K y s o n'

DESIGN & ACCESS STATEMENT. NOVEMBER 2021

24 HEATH DRIVE. LONDON. NW3 7SB

INTRODUCTION DOOR REPLACEMENT

This document, on behalf of our client, is for the attention of the London Borough of Camden and has been prepared as part of the planning submission for the proposal of the removal of a previously consented new door. The following pages with drawings provide further details of the proposal. The location of the previously consented door to be removed have been highlighted in revision clouds.

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PREVIOUSLY CONSENTED ELEVATION



SCAL	E - 1:50	0	0.5	1	1.5		2.5 m	
Rev:	Comme	nts:				By:	Date:	
-	-					-	-	

24 HEATH DRIVE. LONDON. NW3 7SB

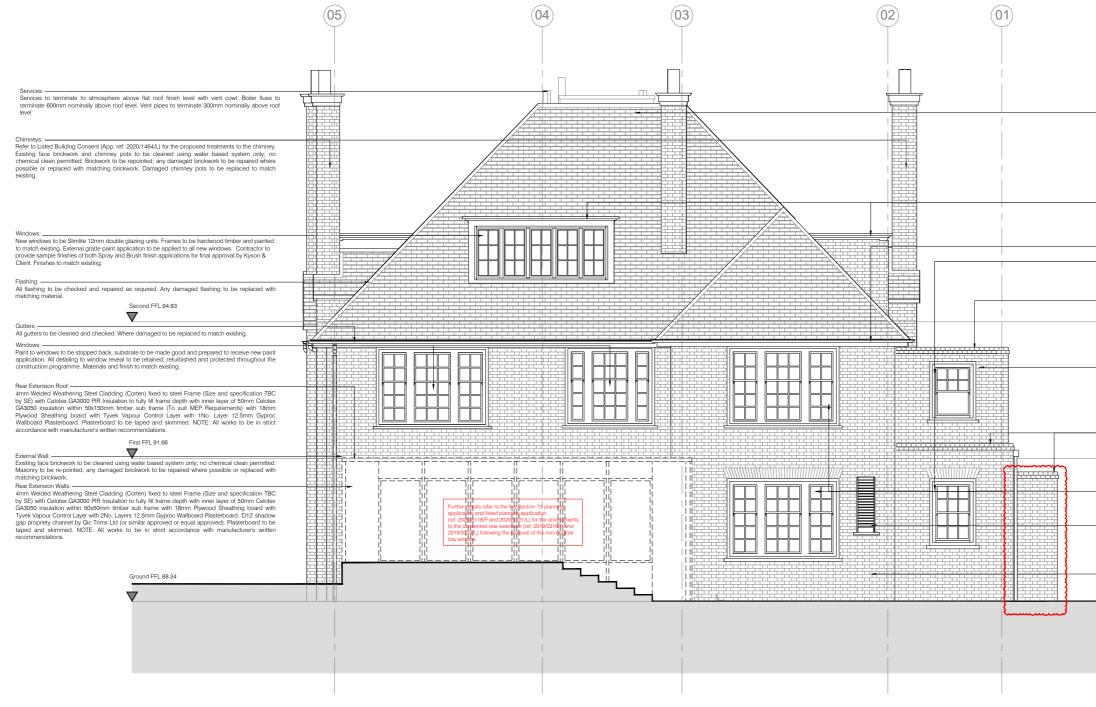
	- Side Extension Flat Roof 0.7° fall (U-value				
	Prodek EPDM Rubber Roof covering Parapets/upstands on 25mm Kingspan —System with Protection Layer-on-Vapour-6 screwed and glued to 150x100mm tim specification with 1No. Layer 15mm 60y Layer 15mm Gyproc Moisture Resistant F and skimmed. NOTE: All works to recommendations.	Thermaroof TR27 LPC/ Control Layer on 18mm ¹ ber joists @ 300mm (rproc Wallboard Plaster Plasterboard to Master E	FM on Kingspan O WBP Plywood with s C/C's as per Struct board to Dressing Bathroom. Plasterbo	Potim-R Roofing staggered joints tural Engineer's Room or 1No. ard to be taped	
	External Wall (U Value 0.25W/m*K): 1No. Layer 12.5mm Gyproc Wallboard P skimmed; 100mm Bickwork (Blockwork with 100mm Earthwool DriTherm Cavity 102.5mm facing brickwork Old Victorian and Brick to be tied with Ancon Wall ties i horizontally and 450mm spacing vertical All works to be in strict accordance with m	: Thermal Conductivity of Slab 32 Ultimate (the Pressed Medium Dark' to (or similar or equal appro- ly to Structural Engineer	of 0.15W/mK), min. rmal conductivity of by Furness to match oved) at maximum 's design and spec	100mm Cavity f 0.032 W/mK), n existing. Block 750mm spacing	
	— Garage and Side Extension Flat Roof 0.7° Prodek EPDM Rubber Roof covering I Parapets/upstands on 120mm Celotex Pywood with staggered joints screwed a per Structural Engineer's specification Plasterboard to be taped and skimm manufacturer's written recommendations.	(with 25 year guarante Crown-Bond on Vapo and glued to 150x100mr with 1No. Layer 15mm	e) lapped minimur ur Control Layer o n timber joists @ 3 n Gyproc Wallboard	on 18mm WBP 00mm C/C's as d Plasterboard.	
	 Windows: Paint to windows to be stripped back, sub 	ostrate to be made good	and prepared to re	ceive new paint	
	application. All detailing to window revea construction programme. Materials and fir	I to be retained, refurbi			
	- Timber Louvre:		hade and the state of		
	Timber louvre to be retained and refurbish and prepared to receive new paint applica		DACK, SUDSTRATE TO D	e made good	
<u>G-22</u>	 Windows: For proposed window details refer to Kyst 	on 6100 Series of drawin	qs.		
	 External Wall: 				
	Existing face brickwork to be cleaned usi				
	Existing face brickwork to be cleaned usi Masonry to be re-pointed; any damaged	brickwork to be repaired			
	Evising face brickwork to be cleaned usi Masonry to be re-pointed; any damaged matching brickwork.	brickwork to be repaired			4 5m
	Evising face brickwork to be cleaned usi Masonry to be re-pointed; any damaged matching brickwork.	d new door	d where possible o	r replaced with	5m
	Existing face brickwork to be cleaned usi Masomy to be re-pointed; any damaged matching brickwork.	d new door	d where possible o	3 4	son
	Existing face brickwork to be cleaned usi Masomy to be re-pointed; any damaged matching brickwork.	d new door	d where possible o	3 4	
	Existing face brickwork to be cleaned usi Masomy to be re-pointed; any damaged matching brickwork.	d new door	d where possible o	3 4	
lient:	Existing face brickwork to be cleaned usi Masomy to be re-pointed; any damaged matching brickwork.	d new door 0 1 Studio 28 Scrutton Street London	d where possible o	3 4	
lient: roject Title:	Existing face brickwork to be cleaned usi Masory to be re-pointed; any damaged matching brickwork. —Previously consente SCALE- 1:100@A3	d new door 0 1 Studio 28 Scrutton Street	d where possible o	3 4	
client: roject Title: 4 Heath Drive, London, NW3	Existing face brickwork to be cleaned usi Masory to be re-pointed; any damaged matching brickwork. —Previously consente SCALE- 1:100@A3	d new door 0 1 Studio 28 Scrutton Street London UK EC2A 4RP T: +44(0) 20 724	4 7 2462	3 4	
Client: Project Title: 14 Heath Drive, London, NW3 Drawing Title: Proposed	Existing face brickwork to be cleaned usi Masory to be re-pointed; any damaged matching brickwork. —Previously consente SCALE- 1:100@A3	d new door 0 1 Studio 28 Scrutton Street London UK EC2A 4RP	4 7 2462 son.co.uk	3 4	
PLANINIING Client: Project Title: 24 Heath Drive. London. NW3 Drawing Title: Proposed Rear Elevation Scale: Date:	Existing face brickwork to be cleaned usi Masory to be re-pointed; any damaged matching brickwork. —Previously consente SCALE- 1:100@A3	d new door 0 1 Studio 28 Scrutton Street London UK EC2A 4RP T: +44(0) 20 724 E: enquiries@kys	4 7 2462 son.co.uk	3 4	son

— Upgrading to existing Pitched and Fiat Roof (U Value 0.18W/m²R); All roof timbers to be inspected for suitability. Existing roof felt to be inspected for suitability and if required to be replaced then existing tiles to be carefully removed and stored securely for reinstallation at a later date. Remove old battens and install a new BBA approved draped breather membrane over 70mm Celotex GA3007 rigid insulation between rafters for similar or equal approved) with 50mm Celotex GA3007 of rafters TBC. Install new 50mm tanalised battens and re-install original roof tiles. NOTE: All works to be in strict accordance with manufacturer's written recommendations. Same insulation treatment to be given to the flat roof portion of the existing main roof.

Roof of dormer to be checked and repaired as required.

Dormer

PROPOSED ELEVATION



SCAI	LE - 1:50	2.5 m	PL
Rev:	Comments:	By: Date:	Client:
E	Minor Material Amendments	RM 30-03-2019	-
F	Minor Material Amendments	MStL 27-03-2020	
G	Non Material Amendments	JC 19-11-2020	Project
Н	Remove previous consented new door.	RM 14-10-2021	24 Hea
			Drawin

Proposed Rear Elevation	
Scale:	Date:
1:50@A1	JUL

0 1 4 SCALE- 1:100@A3 Kyson ANNING Studio 28 Scrutton Street UK EC2A 4RP ath Drive. London. NW3 7SB T: +44(0) 20 7247 2462 E: enquiries@kyson.co.u W: www.kyson.co.uk Project No. Drawn 18 ST ΗV 508-16 3002

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Paint to windows to be stripped back, substrate to be made good and prepared to receive new paint

manufacturer's written recommendations.

– Garage and Side Extension Flat Hoof 0.7 fail (U-value = 0.18W/mrK): Prodek EPDM Rubber Root covering (with 25 year guarantee) lapped minimum 150mm into Parapets/upstands on 120mm Celotex Crown-Bond on Vapour Control Layer on 18mm WBP Plywood with staggered joints screwed and glued to 150x100mm timber joists (@ 300mm C/Cs as per Structural Engineer's specification with 1No. Layer 15mm Gyptore Wallboard Plasterboard. Plasterboard to be taped and skimmed. NOTE: All works to be in strict accordance with

External Wali (U Value 0.25W/m*K): 1No. Layer 125mm Gyproc Wallboard Plasterboard on 10mm dabs, Plasterboard to be taped and skimmed; 100mm Biockwork (Biockwork Thermal Conductivity of 0.15W/mK), min. 100mm Cavity with 100mm Earthwool DriTherm Cavity Slab 32 Ultimate (thermal conductivity of 0.032 W/mK), 102.5mm facing brickwork Old Victorian Pressed Medium Dark by Furness to match existing. Block and Brick to be ted with Ancon Wall ties (or similar or equal approved) at maximum 750mm spacing bricznatily and 450mm spacing vertically to Structural Engineer's design and specification. NOTE: All works to be in strict accordance with manufacturer's written recommendations.

- Garage and Side Extension Flat Boof 0.7° fall (U-value = 0.18W/m²K):

Upgrading to existing Pitched and Flat Roof (U Value 0.18W/m²K): All roof timbers to be inspected for suitability by Structural Engineers. Existing roof felt to be inspected for suitability and if required to be replaced then existing lites to be carefully removed and stored securely for reinstallation at a later date. Remove old battens and install a new BBA approved draped breather membrane over 70mm Celotex GA3070 rigid insulation between rafters (or similar or equal approved) with 50mm Celotex GA3050 rigid insulation between rafters (or similar or equal approved) with 50mm Celotex GA3050 rigid insulation between rafters (or similar or equal approved) with 50mm Celotex GA3050 rigid insulation between rafters (or similar or equal approved) with 50mm Celotex GA3050 rigid insulation between rafters (or similar or equal approved) with 50mm Celotex GA3050 rigid insulation between rafters (or similar or equal approved) with 50mm Celotex GA3050 rigid insulation between rafters (or similar unstable timbers to be strengthened or replaced to Structural Engineers. Any damaged or unstable timbers to be strengthened or replaced to Structural Engineers proposals. Install new 50mm tanalised battens and re-install original roof tiles. NOTE: All works to be in strict accordance with manufacturer's written recommendations. Same roof timbers and insulation treatment to be given to the flat roof portion of the existing main roof. Dermer:

All gutters to be cleaned and checked. Where damaged to be replaced to match existing.

All gutters to be cleaned and checked. Where damaged to be replaced to match existing. Windows: New windows to be Slimilite 12mm double glazing units. Frames to be hardwood timber and painted to match existing. External grade paint application to be applied to all new windows. Contractor to provide sample finishes to both Spray and Brush finish applications for final approval by Kyson & Client. Finishes to match existing. Side Extension Flat Rod C7¹ fall (U-value = 0.18W/m²K): Prodek EPDM Rubber Roof covering (with 25 year guarantee) lapped minimum 150mm into Parapets/upstands on 25mm Kingspan Thermaroof TR27 LPC/FM on Kingspan Optim-R Roofing —System with Protection-tayer en Vapour-Control Layer on 18mm WBP Plywood with staggered joints screwed and glued to 150x00mm timber joists @ 300mm CCs as per Structural Engineer's specification with 1No. Layer 15mm Gyproc Wallboard Italserboard to Dressing Room or 1No. Layer 15mm Gyproc Moisture Resistant Plasterboard to Master Bathroom: Hasterboard to be laped and skimmed. NOTE: All works to be in strict accordance with manufacturer's written recommendations. External Wall (U Value 0.28W/m²K):

Roof of dormer to be checked and repaired as required.

External Wall (U Value 0.25W/m²K):

application. All detailing to window reveal to be retained, refurbished and protected throughout the construction programme. Materials and finish to match existing.

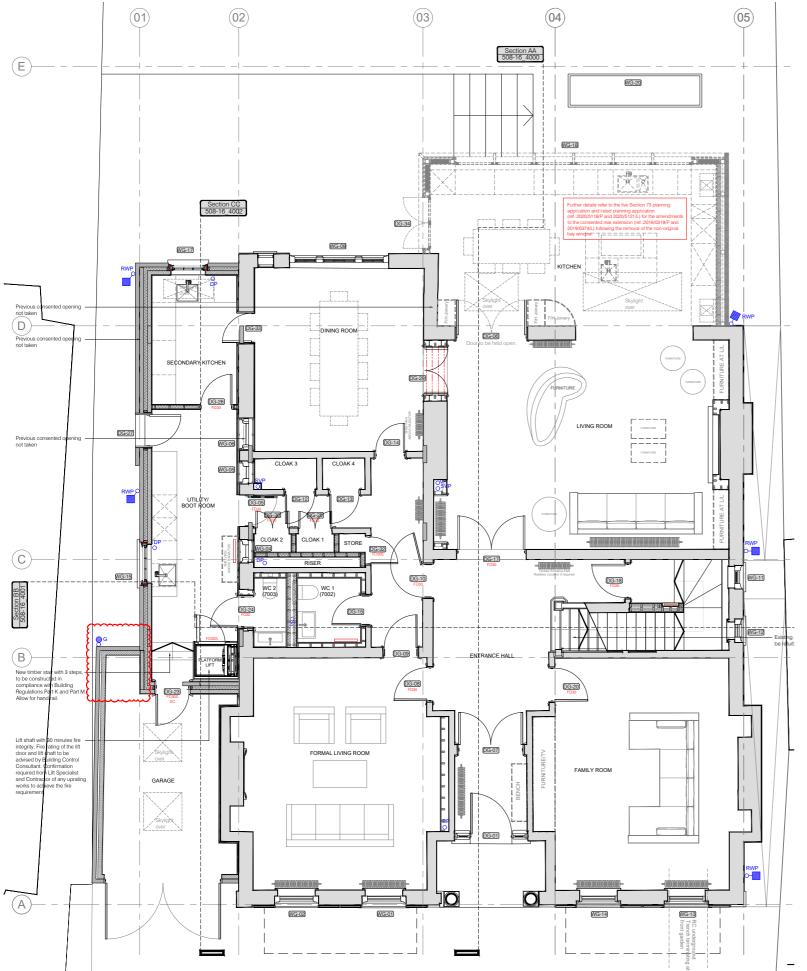
- Timber Louvre Timber louvre to be retained and refurbished. Paint to be stripped back, substrate to be made good and prepared to receive new paint application.

- External Wall: Existing face brickwork to be cleaned using water based system only; no chemical clean permitted. Masonry to be re-pointed; any damaged brickwork to be repaired where possible or replaced with matching brickwork.

> Revision Н

5m

PROPOSED PLAN



ev:	Comments:	By:	Date:
à	Minor Material Amendments	RM	20-03-2019
ł	Revision to suit Camden comments	RM	10-07-2019
	Minor Material Amendments	MStL	27-03-2020
	Non Material Amendments	JC	19-11-2020
	Remove previous consented new door.	RM	14-10-2021

o not scale this drawing All dimensions must be checked on site Il rights reserved. No reproduction in any material form is permitted rithout consent. vject Title: Heath Drive. London. №

Drawing Title: Proposed Ground Floor

Scale: Date: 1:50@A1 Marc

24 HEATH DRIVE. LONDON. NW3 7SB

SCALE- 1:100@A3

PLANNING

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Studio 28 Scrutton Stre London UK EC2A 4RP	eet			
T: +44(0) 20 7 E: enquiries@ W: www.kyson	kyson.co.uk			
Project No.:	Drawing No.:	I	Revision:	

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kyson⁺

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