL / DOUBLE / SINGLE SOCKET OUTLET
- SWITCHED FUSED SPUR OUTLET to suit application
- SOUNDER, REF AUTOMATIC FIRE DETECTION SYSTEM
- Worktop mounted Kitchen extraction with remote switch operation with wall vent kit to suit 150mm - 61 litres per second, dB(A) @3m 45
- Wall mounted WC extraction with remote switch operation with wall vent kit to suit 100mm - 25 litres per second, dB(A) @3m 38
- Distribution Board for ground and first floor electrical circuits, flag or similar quality, allow for min. 1 number upper circuit for future use. Board-RCD to BS 7671:2008+A3:2015 Amendment 3 compliant, conforms to BS EN 61439-3 p.c. Annex ZB
- WIFI router location for security linked to PIR/camera detection via bluetooth located within retained storage cupboard
- WIFI router location for doorbell linked sounder/mobile devices via bluetooth located within retained storage cupboard
- WIFI router for internet devices via bluetooth located within retained storage cupboard
- MAINS OPERATED SMOKE ALARM AUTOMATIC FIRE DETECTION SYSTEM detectors and alarms connected to the control unit and indicating unit at GP all to BS 588 PART 1 TYPE L3. NOTE POWER ISOLATION AND BREAK-GLASS AND PANEL IN GUEST CLOAKS AREA
- MAINS OPERATED ALARM/HEAT ALARM - GENT or similar approved
- FD30 Half Hour fire door hinges, latches and frame seals to BS 476: Part 22



Note: all original / existing fabric retained in-situ unless indicated red for removal

repairs to windows and doors will require the removal of original material only where decayed, the scheduling of repairs to follow the stripping of paint

plaster damage to be consolidated prior to applying lining paper for decoration

previously stripped joinery to be refixed where loose, prepared for redecoration

floorboards to be cleaned, refixed using cut floorboard nails where necessary, finish to be non petroleum based floor wax

FD room doors adjoining the stair require upgrading fire resistance - to include: edge fixed fire seal 3 sides fire rated antique bronze finish hinges fire rated sprung latchesure 15mm door stops

hazard: outline method statement

Wiring

Wireways to minimise damage to lime plaster wall lights located to allow for floor run cabling with reduced opening up - gaps between studwork to be utilised for vertical runs - dust from plaster minimised but PPE required.

Water services

waste pipe runs between existing floor joists - existing notching to be used. Lifting of floorboards allows for inspection of joists, timber repair required if existing cut-outs excessive - engineer to comment. Boards lifted as per guidance from SPAB ensuring minimal risk to operative AND to boards.

External leadwork to be covered by Risk Assessment on working via scaffolding and COSHH aspects of lead handling - work by experienced and qualified tradesperson.

NOTE: switches, sockets and light fittings to re-use current outlet locations where possible to minimise the cutting of new electrical boxes into historic fabric.

Unauthorized electrical works using gypsum plaster repairs around boxes to have gypsum removed - replaced with 3 coat lime plaster

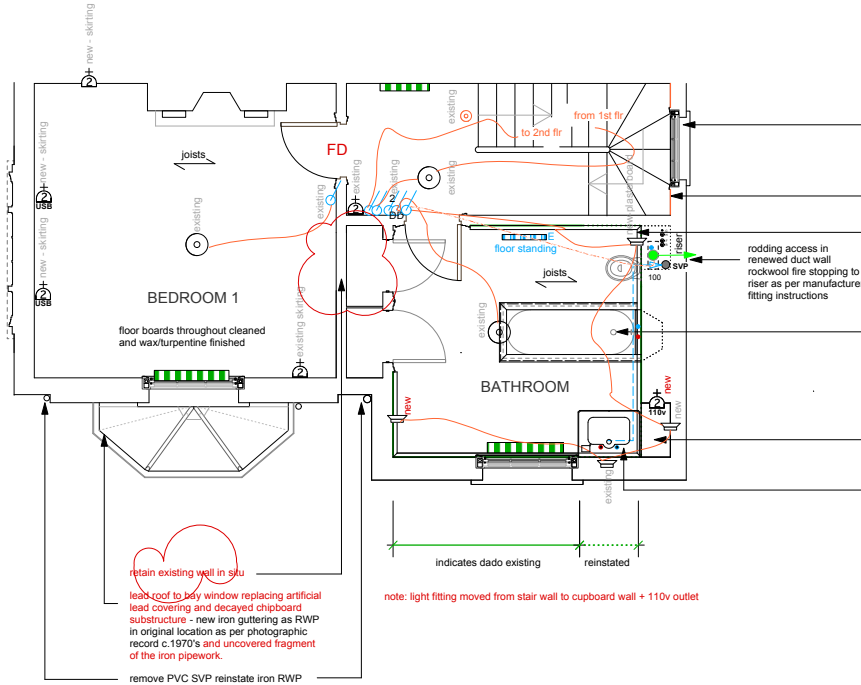
existing denotes re-use of existing outlet location

new denotes new wall outlet using lime repair

new-sirting denotes new outlet set into skirting board avoiding plaster damage

new-plasterboard denotes new location in existing plasterboard

omit denotes removal of outlets and restoration of lime plaster



note: light fitting moved from stair wall to cupboard wall + 110v outlet

3x sashes to stair, bedroom and bathroom stripped of paint and decay removed with matching timber pieced in, retain all glass in situ, replace putty on exterior of all panes, re-cord and fit new stuff/ parting beads adjusted to run smoothly - replace oil and any sections of frame where water damage is evident

remove gypsum to window wall reinstate original lime plaster specification

WC panels relocated to wall, missing element to stair wall made to match detail and material traditional WC pan with reclaimed mahogany seat

in-line fan to re-use external airbrick as exhaust internally a circular brass grill used above existing cistern access panel in duct wall

Ref drawing GC-312 - existing panelling reinstated to restored bath with mahogany surround reinstated (if decay visible has penetrated into the timber matching wood to be sourced and remanufactured to size - taps traditional chrome with handspray shower cradle

basin vanity unit panels relocated to external wall and across alcove with replacement mahogany shelf made using reclaimed wood

underslung Shanks basin sourced with marble top and chrome legs to suit retained vitrolite splashback

LEGEND

WATER

- RADIATOR Iron column floor standing radiator tbc
- THERMOSTAT tbc
- towel radiator electric backup tbc
- WATER supply
- STUB STACK AAV - Air Admittance Valve
- SVP Note: min 450mm from WC connection to drain invert level

SMALL POWER + LIGHTING - H = HIGH LEVEL

- NOTE: LOW LEVEL OUTLETS TO BE 450mm FFL WHERE EXISTING LOCATIONS RETAINED, SKIRTING MOUNTED ELSEWHERE
- All outlets to be brass thin face-plate
- PENDANT / CEILING LIGHT various client supply
- SPOT LIGHT recessed fitting LED allow for Envirolight DCL7AC acoustic intumescent hood to each fitting
- LIGHT IP65 rated
- WALL LIGHT tbc IP rated where appropriate
- 5 AMP OUTLET wall switched tbc
- LIGHT SWITCHES (SINGLE / DOUBLE / 2-way D-dimmer) All switches brass finish tbc
- WALL LIGHT EXTERNAL IP65 rated main feed switched
- WALL LIGHT EXTERNAL IP65 rated mains fed PIR controlled
- DOUBLE with 2x USB / EXTERNAL / DOUBLE / SINGLE SOCKET OUTLET
- SWITCHED FUSED SPUR OUTLET to suit application
- SOUNDER, REF AUTOMATIC FIRE DETECTION SYSTEM
- Worktop mounted Kitchen extraction with remote switch operation with wall vent kit to suit 150mm - 61 litres per second, dB(A) @3m 45
- Wall mounted WC extraction with remote switch operation with wall vent kit to suit 100mm - 25 litres per second, dB(A) @3m 38
- Distribution Board for ground and first floor electrical circuits, Rigger or similar quality, allow for min. 1 number spare circuit for future use. Board-RCD to BS 7671:2008+A3:2015 Amendment 3 compliant, conforms to BS EN 61439-3 etc. Annex ZB
- WIFI router location for security linked to PIR/camera detection via bluetooth located within retained storage cupboard
- WIFI router location for doorbell linked sounder/mobile devices via bluetooth located within retained storage cupboard
- WIFI router for internet devices via bluetooth located within retained storage cupboard
- MAINS OPERATED SMOKE ALARM AUTOMATIC FIRE DETECTION SYSTEM detectors and alarms connected to the control unit and indicating unit at GP all TO BS 5838 PART 1 TYPE L3. NOTE POWER ISOLATION AND BREAK-GLASS AND PANEL IN GUEST CLOAKS AREA
- MAINS OPERATED ALARM/HEAT ALARM - GENT or similar approved
- FD30 Half Hour fire door hinges, latches and frame seals to BS 476: Part 22



Note: all original / existing fabric retained in-situ unless indicated red for removal

repairs to windows and doors will require the removal of original material only where decayed, the scheduling of repairs to follow the stripping of paint

plaster damage to be consolidated prior to applying lining paper for decoration

previously stripped joinery to be refixed where loose, prepared for redecoration

floorboards to be cleaned, refixed using cut floorboard nails where necessary, finish to be floorpaint due to the previous over-sanding and varnishing removing the character of the boards and reducing thickness - preventing further sanding to remove unsightly varnish

FD room doors adjoining the stair require upgrading fire resistance - to include: edge fixed fire seal 3 sides fire rated antique bronze finish hinges fire rated sprung latch ensure 15mm door stops

NOTE: switches, sockets and light fittings to re-use current outlet locations where possible to minimise the cutting of new electrical boxes into historic fabric.

Unauthorized electrical works using gypsum plaster repairs around boxes to have gypsum removed - replaced with 3 coat lime plaster

existing denotes re-use of existing outlet location
new denotes new wall outlet using lime repair
new-sirting denotes new outlet set into skirting board avoiding plaster damage
new-plasterboard denotes new location in existing plasterboard
omit denotes removal of outlets and restoration of lime plaster

relocated Bedroom 2 door for cupboard remake modern stud wall to hinge side to suit relocated door

alcove cupboard dimensions and materials as per Bedroom 2

conservation rooflight Clement side hung 652x962mm glazing

remove gypsum to window wall reinstate original lime plaster specification

decay of valley beam extensive - steel reinforcement required to connect into existing wall bearing 2x 12mm plates bolted to existing beam with stiffener and bearing plate set within wall.

remove existing WC, replace duct wall plasterboard with suitable access panels - relocate door to Bedroom 3 - allow new hardwood frame to replace softwood frame from 1968-9

remove studwork and plaster board walls from 1968-9, re-configure to locate WC in bathroom, waste pipework run between joists to retained SVP

clean and repair existing hearth, missing fire surround not replaced allow lime plaster repair around open brick hearth

repair and redecorate original alcove cupboard with extant shelving, strip paint and repair lime plaster interior

pitched plasterboard ceilings removed, rafters insulated with insulated plasterboard ceilings - ventilation described on dwg ref. GC 306

lowered 'ceiling' to WC and wardrobe extended across entry door threshold, set at original ceiling height pre-1969 to acknowledge scale of servant quarters - pitched ceiling runs above to stair wall visually reinstating the original depth of the room

relocation of extract vent to level ceiling + shift light positions

LEGEND

WATER

- RADIATOR Iron column floor standing radiator tbc
- T THERMOSTAT tbc
- low radiator electric backup tbc
- WATER supply
- STUB STACK AAV - Air Admittance Valve
- SVP Note: min 450mm from WC connection to drain invert level

SMALL POWER + LIGHTING - H = HIGH LEVEL

NOTE: LOW LEVEL OUTLETS TO BE 450mm FFL WHERE EXISTING LOCATIONS RETAINED, SKIRTING MOUNTED ELSEWHERE
All outlets to be brass thin face-plate

- PENDANT / CEILING LIGHT various client supply
- SPOT LIGHT recessed fitting LED allow for Envirolight DCL7AC acoustic fluorescent hood to each fitting
- LIGHT IP65 rated
- WALL LIGHT tbc IP rated where appropriate
- 5 AMP OUTLET wall switched tbc
- LIGHT SWITCHES (SINGLE / DOUBLE / 2-way D-dimmer) All switches brass finish TBC
- WALL LIGHT EXTERNAL IP65 rated main fed switched
- WALL LIGHT EXTERNAL IP65 rated mains fed PIR controlled

DOUBLE with 2x USB / EXTERNAL / DOUBLE / SINGLE SOCKET OUTLET

SWITCHED FUSED SPUR OUTLET to suit application

SOUNDER, REF AUTOMATIC FIRE DETECTION SYSTEM

Worktop mounted Kitchen extraction with remote switch operation with wall vent kit to suit 150mm - 61 litres per second, dB(A) @3m 45

Wall mounted WC extraction with remote switch operation with wall vent kit to suit 100mm - 25 litres per second, dB(A) @3m 38

Distribution Board for ground and first floor electrical circuits, Rigger or similar quality, allow for min. 1 number space circuit for future use. Board-RCD to BS 7671:2008+A3:2015 Amendment 3 compliant, conforms to BS EN 61439-3 etc. Annex ZB

WIFI router location for security linked to PIR/camera detection via bluetooth located within retained storage cupboard

WIFI router location for doorbell linked sounder/mobile devices via bluetooth located within retained storage cupboard

WIFI router for internet devices via bluetooth located within retained storage cupboard

MAINS OPERATED SMOKE ALARM AUTOMATIC FIRE DETECTION SYSTEM detectors and alarms connected to the control unit and indicating unit at GP all TO BS 5838 PART 1 TYPE L3. NOTE POWER ISOLATION AND BREAK-GLASS PANEL IN GUEST CLOAKS AREA

MAINS OPERATED ALARM/HEAT ALARM - GENT or similar approved

FD30 Half Hour fire door hinges, latches and frames to BS 476: Part 22

illuminated mirror with integral on-off switch



hazard: outline method statement

Facade

Full scaffolding (guarding, netting, toe-boards erected and certified by competent installer required for all access above 2 metres. Lifts to provide ready access to all surfaces without the use of stepped access on the scaffold. A scaffold to both chimneypieces will be required.

Ensure operations such as iron pipework have at least two operatives attending the work at any time, with no-one working on the lifts directly below. Lead should not be used to seal the iron pipework joints for health and safety reasons.

Balustrading to gutter and all projecting mouldings to be stress tested prior to works commencing to ensure loose debris unable to fall in an uncontrolled way.

Minimal original material to be removed back to sound surface when making crack repair. Any areas of blown render to be identified to the Architect prior to removal to confirm extent of repair - cutting discs may be used to minimise impact vibration, depth must not exceed the render thickness to preserve the masonry, all operatives must use full and appropriate PPE as identified in the relevant Risk Assessment and have undertaken certified abrasive wheel safety training.

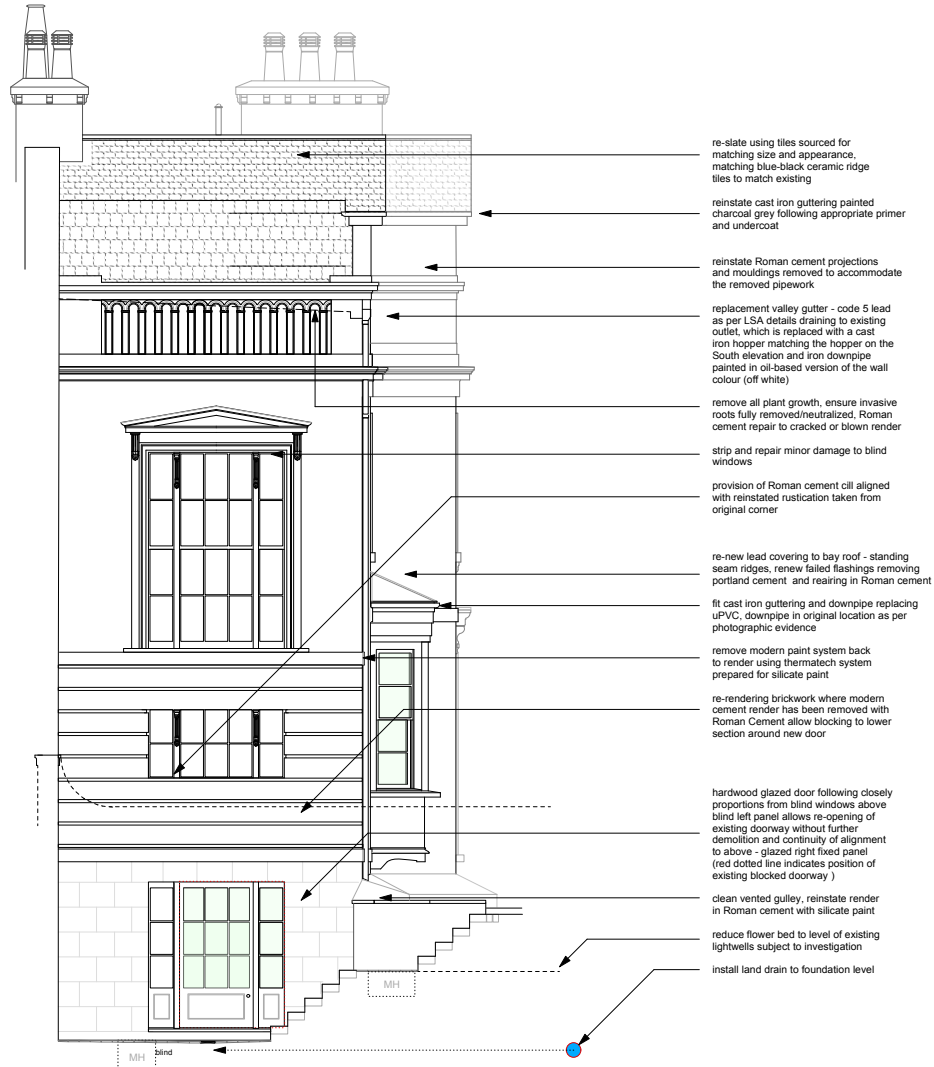
Roofing

Slatting works to be scheduled with no workers on scaffold below, undertaken by operatives experienced in traditional roofing, works covered by site specific risk assessments. Note slates removed for re-use, ensure nail holes are not enlarged during removal.

Modern sarking felt visible under slates indicating recent removal/replacement - battens therefore to be replaced - fixings and nails to be treated steel or non-ferrous for longevity. Ensure each existing slated pitch photographed prior to removal and pattern of slates followed when reinstating.

Doorway

Existing concrete beam to be utilised so removal of existing blockwork to create new doorway will not require an Engineering method statement. PPE as identified in the relevant Risk Assessment is required.

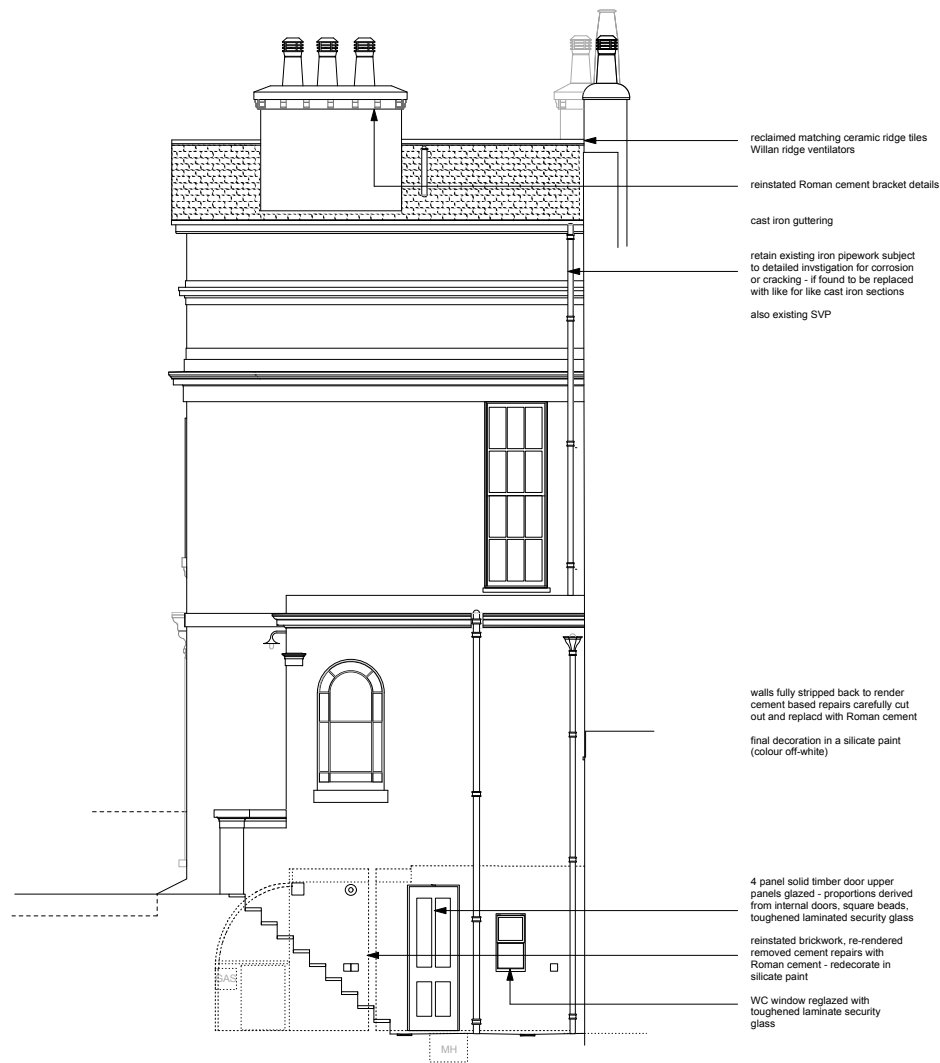


Cement render covering the flashing to be removed a 35mm upstand to the wall abutment used for the wood roll detail, a cover flashing bossed to cloak the meeting point of the two ridge rolls where they meet at the wall. Head fixings must be sealed prior to the cover flashing. Roman cement used to repair render to the cover flashing (lead wedges @450mm ctrs) - no render used over flashing (note failure of render and damp ingress in existing detail).

Cover flashing lap to be 200mm for 24 degree pitch

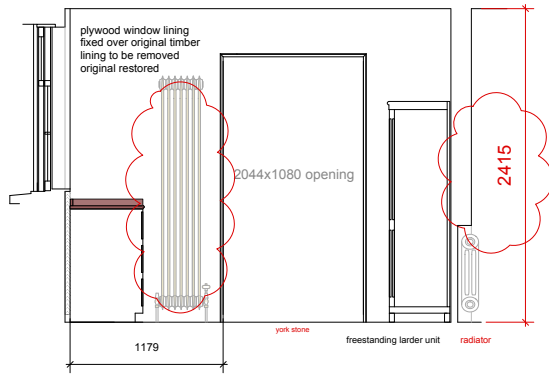
Played roll ends run to drip, bossed ends used with no splash lap - no welding to roll ends - allow min 40mm for adequate lap, form return under ply substrate which should have the drip edge rounded (as per torus roll) before forming vertical drip into the iron guttering



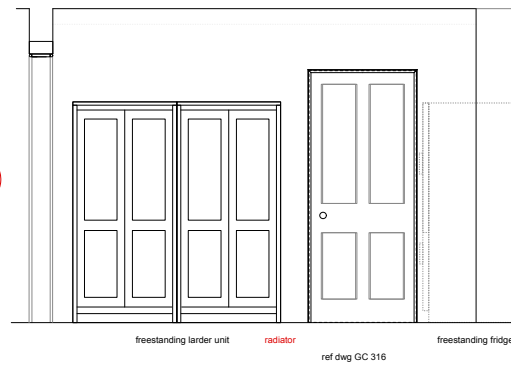


boiler flue visible ⊙
 kitchen extract set behind
 cast iron grille set flush to render □
 WC, dryer vent and room vent set
 behind 100x100 cast iron grilles ▢

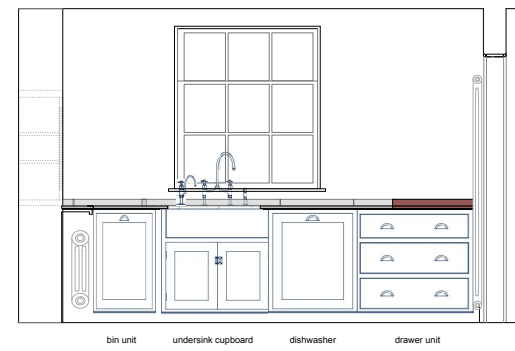
section AA



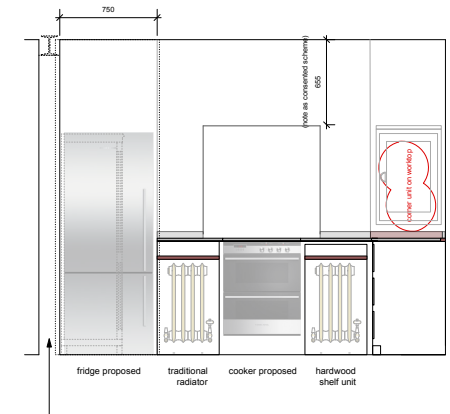
elevation A



elevation B



elevation C



joinery items use single panel doors following precedent
worktop material salvaged by Bennett for the 1969 kitchen
re-used to maintain continuity of appearance and usefulness
original 1850's window surround under plywood to be restored

fire rated wall to stairway
hall under retained steel RSJ
softwood T+G to stairside on
plasterboard/studwork with
full fill rockwool mineral batts
for fire rated enclosure. Plaster
board to kitchen face

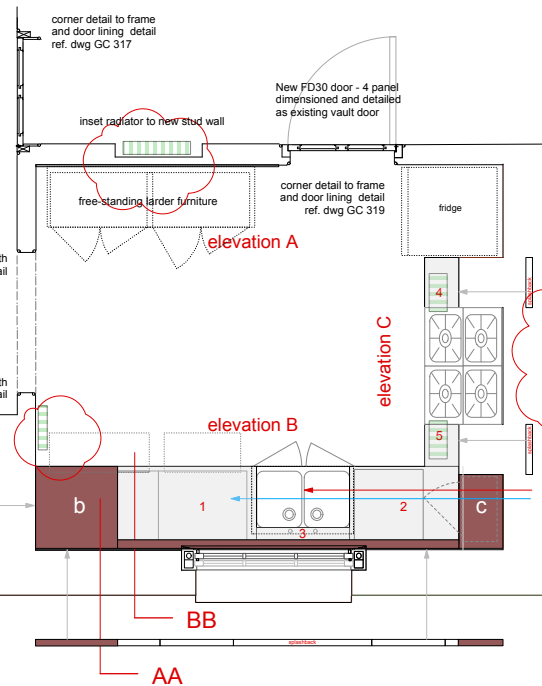
hardwood and Carrera marble reclaimed material from original kitchen



New FD30 door - 4 panel
dimensioned and detailed
as existing vault door

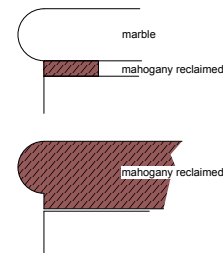
timber lining of opening with
dowel corner detail

timber lining of opening with
dowel corner detail



worktop edge detail shaped to
follow existing marble edge detail

section detail AA 1:1 worktop



section detail BB 1:1 worktop

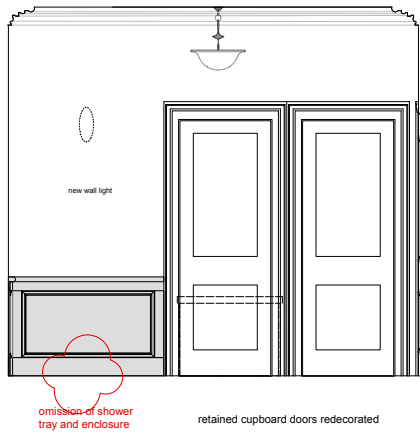
splashback material marble or mahogany
aligned to worktop material adjacent

elevation D

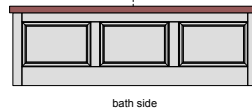
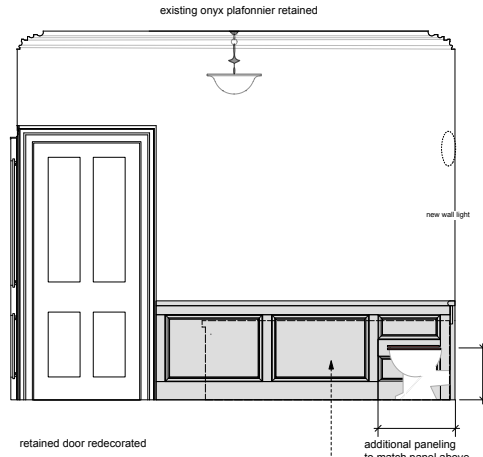


20 diameter timber
dowel corner detail
to doorway and opening
170x20mm softwood
square edged skirting
dowel corners run onto
top edge of skirting
timber linings to doorways

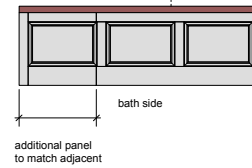
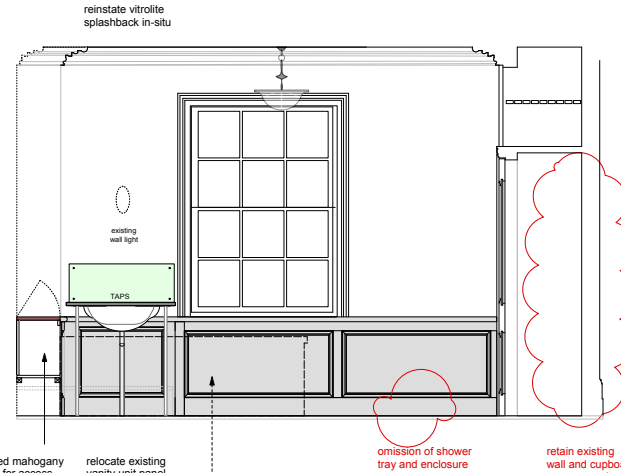
section AA



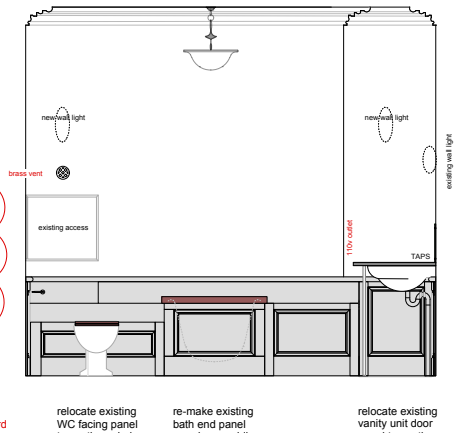
elevation A



elevation B

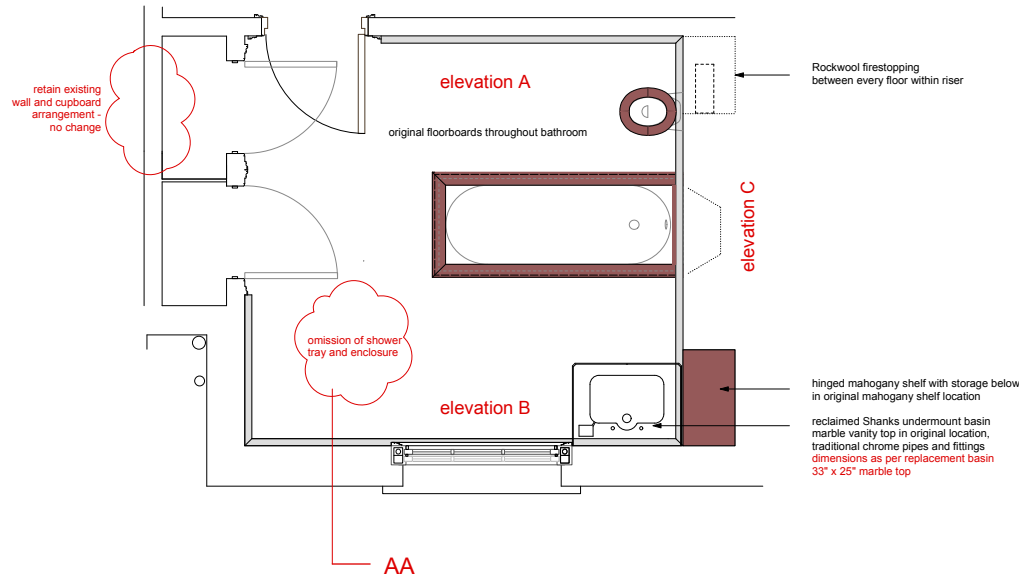


elevation C

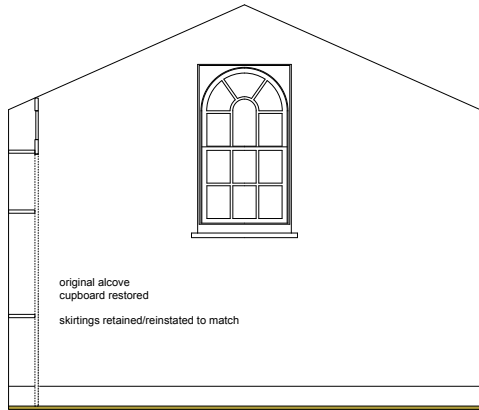


re-make existing bath end panel re-using mouldings replace MDF with ply to match side paneling

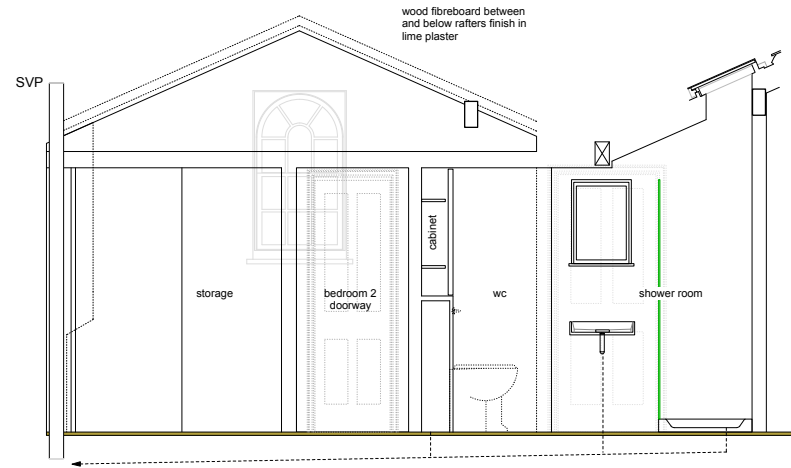
relocate existing vanity unit door panel to continue existing dado



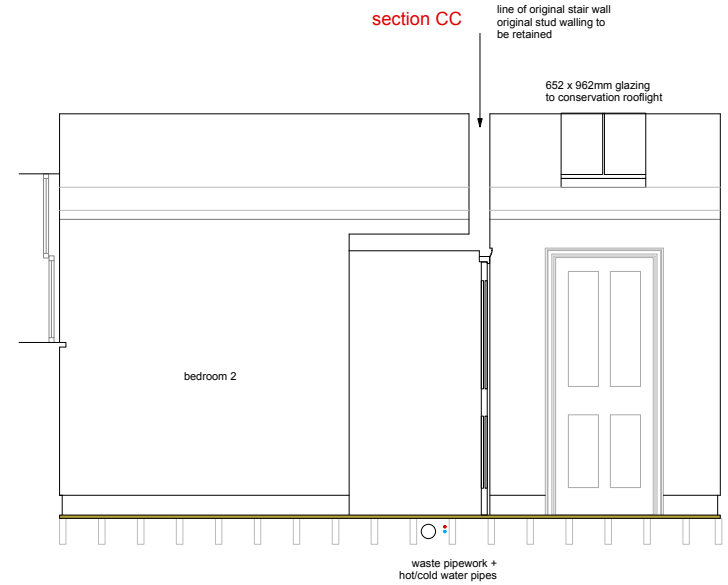
section AA



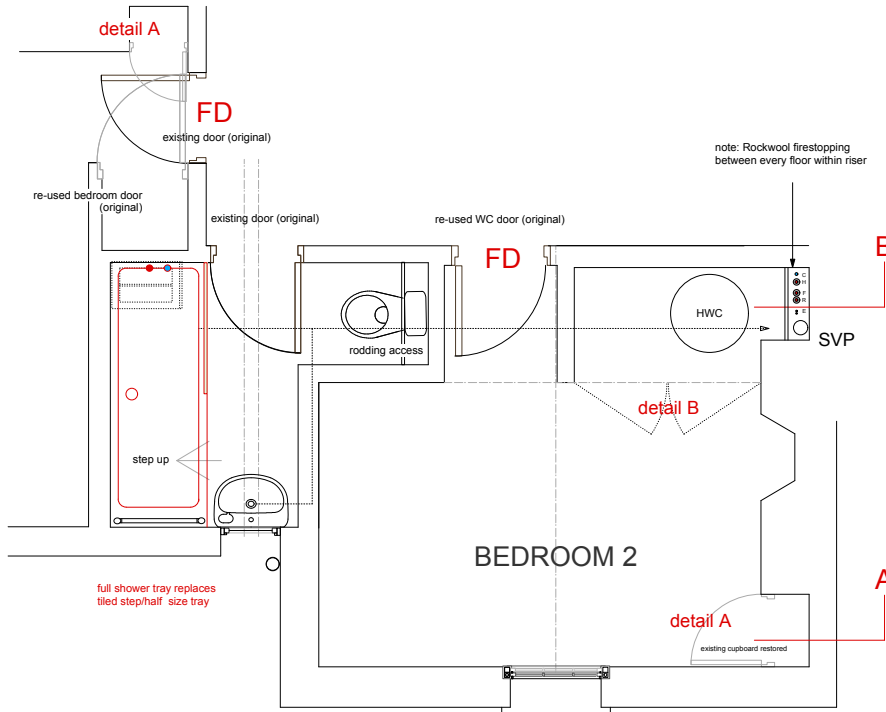
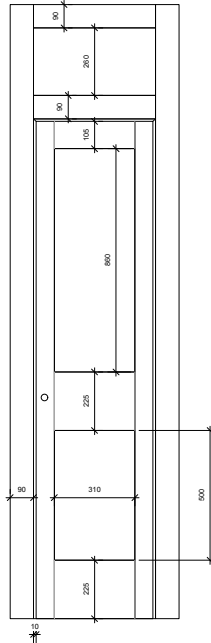
section BB



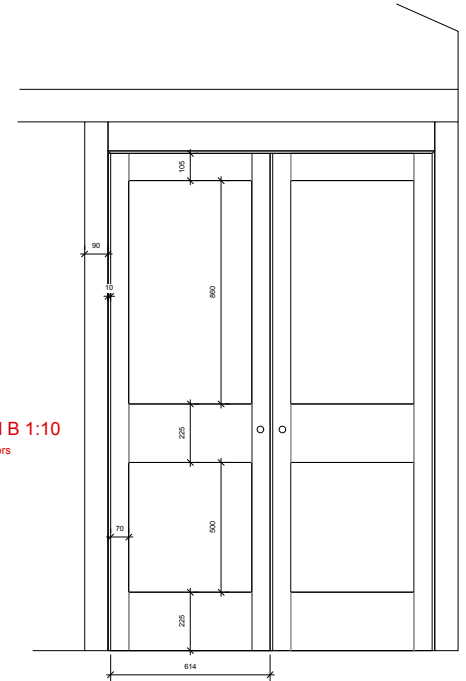
section CC

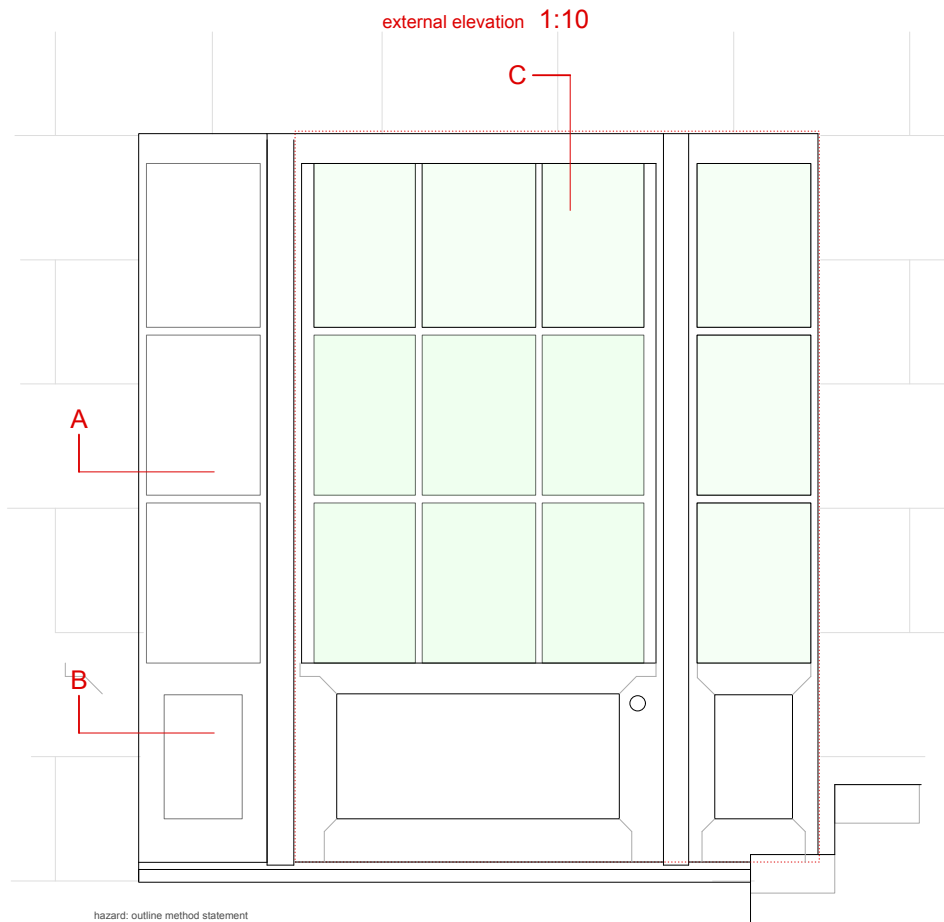


detail A 1:10
existing door

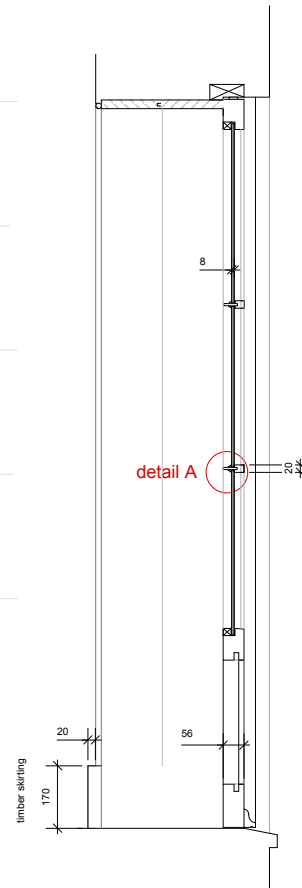


detail B 1:10
new doors

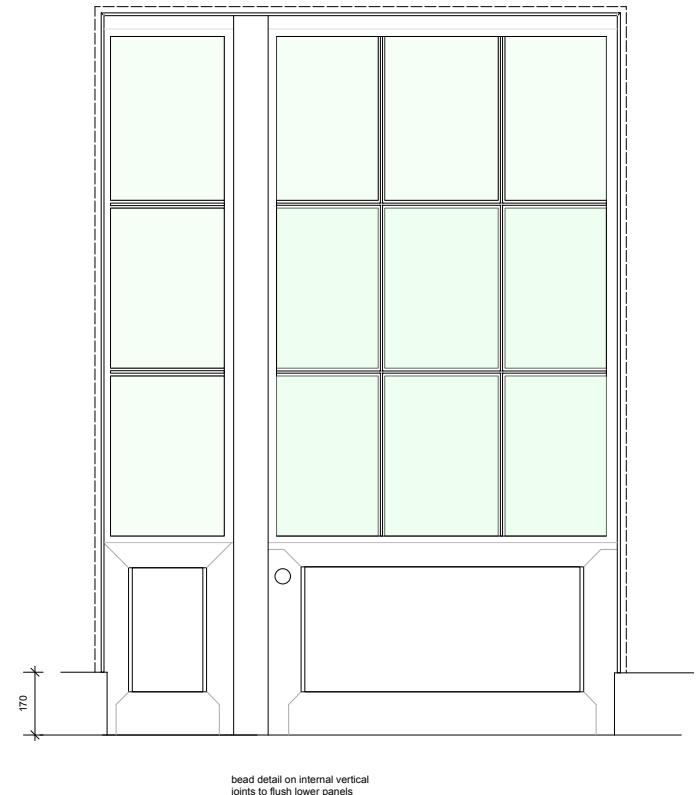




section CC



internal elevation 1:10

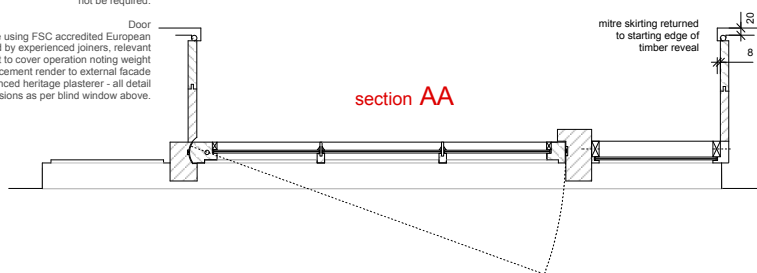


hazard: outline method statement

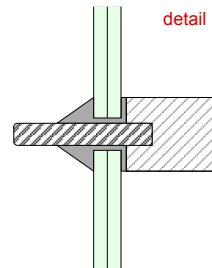
Opening
Removal of brick infill to use small power tools - no breakers to be used to avoid vibration damage
Concrete beam retained in situ - structural assessment by qualified site engineer of beam to confirm integrity prior to opening up, propping should not be required.

Door
Fabricated offsite using FSC accredited European hardwood fitted by experienced joiners, relevant Risk Assessment to cover operation noting weight of door. Roman cement render to external facade by experienced heritage plasterer - all detail dimensions as per blind window above.

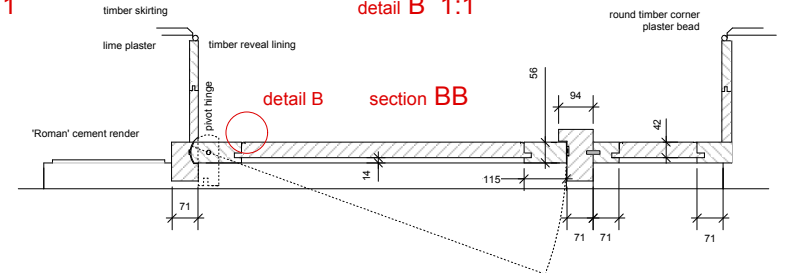
composite glazing bar to conform to dimensions of blind window above:
internal steel divider to brace glazing
hardwood external bead (decorated)

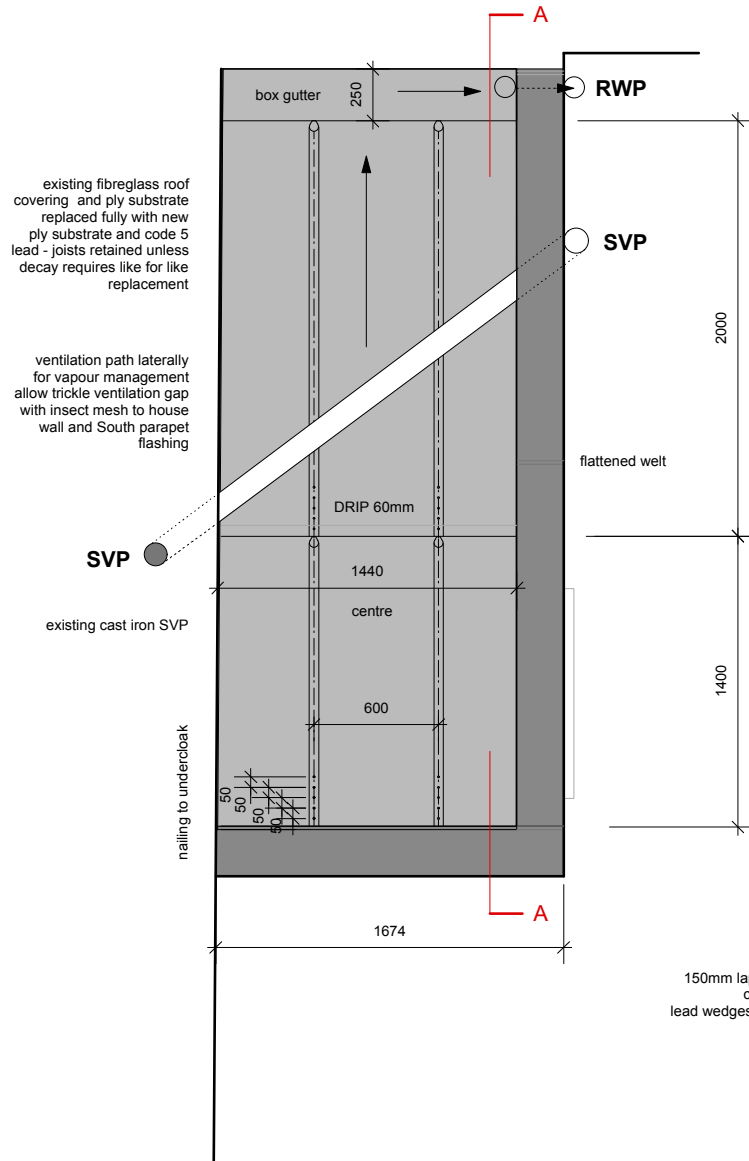


detail A 1:1



detail B 1:1





Code 5 lead sheet throughout.

Rolls set out to avoid pipe wall exit and low point above parapet gutter.

Max. 2 metre coping cloak length joint centre on wall.

Over and undercloak bossed over splayed end of wood cored rolls - avoid welding.

wood cored rolls abutting wall to have bossed detail - undercloak may be nailed to roll using five nails per roll at 50mm spacing from the abutting wall - avoid welding.

Drip within gutter 50mm min. Corners to box gutter may be welded. Splashlap to be 40mm as fall less than 3 degrees.

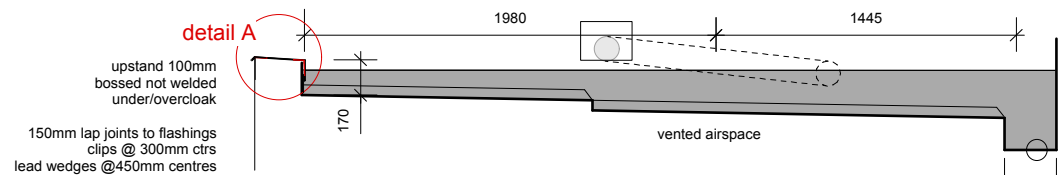
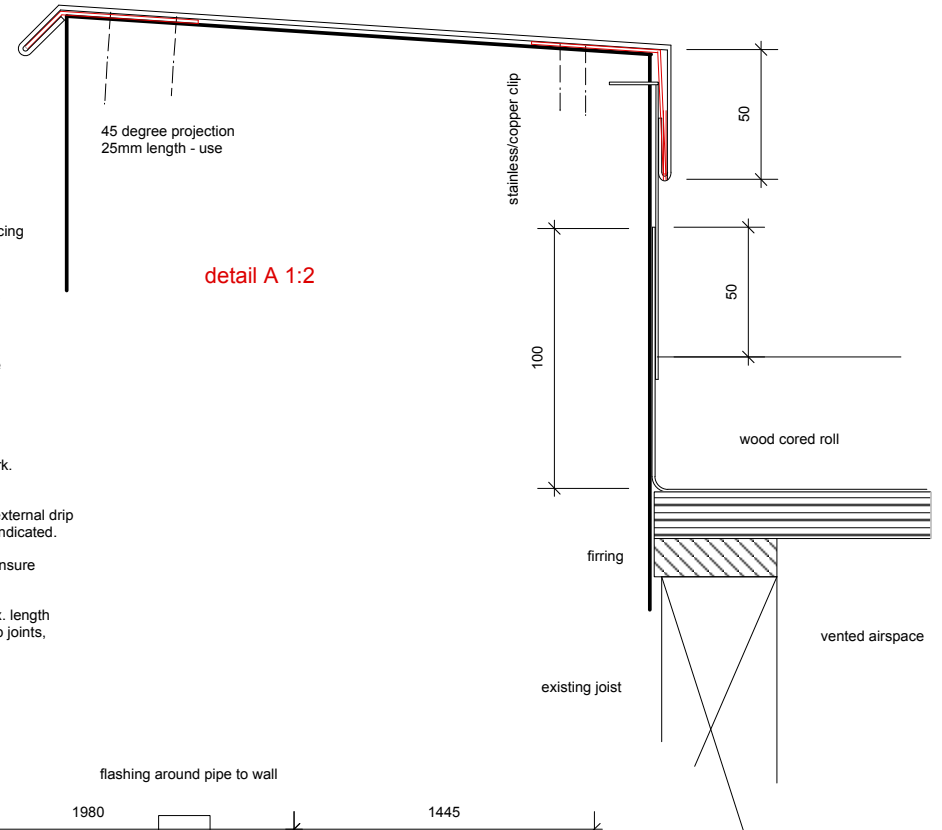
Catch pit with welded lead spigot through wall to existing iron hopper - the size of the catch pit to be enlarged if the existing roof build-up restricts depth to 150mm. A lead overflow should be fitted at a level just below the dressed gutter lining.

Lead outlet diameter to match iron pipework.

Coping details using clips along length of external drip to suit exposure - flattened welts on head indicated.

Dress lead coping around existing SVP - ensure adequate clipping.

Covering flashings to house wall 1.5m max. length between laps, lead clips at 400ctrs, 100 lap joints, upstand min 75mm.



upstand 100mm bossed not welded under/overcloak

150mm lap joints to flashings clips @ 300mm ctrs lead wedges @ 450mm centres

1 degree fall

existing timber rafters retained - remove ply/asphly/fibreglass decking prior to re-installing ply substrate suitable for lead installation

existing rendered parapet walls and rendered coping surface retained with lead coping installed as per existing Listed building Consent

approx dimension to fit within retained rafter spacing

section AA 1:25

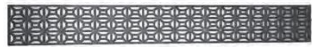


survey of original scullery and hallway floor

A note original york stone door thresholds retained in situ under the reinstated scullery wall given consent in 2020

the scullery slabs are supported on brick supports with a 70mm continuous void created below the slabs linked to vents positioned in the external wall linked to an external ventilated full height cavity discovered at the commencement of approved works

existing plan 1:50



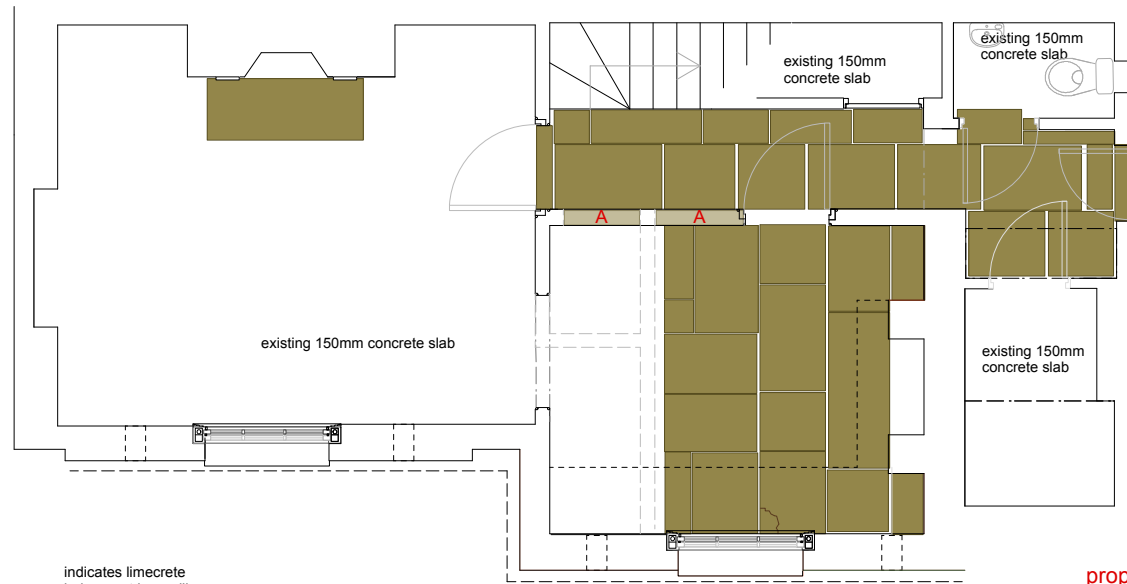
detail A

Ballantine castings cast iron grille G040 -136(W)x1115(L)x 6mm (not to scale)

BB

new door approved in 2020 with slate threshold set level with finished floor level aligned to original york stone floor

proposed plan 1:50



indicates limecrete below cast iron grille

detail A

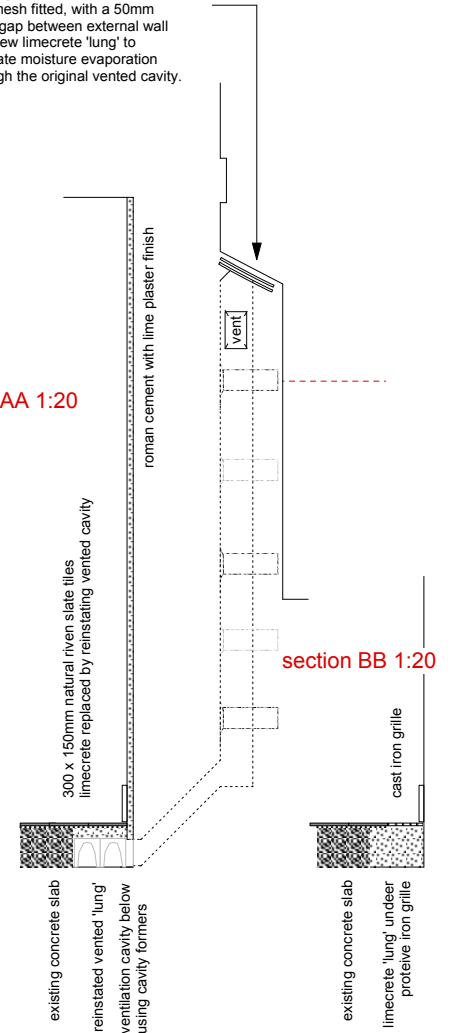
300 x 150 x 12 mm riven slate tiles on adhesive with under tile warm-up matting

AA

exposed 'hot lime' limecrete for vapour permeability at floor perimeter

proposed section AA 1:20

external plinth - cement removed, re-rendered in Roman stucco clay tile supports retained where intact - replaced with matching clay tiles. The existing vent holes cleaned and mesh fitted, with a 50mm clear gap between external wall and new limecrete 'lung' to facilitate moisture evaporation through the original vented cavity.



section BB 1:20

arts lettres techniques ARCHITECT Arts Lettres Techniques Limited 2021 copyright is retained ©

33A ARLINGTON ROAD LONDON NW1 7ES T: (020) 7383 4778

architect@artslettres.com

ALL DIMENSIONS MUST BE VERIFIED ON SITE

PROJECT 23 Gloucester Crescent

NUMBER GC 321

SCALE 1:50 @ A2

SUBJECT Basement Flooring plan

REVISION A

DATE 13/04/21

revisions
A 03.05.21 re-submission

scale 1:50

1.0m 5.0m

