

2021

Design and Access – The Elms



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RIBA, ARB, FRSA

RIBA Conservation Registrant

On behalf of SIAW Ltd

15/11/2021

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1. INTRODUCTION

The Elms is a grand detached mansion house situated in the middle of Hampstead Heath. It is a substantial Listed Building, Grade II, surrounded by a large, landscaped garden, leading to the Heath beyond. The curtilage of the property includes a garage with 2 flats over and a gate house.



The current owners have been in residence for a very long time, maintaining and improving the property sympathetically, respecting the history, the aesthetic hierarchy and its' character.

The property has been in the same ownership since 2001, as a single family occupancy. They define themselves as the custodians of this property, not just owners. The custodians are passionate about preserving the authenticity while enhancing the asset through carefully introducing the necessary contemporary additions, striking the balance and preserving the dominance of the main heart and ethos of the house.

The historic building acquired two extensions in 1998, at each end of the house: to the South, a swimming pool wing, over the existing footprint of an older extension; to the North a kitchen wing. A further staircase articulation was introduced to the South in 2001, to connect the house to the swimming pool building but most importantly to provide a fire escape at that end of the house.

The North extension comprises the family kitchen with small bedrooms and bathrooms above. The windows are exact replicas of the historic windows, with leaded lights. The brickwork was chosen to perfectly match the main house, including the thin joints.

The extension to the South is a large pool building with the Queen Anne gable ends, designed to be harmonious within the elevations. The brickwork is different on this extension, contemporary brick size and joints, achieving an overall similarity to the original house. The gables size and contour are a good facsimile of the original gables.

The hard landscape created a series of terraces, as designed in 2002, connecting the house through a transitional space towards the larger garden at the rear, leading visually towards the woodland beyond. A landscape designer introduced planting within the terrace and bridged the terraces through

formal gardens, leading to the wider freer style landscape, incorporating a large pond in a valley, walk pathways, a bridge, creating a narrative and a journey.

The new proposal is to refine further those three elements by improving the quality of the connectivity between the house and the nature.

The swimming pool will expand outwards through an open air swimming pool, creating a transitional space, with views towards the pond and the bridge in the valley and the woodland beyond.

The roof terrace over the internal swimming pool will maximise the sun exposure and create vistas towards the landscaped garden.

At the North end, the kitchen will acquire a glazed pod extension, connected by a glazed bridge, to bring the dining experience closer to nature, as an immersive experience, connecting the indoors to the wider landscape and the surrounding woodland.

The assessment of the current building is included in the main Design and Access document.

The new elements are designed with great care and consideration of the existing historic elements, respecting the hierarchy while creating a deeper connection between the house and the nature around it.

- On the South side to expand the swimming pool externally while improving the current swimming pool house with modern facilities and replaced the pitched roof with a new partially glazed double curved roof, set back from the South gable to form a small private sun terrace.
- On the North side to create a kitchen extension as a glazed pod structure, connected through a short glazed bridge formed through an existing window.



Figure 1 The first concept sketch

2. PURPOSE OF THE REPORT

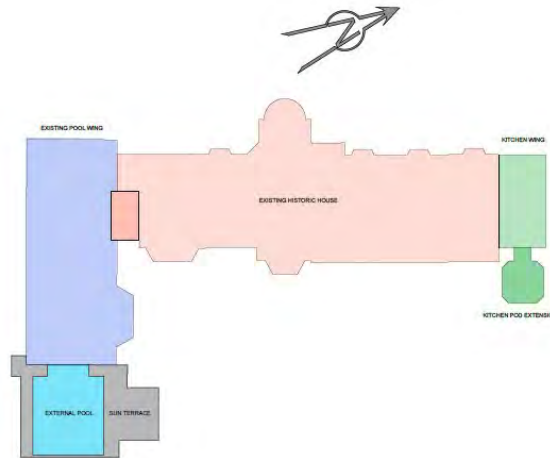
The purpose of this report is to explain the proposal and the approach to the design, in the context of planning and heritage policies and the statutory protection afforded to the building and its setting as heritage assets. The aim of the proposed changes is to improve the connectivity of the house to the nature around it. Refining the newer additions to the house, without increasing the actual footprint, the new intervention will bring a new energy to visually connect all elements of the existing building. Improving the quality of space through innovative design, while using the architectural language already present as the main stylistic asset, creating contrast in materiality as well as a stronger visual connection with the external space, at the rear of the property, extending the inside outside through transitional spaces, enhancing the symbiosis between the nature and the built environment.

The aim of the report is to:

- identify important architectural features that are marked by the proposal,
- identify how the proposal relates to the historic context,
- give a description of the proposals architecturally and contextually.

3. PROPOSAL OVERVIEW

Schedule of works:



Note: The two zones where the interventions are proposed relate to the 3 newer extensions from 1999: North extension - kitchen wing; South extension – swimming pool wing; the South staircase.

1. At South side: refurbish the swimming pool house with internal alterations to reconfigure the changing rooms, sauna, rest rooms.
2. At South side: Replace the pitched roof with a new partially glazed roof, create a roof terrace around it, behind the existing parapet walls and gables, new railings in matching style.
3. Create a connection with the main house through the half landing of the South staircase, by opening a doorway on the side wall, connecting to a mezzanine overlooking the swimming pool, self-enclosed, to accommodate the relocated gym. Access to the roof terrace through the gym.
4. Create a new internal staircase from the swimming pool / spa area to the roof terrace, accessed through a retractable structural glass skylight.
5. Extend the internal swimming pool outdoors, occupying the existing sun terrace, connected via a “lock”, modifying the existing glazed gable doors into automated retractable door with glass panes to match existing; associated hard landscape alterations of the existing sun terrace to elevate the level to match the internal level and extend the existing external staircases to the new level.
6. At the North side: create a bespoke glazed pod extension to the kitchen, a dining room, articulated by a glazed link formed through an adapted existing window to incorporate it. Associated landscape adjustments with steps from the pod into the garden.



4. LOCATION

The Elms, Columbas Drive, Spaniards Road, London NW3 7JD.

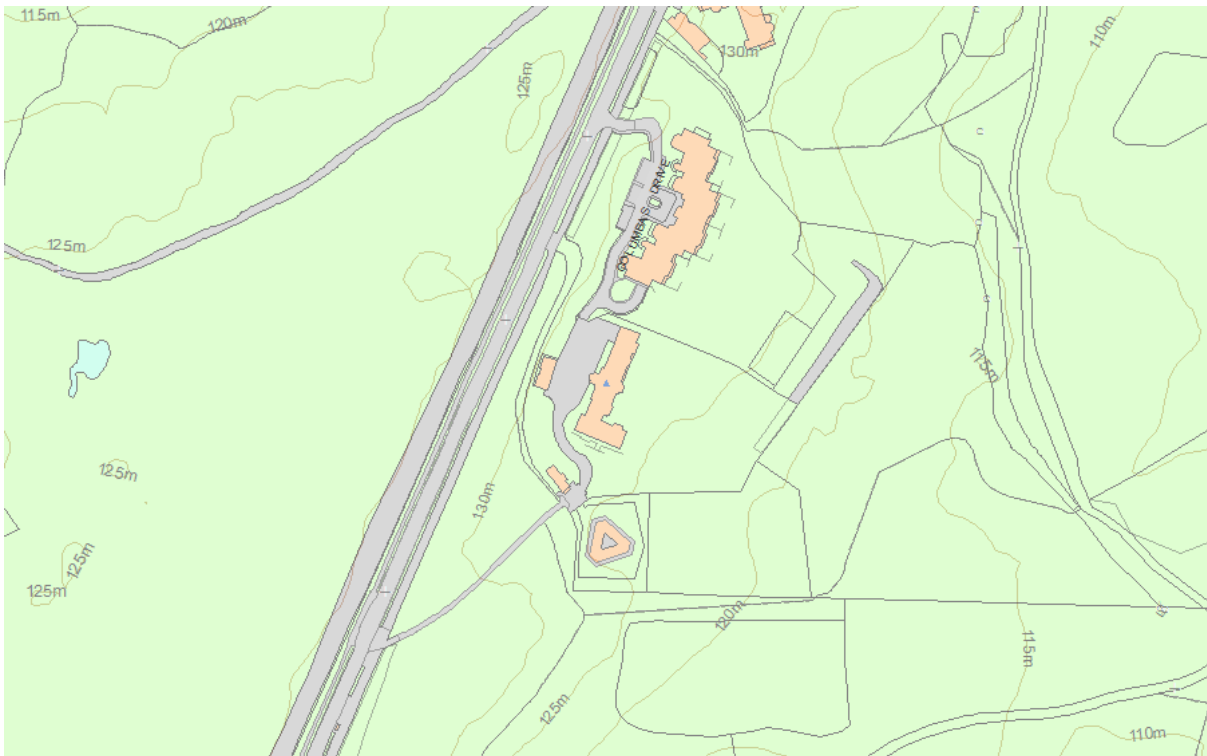




Figure 2 Site Plan and boundary



emapsite™

Site Details:
NW3 7JD

Client Ref: EMS_620898_827410
Report Ref: EMS_620898_827410
Grid Ref: 526563, 186926

Map Name: National Grid
Map date: 2001
Scale: 1:10,000
Printed at: 1:10,000

2001

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Production date: 13 July 2020
Map legend available at: www.groundsure.com/cs/defaut/files/groundsure_legend.pdf

5. HERITAGE APPRAISAL

Conservation area: Hampstead

Historic summary

The main history of the house is covered by our Heritage Statement. The D&A statement will cover the current house analysis as a background context for the proposals.

The Elms is a large, detached house set within substantial gardens, dating to c1875, built in the eclectic picturesque style of George Devey. The house is part of a wider site, divided into two after 1987.

The historic building is long with 3 main projecting vertical bays, emphasised by “Dutch Gables” which are replicated on the rear elevation. The gables give a defining characteristic to the building, and they were replicated on the later additions in C20. A charming octagonal corner tower with a bell-shaped roof is punctuating the South end of the building, announcing the house from the main original driveway, which has historic ornamental gates and piers. The building is constructed in red brick with terracotta decorative dressings, deep cornices and Welsh slate roof. The house is orientated South-West to North-East, with the rear facing the Heath. The main entrance is in a central bay with a further semi-circular colonnade defining an accent.

There are two C20 extensions; one at the south and another at the north extremes.

The main site was home to St Columba’s hospital in 1957 and was later owned by Woolworths heiress Barbara Hutton. In 1981, it was sold to the president of the United Arab Emirates, but it remained unoccupied and, in 1987, was sold to developers. Subsequently the grounds were subdivided into two and a large block of flats was built to the north of the listed building. The gardens to the rear of the Elms were used as a building yard during the building works and were entirely relandscaped by the present owner.

Historic images show much larger extensions which were demolished and rebuilt after 1998.



Figure 3- Historic image from 1930

TQ2686NE SPANIARD'S ROAD 798-1/9/1490 (East side) 10/04/81 St Columba's Hospital

Formerly known as: **The Elms SPANIARD'S ROAD**. Detached house. c1875, probably enclosing an earlier building on the site itself of two periods but of which no trace is now visible internally. Red brick with terracotta dressings and Welsh slate roof. Free style, with details and several shaped gables in the style of George Devey. Long irregular 2-storey range having 3 projecting gabled sections and a tower at the south end. C20 north extensions.

INTERIOR: not inspected but noted to retain a large reception room of 2 storey height with carved oak panelling of great richness and individuality, French Renaissance style, a large carved chimney piece and a frieze and ceiling with grotesque grille panels. A full height bay window faces a viewing gallery at 1st floor level above the entrance. Another small room is fitted with C18 style panelling and ceiling plasterwork. A larger saloon has flat Adam style decoration. Traces of woodwork and carving similar to the first room and Jacobean style doors and architraves in the hall and other rooms; also a staircase and stairwell in Jacobean style. Room north of main saloon has damaged decorated ceiling concealed by slung modern ceiling. Former matron's office; altered by partition etc., has good ceiling, fireplace and panelling. Upstairs refurbishment in 1930s has introduced some woodworks and bathroom fittings in Art Deco style.

HISTORICAL NOTE: the house was owned 1894-1908 by Sir Joseph Joel Duveen, art dealer and collector, who had it richly embellished in the 1890s, possibly employing Colcutt, who had also worked in his West End showrooms as decorator. It stands on the site of Mother Huff's Tea Gardens which flourished here for 50 years from 1678.

Listing NGR: TQ2656586936

Legacy The contents of this record have been generated from a legacy data system.

Legacy System number: 478148

Legacy System: LBS

Legal This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Architect

The original architect of the house in the older format, prior to 1894, was most probably **George Devey**, a very fashionable architect for the wealthy country clientele.

With a shy personality, he avoided publicity, this resulting with the history overlooking his influence. He was very fond of emulating older styles of architecture, extracting the essence of authentic detailing, creating the illusion of genuine antiquity. This became an inspiration for the future architects who study under him, his legacy followed by R.N. Shaw and Charles Voysey who became the founder members of the Arts and Crafts movement.

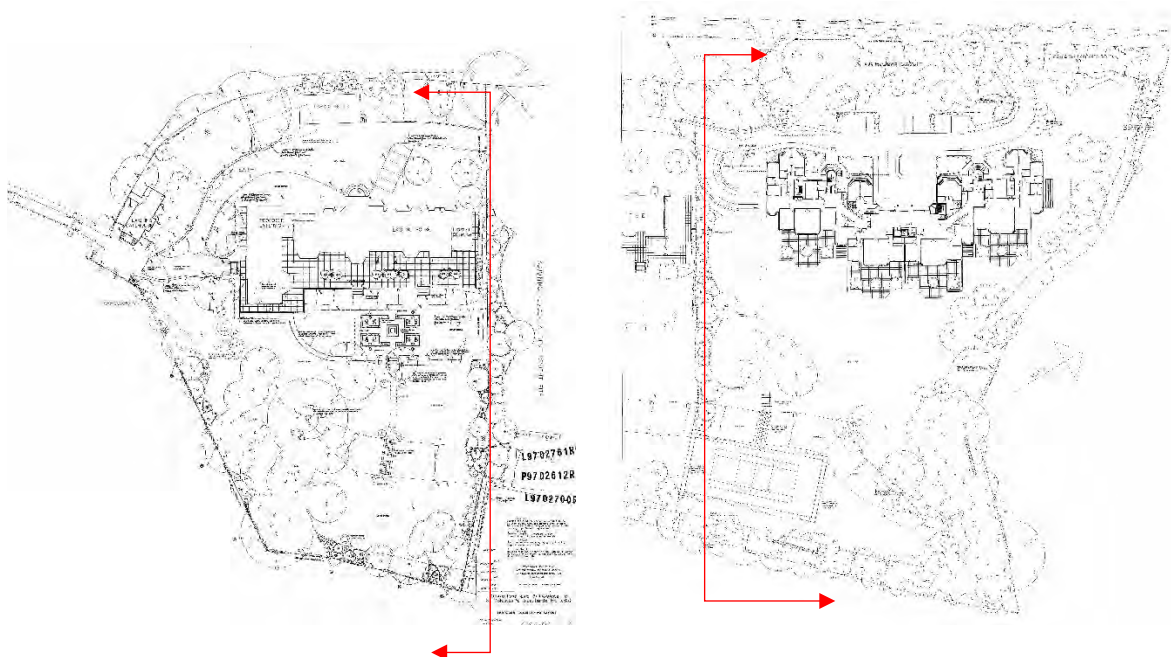


RIBAPIX REF NO	RIBA5833
ARCHITECT/DESIGNER	Devey, George (1820-1886)
IMAGE DATE	1880
VIEW	Portrait
MEDIUM	Photoprint
LIBRARY REFERENCE	Portraits
ORIENTATION	Portrait
COLOUR / B&W	Black and white
CREDIT	RIBA Collections

SUBJECT TAGS

Architects

Figure 4 George Devey - Image Copyright to RIBA



The Site plans are showing the separation of the sites, from the planning application W9702612R1.

From 1996, the footprint of the house was established as the current configuration.

6. PLANNING HISTORY

The most relevant planning history:

P9570050 - Listed Building Consent dated 25.3.97 for demolition of the north wing and south prefabricated extension on the former hospital building and all the former hospital outbuildings other than the gatehouse. Erection of a new north and south extension to the former hospital building and internal refurbishment of the hospital building and gatehouse.

P9602559R1- Planning permission dated 13.12.96 for Erection of new north and south extensions to the listed former hospital building and a change of use to a single family dwelling; erection of two-storey building with two flats above garages; and relocation of vehicular access from Spaniards Road with associated landscaping.

The full planning history:

<u>PW9702612R1</u>	The Elms, St. Columbas, Spaniards Road, NW3	Submission of details pursuant to additional condition 3(a-g inclusive) of planning permission granted 13.12.96 (P9602559R1) of: (a) South extension and glazed link to house (b) North kitchen extension (c) New garage and staff block (e) Hard and soft landscape, including details of planting of existing vehicular access and planting along route of new vehicular access (f) Boundary walls, fences and gates (g) Details of design for the vehicular means of access to Spaniards Road. As shown on Drawing Numbers:473: 01D, 02, 03, 04, 05, 20B, 21D, 22B, 23B, 25, 26, 27, 28, 80A, HDC/366A/CO1C, 457:07G.	FINAL DECISION	24-12-1997	Grant Approval of details
<u>LW9702761R1</u>	The Elms, St. Columbas, Spaniards Road, NW3	Submission of details pursuant to additional conditions 3(a-d), 3(h-i) of Listed Building Consent dated 25.3.97 (9570050), of: (a) South extension (b) North extension (c) New garage (d) Specification of repair work to listed building (h) Hard and soft landscaping (i) Boundary walls and fences As shown on Drawing Numbers:473: 01D, 02, 03, 04, 05, 20, 21B, 22, 25, 26, 28, 80A, Structural Survey.	FINAL DECISION	24-12-1997	Grant Approval of Details (Listed Bldg)
<u>LW9702700R1</u>	The Elms, St. Columbas, Spaniards Road, NW3	Submission of details pursuant to additional conditions 3(e,f,g,j) of listed building consent dated 25.3.97 (9570050), of: (e) New joinery including windows and doors (f) Rooflights (g) Chimney pots which are to be reinstated on all stacks (j) Internal alterations to comply with building regulations As shown on Drawing Numbers:473:20B, 21D, 22B, 23B, 24A, 25A, 26A, 27A, 28A, 29-37 inclusive, 38A, 39A, 40, 41, 47, 48, 49, 50A, chimney catalogue.	FINAL DECISION	24-12-1997	Grant Approval of Details (Listed Bldg)
<u>LW9702613</u>	The Elms, St. Columbas, Spaniards Road, NW3	Submission of details pursuant to additional conditions 3(e,f,g,j) of listed building consent dated 25.3.97 (9570050), of: (e) New joinery including windows and doors (f) Rooflights (g) Chimney pots which are to be reinstated on all stacks (j) Internal alterations to comply with building regulations As shown on Drawing Numbers: 473: 20B, 21D, 22B, 23B, 24A, 25A, 26A, 27A, 28A, 29-37 inclusive, 38A, 39A, 40, 41, 47, 48, 49, 50A, chimney catalogue.	APPEAL DECIDED	24-09-1997	Approve (subject to Appeal decision)
<u>LW9702468</u>	The Elms, St. Columbas, Spaniards	Submission of details pursuant to additional conditions 3(a-d), 3(h-i) of Listed Building Consent dated 25.3.97 (9570050), of: (a) South extension (b) North extension (c) New garage (d) Specification of repair work to listed	FINAL DECISION	24-09-1997	Approve (subject to Appeal decision)

	Road, NW3	building (h) Hard and soft landscaping (i) Boundary walls and fences As shown on Drawing Numbers: 473: 01D, 02, 03, 04, 05, 20, 21B, 22, 25, 26, 28, 80A, Structural Survey.			
9401276R1	The Elms St Columbas Spaniards Road NW8	Approval of details of external elevations and roof design pursuant to additional condition 01 of the planning permission dated 18th August 1989 (PL/8804025 R3) for the erection of a part 3, part 4 storey building to provide 14 residential flats. as shown on drawing numbers> 457: 10C, 11B, 12B, 13B, 14A, 15 and 16B.	FINAL DECISION	14-11-1996	Grant Approval of details
8470171	The Elms Spaniards Road NW3	Erection of a kitchen rubbish store as shown on drawings Nos.2202/23 & 82.	FINAL DECISION	05-07-1984	Grant List.Build. or Cons.Area Consent
8401132	The Elms Spaniards Road NW3	Erection of a kitchen rubbish store as shown on drawings Nos.2202/23 & 82.	FINAL DECISION	05-07-1984	Grant Full or Outline Planning Permissn.
8400955	The Elms Spaniards Road NW3	Erection of a "Ladies House" (as specified in planning permission dated 1st June 1984 (Regd.No.37217) without the construction of the underground car park and the laying out of surface car parking at The Elms as shown on drawings Nos.2202/SK24D 35 36 37 38 39 40 & 41.	FINAL DECISION	06-06-1984	Grant Full or Outline Perm. with Condit.
8470147	The Elms Spaniards Road NW3	Erection of a "Ladies House" (as specified in planning permission dated 1st June 1984 (Regd.No.37217) without the construction of the underground car park and the laying out of surface car parking at the Elms as shown on drawings Nos.2202/24D 35 36 37 38 39 40 & 41.	FINAL DECISION	01-06-1984	Grant List.Build. or Cons.Area Consent
8470029	The Elms Spaniards Road NW3	Alterations and demolitions associated with the erection of a kitchen block and ladies house as shown on drawing Nos.2202/SK15 16 17 18 19 20 24 25 26 27 and 29.	FINAL DECISION	19-03-1984	Grant List.Build. or Cons.Area Consent

Earlier planning applications history from 1984 by HH S. Z. Bin Sultan Al Nahyan who used the house only occasionally: *Erection of a "Ladies House" (as specified in planning permission dated 1st June 1984 (Regd.No.37217) without the construction of the underground car park and the laying out of surface car parking at The Elms.*



Figure 5 - Current owner found the original drawing for the proposed Ladies House and very large North end bay extension

Note: Those drawings are not accessible online.

As the site was subdivided by a developer into two parts, in 1997, the combined list of applications expands to include works related to the flats of the adjacent part of the property.

The most relevant older applications are P9602559R1 and PW9702612R1 from 1996-97, when the site was split into two parts: one new development for flats and the main historic building kept as an individual house.

P9602559R1 *Erection of new north and south extensions to the listed former hospital building and a change of use to a single family dwelling; erection of two-storey building with two flats above garages; and relocation of vehicular access from Spaniards Road with associated landscaping, as shown on drawings.*

PW9702612R1 *Submission of details pursuant to additional condition 3(a-g inclusive) of planning permission granted 13.12.96 (P9602559R1) of: (a) South extension and glazed link to house (b) North kitchen extension (c) New garage and staff block (e) Hard and soft landscape, including details of planting of existing vehicular access and planting along route of new vehicular access (f) Boundary walls, fences and gates (g) Details of design for the vehicular means of access to Spaniards Road.*

Most planning applications from the later years search relate to the flats of the development from the plot adjacent or to trees, therefore not of immediate relevance to our new application.

13/2011/NEW	Site ref 25027 The Spaniards Inn Hampstead London NW3 7JD	adding to 1 no AC Link Cabinet on the existing telecommunications equipment at the above location	WITHDRAWN --	Withdrawn Decision
2019/3488/T	The Elms Columbas Drive London NW3 7JD	REAR GARDEN: 1 x Caucasian Wingnut (T1) - Fell to ground level.	FINAL DECISION	10-07-2019 No Objection to Works to Tree(s) in CA

2017/5880/T	1 Columbas Drive London NW3 7JD	WITHIN GROUNDS: Group of Poplars & Oaks - Prune back lateral overhang to tennis courts by up to 2m	FINAL DECISION	25-10-2017	No Objection to Works to Tree(s) in CA
2015/5522/T	1 Columbas Drive Spaniards Road London NW3 7JD	WITHIN GROUNDS: 7 x Sycamores - Fell to ground	FINAL DECISION	30-09-2015	No Objection to Emergency Works (CA)
2015/5521/T	1 Columbas Drive Spaniards Road London NW3 7JD	WITHIN GROUNDS: 9 x Sycamores - Thin crowns by 20%	FINAL DECISION	30-09-2015	No Objection to Works to Tree(s) in CA
2014/5024/T	The Elms Columbas Drive London NW3 7JD	WITHIN THE GROUNDS : 1 x Willow - Fell to ground level. 1 x Oak - Pollard approx. 6ft above main crown. 1 x Ash & 1 x Sycamore - Cut in to clear tennis court by 2m. 1 x Silver Birch - Fell to ground level. 2 x Holly - Fell leaning stem to ground level. 1 x Poplar - Remove dangerous limb over the tennis court.	FINAL DECISION	04-08-2014	No Objection to Works to Tree(s) in CA
2013/5259/P	Pavement Outside Mount Tyndal Spaniards Road London NW3 7JD	Installation of 1 x telecommunication cabinet on public footway.	FINAL DECISION	10-09-2013	Prior Approval Required - Approval Given
2011/2244/T	The Elms Columbas Drive London NW3 7JD	WITHIN THE GROUNDS: 2 x Lime - Reduce to previous reduction points (approx. 35%). Removed snapped branch and deadwood. 2 x Holly - Reduce height head by 2m approx. 1 x Pear - Remove vertical limb to main trunk. 2 x Oak - Reduce vertical laterals by 2m to clear lawn area. Deadwood. 1 x Oak - Remove dead limb. Row of Holm Oak - Head in 0.5m approx.	FINAL DECISION	17-05-2011	No Objection to Works to Tree(s) in CA
2009/2376/P	1 Columbas Drive Spaniards Road London NW3 7JD	Installation of window at ground floor level on south-west elevation of building for Flat 1 (Class C3).	FINAL DECISION	15-06-2009	Granted
2007/0817/T	1 Columbas Drive, London, NW3 7JD	DDD - BEHIND THE FAIRY COTTAGE: 1 x Silver Birch - Cut entire tree to ground level and poison stump. BEHIND THE TENNIS COURT: 1 x Poplar - Cut entire tree to ground level and poison stump - DDD.	FINAL DECISION	21-02-2007	No Objection to Emergency Works (CA)
2007/0805/T	1 Columbas Drive, London, NW3 7JD	REAR GARDEN, IN FRONT OF THE FAIRY COTTAGE: 2 x Silver Birch (large) - Fell. 1 x Silver Birch - Cut entire tree to ground level and poison stump. FRONT GARDEN, ALONG THE FRONT BOUNDARY WITH SPANIARDS ROAD: All Trees - Crown lift over the footpath to a height of 2.5m and road to	FINAL DECISION	20-02-2007	No Objection to Works to Tree(s) in CA

a height of 5m. LEFT HAND SIDE OF MAIN ENTRANCE: 2 x Sycamore - Cut entire tree to ground level and poison stump. 1 x Holly (leaning over Spaniards Road) - Crown reduce height by 20%. 1 x Beech (large) & 1 x Lime - Severe the Ivy at the base and remove the first 60cm to allow proper inspection of the base. 1 x Twin Stem Sycamore (large) - Crown reduce height and spread by 25%. Remove deadwood. Remove Ivy. Remove basal growth and small saplings at the base. 1 x Beech - Reduce large limb growing to the North by 20%. Remove deadwood. Thin throughout the crown by 15%. RIGHT HAND SIDE OF THE MAIN ENTRANCE: 1 x Sycamore (leaning over Spaniards Road) - Remove deadwood. Crown lift over the road to a height of 7m from ground level. BENCH AREA: Sycamores - Crown lift to a height of 6m from ground level. Remove deadwood. 1 x Maple - Cut entire tree to ground level and poison stump.

2003/0897/T	1 Columbas Drive London NW3 7JD	FRONT GARDEN 1 x Beech - fell.	FINAL DECISION	18-06-2003	No Objection to Emergency Works (CA)
PWX0202765	THE ELMS COLUMBAS DRIVE SPANIARDS ROAD LONDON NW3 7JD	Approval of details of retaining wall and balustrading of the rear terrace pursuant to additional condition 1 attached to the planning permission granted on 08/07/02 (ref: PWX0202008) for the erection of tennis pavilion and tennis court with associated wall and fences at rear of garden, formation of raised terrace, retaining wall and steps at rear of house and associated hard and soft landscaping works. As shown on drawing numbers 378(C)301 Rev C, 302 Rev C, 303 Rev C, 307 Rev C, 308 Rev C, & 320 Rev C	FINAL DECISION	22-08-2002	Grant Approval of Details (conditions)
PWX0202008	THE ELMS COLUMBAS DRIVE SPANIARDS ROAD LONDON NW3 7JD	Erection of tennis pavilion and tennis court with associated wall and fences at rear of garden, formation of raised terrace, retaining wall and steps at rear of house, and associated hard and soft landscaping works. As shown on drawing numbers: Location plan, 1201x; 378(T) 310C, 311C, 312C, 313C; DBG-37/05F, 6, 7, 8C, 9A, 10A, 11A, 12A, 13A, 20, 21, 22, 26A, & 29A; Tree Protection Method Statement dated December 2001 and letter from shh dated 24.05.02	FINAL DECISION	24-05-2002	Grant Full Planning Permission (conds)

LWX0202102	THE ELMS COLUMBAS DRIVE SPANIARDS ROAD LONDON NW3 7JD	Erection of tennis pavilion and tennis court with associated wall and fences at rear of garden, formation of raised terrace, retaining wall and steps at rear of house, and associated hard and soft landscaping works. As shown on drawing numbers: Location plan, 1201x; 378(T)310C, 311C; 312C, 313C; DBG-37/5F, 6, 7, 8C, 9A, 10A, 11A, 12A, 13A, 20, 21, 22, 26A, 29A; Tree Protection Method Statement dated December 2001, and letter from SHH dated 24.5.02	FINAL DECISION	24- 05- 2002	Grant L B Consent with Conditions
TCX0206117	THE ELMS COLUMBAS DRIVE SPANIARDS ROAD LONDON NW3 7JD	Various works to a number of trees at the above site.	FINAL DECISION	05- 02- 2002	Works agreed by default
PWX0103677	THE ELMS COLUMBAS DRIVE SPANIARDS ROAD LONDON NW3 7JD	Erection of 2 storey staircase extension on south-west side. As shown on drawing no. location plan, 1.AE270-2, 2.AE270-2, 3.AE270.2, 4.AE270-1, 5.AE270, 6.AE270-1AND 12001X/2.	FINAL DECISION	04- 10- 2001	Grant Full Planning Permission (conds)
LWX0103678	THE ELMS COLUMBAS DRIVE SPANIARDS ROAD LONDON NW3 7JD	Erection of 2 storey staircase extension on south-west side. As shown on drawing no. location plan, 1.AE270-2, 2.AE270-2, 3.AE270-2, 4.AE270-1, 5.AE270, 6AE270-1 and 12001X/2.	FINAL DECISION	04- 10- 2001	Grant L B Consent with Conditions
PWX0103366	FLAT 14 1 COLUMBAS DRIVE SPANIARDS ROAD LONDON NW3 7JD	Erection of corner mansard roof extension with two dormer windows at rear of third floor flat. As shown on drawing numbers E.01, 2, 3, P.01, 2 and 3.	FINAL DECISION	23- 04- 2001	Grant Full Planning Permission (conds)
PWX0103223	1 COLUMBAS DRIVE SPANIARDS ROAD LONDON NW3 7JD	Erection of corner mansard roof extension with 2 dormer windows at rear of 3rd floor flat. As shown on drawing numbers: 9070.P.1,2,3; 9070.1,2; B-00.	FINAL DECISION	27- 03- 2001	Grant Full Planning Permission (cond)
PWX0002644	COLUMBAS DRIVE SPANIARDS ROAD LONDON NW3 7JD	Enlargement of existing sun room at roof level, As shown on drawing numbers; B01, B02, B03, B04 and B05.	FINAL DECISION	19- 09- 2000	Grant Full Planning Permission (conds)

PWX0002643	FLAT 14 COLUMBAS DRIVE SPANIARDS ROAD LONDON NW3 7JD	Enlargement of existing sun room at roof level, As shown on drawing numbers; 3-13, B14, B11A, B12A and B15.	FINAL DECISION	19- 09- 2000	Grant Full Planning Permission (conds)
TCX0006320	COLUMBAS DRIVE SPANIARDS ROAD LONDON NW3 7JD	Various works to trees on site.	FINAL DECISION	06- 04- 2000	No objection to works- TCA-Council spec

From this batch of applications only two applications relate to The Elms, the link new building between the older part of the house and the swimming pool/ gymnasium in 2001 and a new landscaped terrace at the rear of the property in 2002. The main application was [PWX0103677](#).

LWX0103678	THE ELMS COLUMBAS DRIVE SPANIARDS ROAD LONDON NW3 7JD	Erection of 2 storey staircase extension on south-west side. As shown on drawing no. location plan, 1.AE270-2, 2.AE270-2, 3.AE270-2, 4.AE270-1, 5.AE270, 6AE270-1 and 12001X/2.	FINAL DECISION		
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PWX0202765	THE ELMS COLUMBAS DRIVE SPANIARDS ROAD LONDON NW3 7JD	Approval of details of retaining wall and balustrading of the rear terrace pursuant to additional condition 1 attached to the planning permission granted on 08/07/02 (ref: PWX020 2008) for the erection of tennis pavilion and tennis court with associated wall and fences at rear of garden, formation of raised terrace, retaining wall and steps at rear of house and associated hard and soft landscaping works. As shown on drawing numbers 378(C)301 Rev C, 302 Rev C, 303 Rev C, 307 Rev C, 308 Rev C, & 320 Rev C	FINAL DECISION	22- 08- 2002	Grant Approval of Details (condition
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Hard landscaping, the rear terrace balustrading, as built in 2002.



This was the last project undertaken by the current owner, apart from various tree works.

The soft landscape was designed by “Del Buono Gazerwitz Landscape Architecture”.

The details of the hard landscape are taken as a benchmark for the next stage to be described by our new planning application, relating to the integration of the external pool into the existing hard landscape.



The wider garden connecting the terraces to the lower garden towards the Heath.



The Sun Terrace where the external pool is proposed.



The views from the sun terrace.

7. IMAGES OF THE EXISTING - Exterior

From the main original gates and the driveway, the first part of the building visible is the South-West side of the swimming pool building and the landscape around it. This was the addition created in 1998, built sympathetically to the original main building, on the overall feel of match in style and colour scheme, although a different type of bricks, brick bond, joint size and mortar type. The three gables defining this extension are an accurate replica of the existing gables, defining the dominant character of the building, a Dutch flavour.



The side elevation has a long blank brick wall with an accent entrance on the axis, marked by a Dutch style gable. The pitched roof replicates that on the main building, in matching Welsh slate. Walking along towards the main entrance, the turret and the main building come into focus. In the 1930's old photo a pavilion was seen in this location, pointing at the historic justification for the extension.



The front North-West elevation presents a very well-preserved original building which is two storeys high with accents of 3 storeys in the centre and the ends. The Dutch gables define the taller parts of the building, creating symmetry around the front entrance, while introducing a dynamic with the verticality and the rhythm, wrapping around the corner. To the right side of the composition, a turret introduces a corner accent, an element of dynamism which takes the viewer to the side of the building.

The turret defines the original footprint of the building, with a strong corner creating a landmark. From this point, the building was extended laterally in 1998 with a volume perpendicular to the main building and a ground floor articulation with intricate glazing, forming a loggia corridor link to the new swimming pool extension. The glazing of the articulation and that of the swimming pool was directly inspired from the original windows, which are very distinct, influenced by Jacobean style windows with leaded geometric pattern panes.

The vertical bay windows subdivide and break the horizontality while the chimneys extend the verticality, punctuating the ridge articulations. The projecting cornice wraps around the building, defining the horizontality.

The whole composition is slightly asymmetrical, emanating the distinct intention of George Devey (1820-86) of conveying a dialogue between the Picturesque and the Medieval feel, keeping the scale domestic while creating grandeur, carefully related to the natural settings, a distinct contribution defining the English Architecture of the 19th Century.

It is delightful to see this building so well preserved and all the additions beautifully amalgamated. Our proposal is based on this concept of preserving the feel of authenticity while expanding further by introducing new elements of carefully integrated, technologically advanced, bespoke new components, in keeping with the organic growth of a medieval composition, responding to the natural surroundings, connecting the inside to the outside.



Figure 6 - Main Entrance, front elevation



The Picturesque juxtaposition of styles, create a sense of historic continuity.

The front entrance, on the North-West elevation, is marked by the intricately Dutch gable, in red brick with curved stone coping profile. The main entrance seems to have been added as a lodgia but is part of the original composition. It is a cylindrical drum in white stucco with new classic colonnade elements with a crown parapet, creating a feel of importance but keeping to the scale of a country house. The symmetry of the central bay continues vertically with a projecting bay window with curved sided and lead pitched mini lean-to roof. These are the only circular elements in the whole composition of the front elevation, taken to the corner where the octagonal turret creates the transition with the side elevation, as well as creating a landmark element, like an observation tower enjoying the far reaching views from the top of the hill.



The turret articulates the front elevation with the side elevation, creating a visually strong corner which can be seen from the original gates into the site. The covered loggia below the tower connects the house at ground level with the swimming pool. The staircase behind the turret is a new extension, resolving the fire exit at that South end of the house. It also connects the first floor master bedroom directly to the swimming pool area, at ground level. Our proposal is to improve that connection and achieve an access closer to the first floor level, at half landing, leading directly into the new gym and the newly formed roof terrace.



The extension cornice replicates the original on the first floor. The “colonnade” provides a visual stylistic continuation with the pilasters as seen on the front entrance “drum”. The single clear glazing is set in timber frames similar to the original frames of the windows on the ground floor but without leaded panels, defining the distinction between old and new.





The South extension built in 1998 is accommodating the swimming pool house, the changing rooms and the gym.

The end of the terrace has a fountain trough which will define the end of the proposed outdoors pool.

The retaining wall will be adapted to include the new outdoors inner pool shell.



These images show the garden end gable of the swimming pool with a side bay window connecting the swimming pool building to the higher level terrace at the rear of the house. The window frames emulate the original window frames style and subdivisions but with contemporary single glazing and timber beading. The proposal is to upgrade the glazing units to suitable double glazing.

Images of the landscape connecting the swimming pool to the terraces, leading to the main garden.



On the rear South-East elevation, the house has three dominant gables of double height bay windows and a long open loggia, all connected through the terrace with landscaped bays defined by pleached trees and tiers of topiary hedges. Stone steps and balusters define the edge of the hard landscape, leading towards the wider garden, visually connecting to the woodland beyond.





The middle double bay relates to the feel of the original first (assumed) house, with a large Jacobean style window. The room behind this window is a double height reception room with a viewing gallery on the West side. The window has panels of leaded glass in geometric pattern, which is repeated throughout the house in various but similar designs. This pattern is a source of inspiration for the kitchen extension and the glass etching.





The last bay defines the Northern end of the house, where the extension built in 1998 now houses the kitchen, at ground level.



The open loggia with the lattice Arabic ogee arches creates a transition between the inside outside space, providing shelter with an interrupted view of the garden. Each terrace bay is designed as an external room, some with water features. The bays are defined by geometrical hedges on different tier levels.



The visual connection inside – outside is the main concept on the whole rear elevation and inspiration for our proposal on improving the integration with the natural elements as well as creating a visual interest between the North and South extensions by adding the kitchen pod and by opening up the side of the swimming pool extension.





The proposal refers to the last bay, in front of the kitchen, the North side of the Eastern elevation.

8. IMAGES OF THE EXISTING – Interior

SWIMMING POOL



The existing swimming pool facing the main garden, Eastwards, towards the landscaped terraces, leading to the valley with a pond and the woodland beyond.





The ceiling to be replaced by a double curved glazed roof and the door which will be modified to become a retractable door, separating the internal from the external pools through a lock basin, which could be drained during the winter. The image shows the South facing door window bay and location of the blank wall where a new window will be added.



The side bay window visually connecting to the terrace in front of the house. This is the location for the new staircase leading to the roof terrace.

GYM



On the main elevation side, the gym with a double height room will be replaced by a family – games room. The existing window will be preserved but the new roof will have a double curved profile in section, following the Dutch gable profile, with a flat top section on the axis.

KITCHEN



Images of the existing kitchen showing the East window to be connected to the new kitchen dining room extension.

The window is to be modified by adapting the central 3 bays into an opening to link to the new kitchen extension.



The corner of the kitchen to be adapted to the new configuration dictated by the connection, joinery modified to suit.

9. EXISTING PLANS



Figure 7 - Aerial view perspective of the existing South Wing

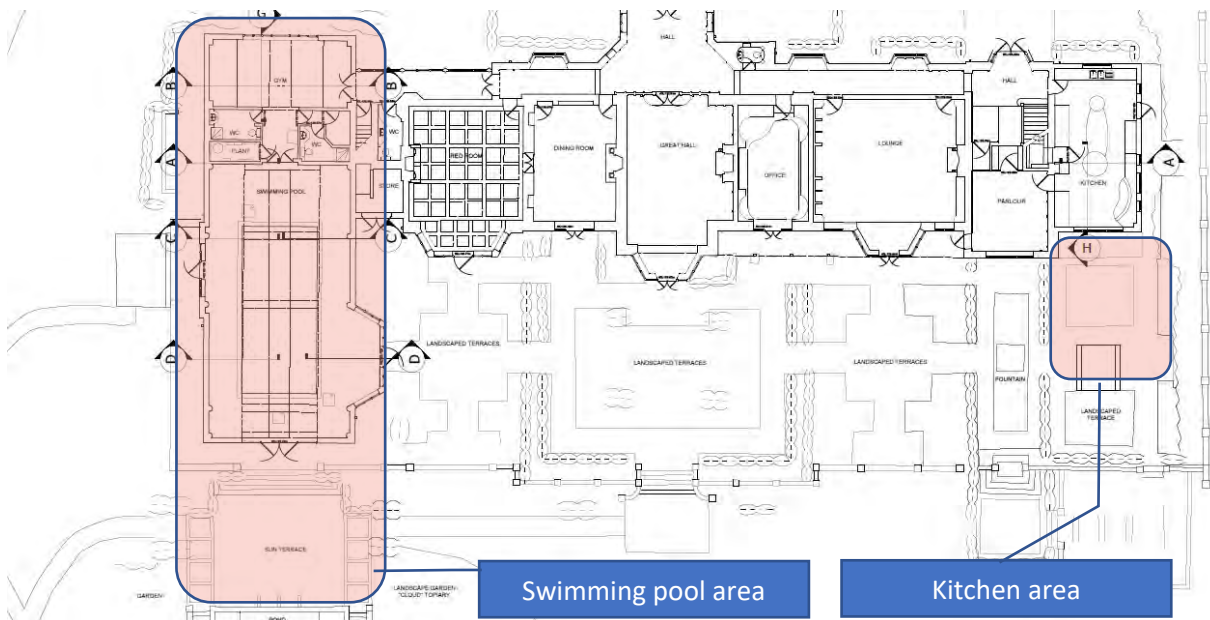


Figure 8 Existing Ground floor plan

The area showing the location of our proposal: the opposite ends of the house.

To the South the proposal is for a swimming pool refurbishment with an external swimming pool extension. To the North side the proposal is for a kitchen extension.

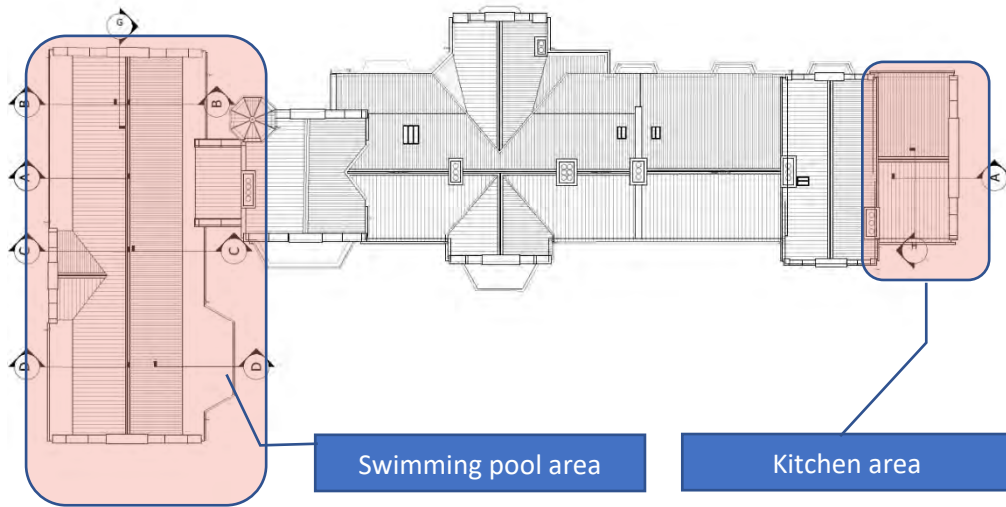


Figure 9 Existing Roof Plan



Figure 10 Existing Front and Rear elevations

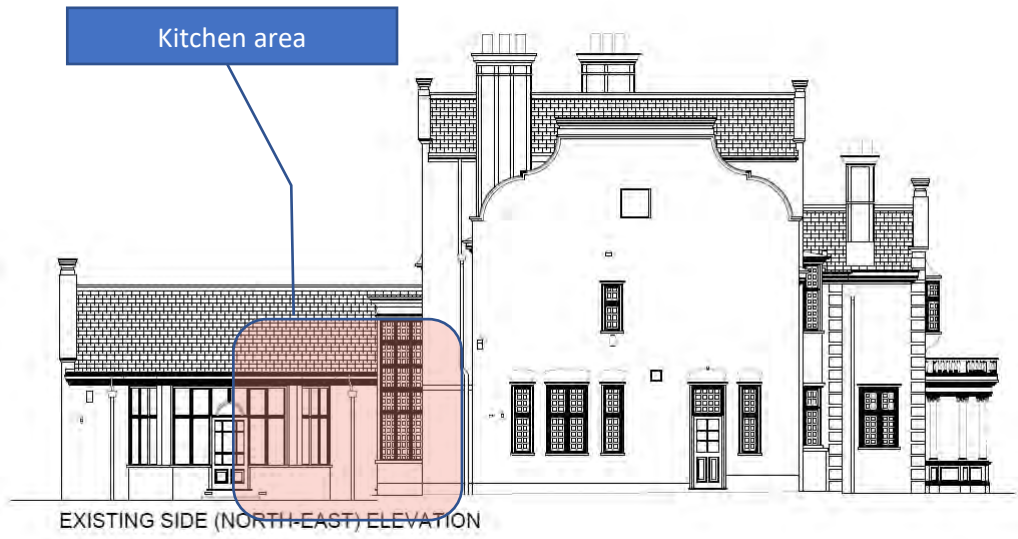


Figure 11 Side elevation - kitchen side

The two areas where the proposed interventions are located.

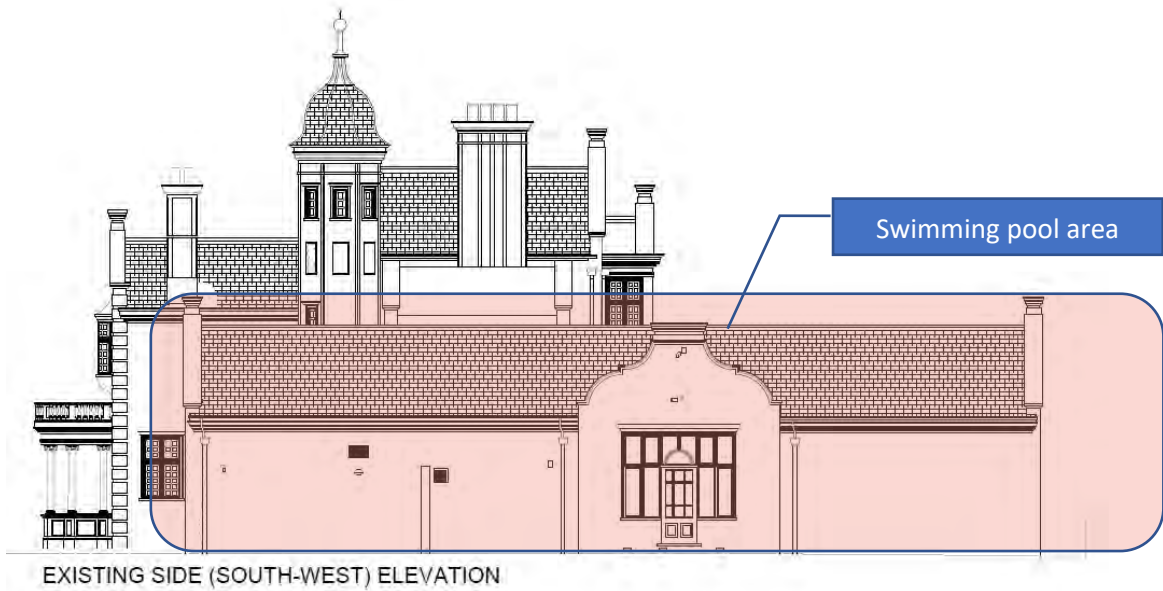
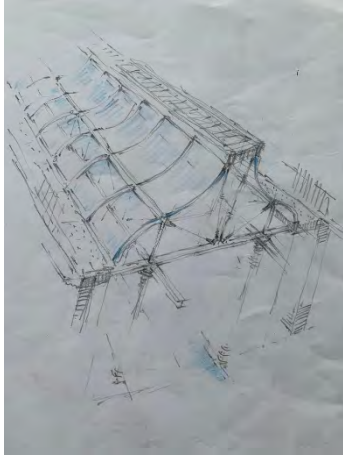


Figure 12 Side elevation - pool side

10. EARLY CONCEPTS

Exploring the best ways to adapt the existing extension building into something more uplifting, to create a better connection to the external space, bring in natural light and enjoy the sunshine in privacy, started by investigating the roof structure.

Early Swimming Pool Alterations Concepts



The early concepts explored the connection with the garden, the terraces around at ground level, introducing a terrace at roof level.

The owners of the property spent a long time absorbing how they would like to use the space and how they would make the most of the same footprint of the building. By changing the solid roof with a glazed structure, in the same feel of the Victorian spirit, when the house was built but with the advantages of the current technologies.

The swimming pool will have an outdoor extension, meeting at the point where the existing gable door is located. The door will be changed into a mechanically retractable gate, acting as lock.



The roof will be set back from the East gable, creating a gap which will be transformed into a secluded roof terrace. This will be accessed by a new internal staircase which will connect through a roof skylight. New metal balustrade will be added to the roof kerb to provide protection from falling.

The gable will be consolidated structurally.

Figure 13 - Early concept sketches by Ilan



Figure 14 - Early sketch exploring the fully glazed roof – final solution introduced a solid section of the double curved roof



Figure 15 – Early sketch by Ilan, the Gable end

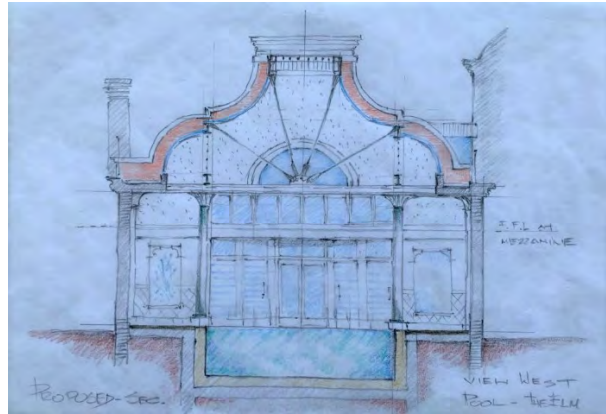


Figure 16 – Early sketch by Ilan, Section

The section of the proposed new roof relates to the double curvature of the existing Dutch style gabled profile. The new glazed roof replicates the double curvature of the gable, concave, convex, with a flat solid apex at the top. This concept superseded the earlier version with a straight sloping roof, to be seen in images Figure 20-24. The amount of glazing was adjusted further, as seen in Figures 26 and 28.

The side elevation is exploring how to achieve a roof terrace by creating a gap between the gable and the glazed roof. There are lots of technical challenges to consider but those will be explored with the proposal stages.

The early section explored the connection sideways with the house and how the glazed roof will be integrated with a new steel structure, achieving an elevating feel by finally allowing to see the sky, when swimming indoors.

The two new windows, formed either side through the current blank walls, will enhance the visual connectivity with the garden, while allowing the natural light filtering through, as well as enhancing the natural ventilation.



Figure 17 – Early Concept Sketch by Ilan, showing the new glazed roof

Earlier developed concepts explored different type of roofs and established the volumetry and the connection between existing and proposed, exploring the new quality of space to be achieved internally and the externally. Adding a new roof terrace with an access through the existing staircase, at half landing, will improve the connectivity with the master bedroom, as well as reorganising the internal functions of the South wing, were explored through a series of perspectives and drawings, discussions with the clients until the final optimum solution was agreed.

We tested the proposals through a pre-planning application with a positive response and further guidance which we followed.

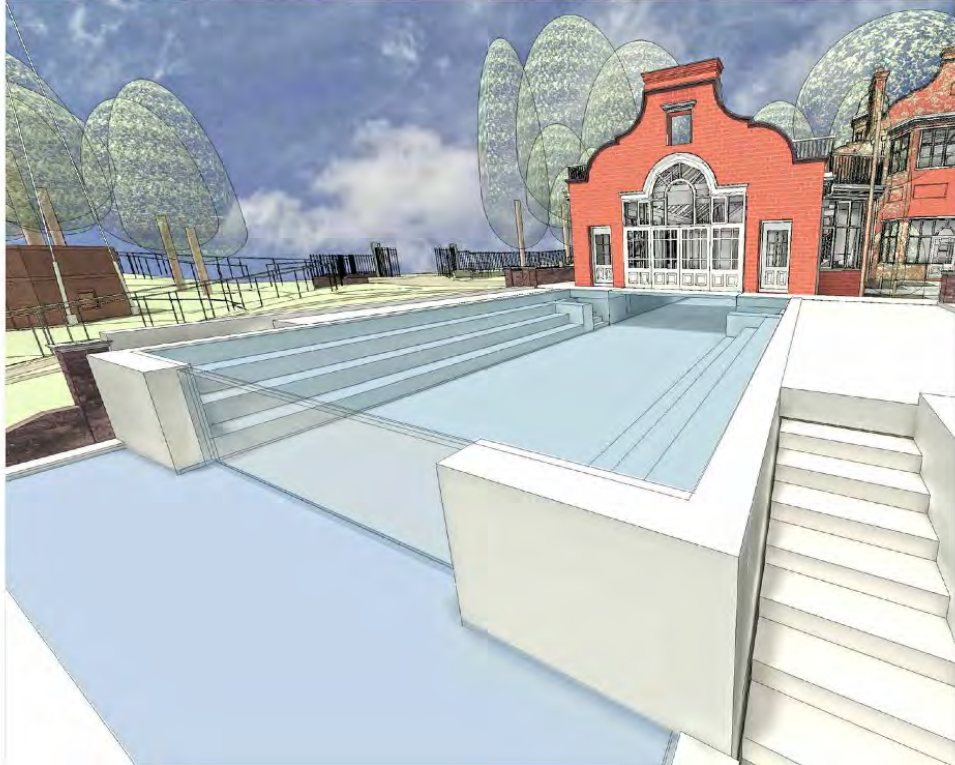


Figure 18 - External open air swimming pool, early concept.



Figure 19 – Early concept aerial view of the roof, terrace and new external pool, roof option abandoned.



Figure 20 – Early concept internal view of the new roof and connection to the external pool

By changing the type of roof from solid to glazed, the whole dynamic of the space changes. The light floods the space, creating an elevating feeling. The external pool is connected to the internal pool by an intermediary “lock” pool. The automated door (adapted from the existing) will open to trigger the lock to fill with water. This will create a longer length pool to swim without extending the building. The external pool will visually connect with the landscape, drawing the eye outdoors, taking advantage of the Southern orientation of this area, and of the existing Sun Terrace, to be adapted to suit. New side windows will be added into the currently blank walls, on either side. A new staircase will connect the pool to the terrace above.



Figure 21 – Early concept Internal view showing the "lock" gate closed



Figure 22 – Early concept Internal view towards the changing rooms and visually connecting the house

Early Kitchen Concepts

On the opposite side, at the North end of the property, the kitchen extension emerges as an oversized lantern, a delicate jewel structure, connected to the house by a glazed articulation. The idea of sitting in the garden not just on a summer evening but throughout the year, emulating the same cosiness and warmth brought by glowing light, except the space becoming the glowing light itself. This area of the garden is completely secluded and slightly gloomy being at the North end of the house and surrounded by mature trees. Exploring a new connection with the garden by introducing an element leading to the immersion into the nature, through a new glazed pod with panoramic views. References were taken from the leaded glass pattern of the main windows of the historic building. While sitting in the Great Hall, experiencing the double height glazed bay window, the idea came that a self-contained structure as such could be the kitchen extension, rather than a more traditional lean-to conservatory.

The new volume is derived from the historic elements observed around the historic building. The lantern inspiration takes the challenge to a different level, exploring the idea of sitting in the garden surrounded by lanterns only a reversed concept of sitting in the lantern!



Figure 23 - Inspiring elements

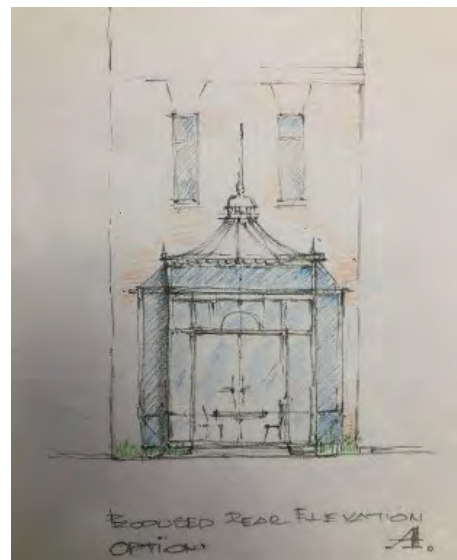


Figure 24 - Early concepts for the kitchen extension the Lantern

PROPOSED PLANS AND DESIGN APPRAISAL

The Proposal

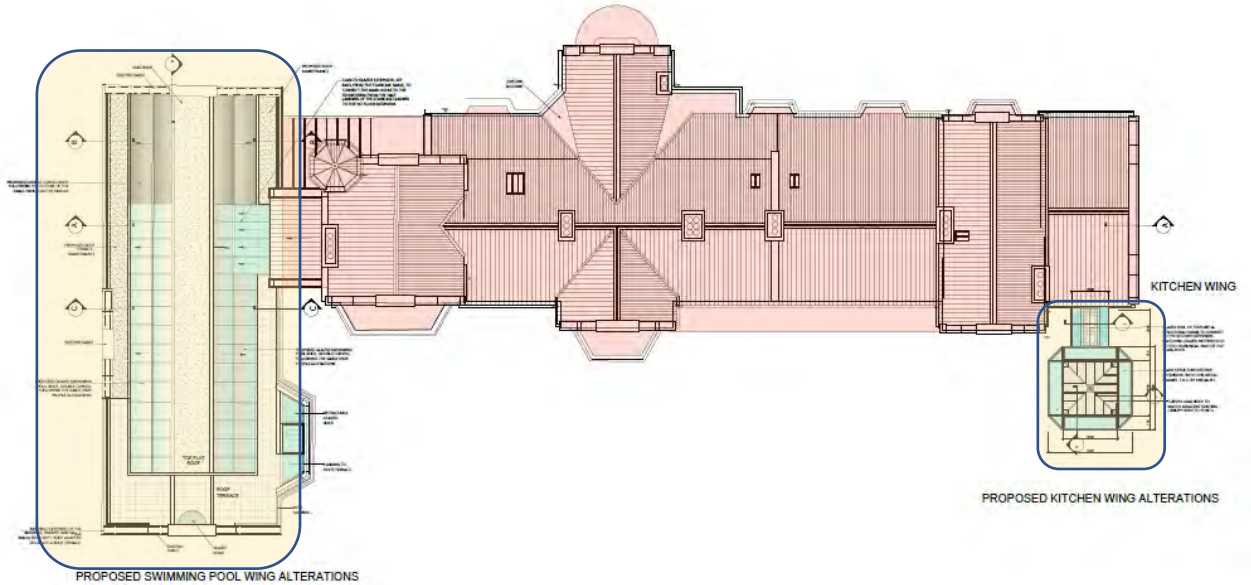


Figure 25 - Proposed Roof Plan

The proposal involves redefining the swimming pool roof at the Southern end, over the existing footprint, with an external swimming pool extension at ground level and associated landscape.

At the Northern side of the building, there is a kitchen extension proposal as a glazed structure, a transition space connecting the inside to the outside.



Figure 26 – Proposed Elevation

At the front of the house, a large playroom / lounge room will lead to the changing rooms, located either side of the axis, symmetrical small rooms at 45 degree angles, opening the perspective towards the most important element of the composition, the swimming pool, with a new colonnade supporting the glazed roof, creating visual subdivision of the space while connecting vertically with the metal roof structure with glazed curved roof sides and a flat crown. The final sectional shape of the roof design derived from the double curves of the historic gables, which will be forming the enclosure of the terrace deck. The curved roof will replace the existing slate sloping roof.

The new roof will have a glazed part over the swimming pool and the dance studio, with a leaded finish over the roof above the double high playroom. The external shape of the roof will be the same throughout while the materiality will be different, as shown on the section.

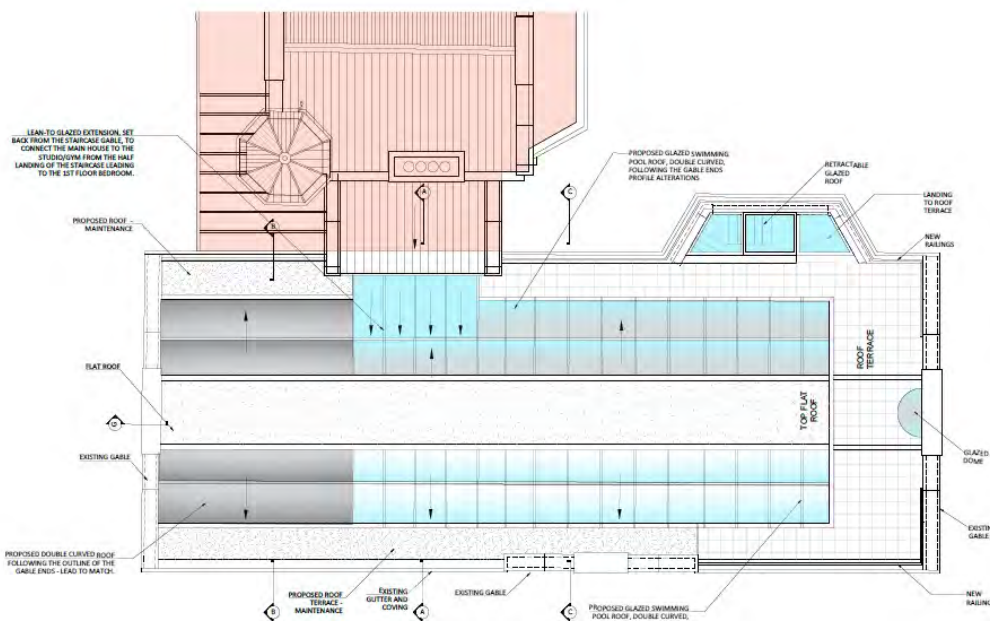


Figure 28 Proposed Roof Plan

On the first floor, behind the gable, a new roof terrace will be formed, connecting with the first floor of the main house, via a link lobby. The glazed roof over the double height space of the swimming pool is not visible from this side but from the South side elevation. The metal railings around the roof terrace on the first floor will be in keeping with the Victorian style.

From this room, double doors will lead to the pool through an intermediary space with a lower ceiling, adding visual compression. The changing rooms either side have curved walls, in plan, emphasising the perspective, leading to the double volume space of the main swimming pool.

The uplifting new double curved glazed roof will prolong the perspective by opening upwards the views to connect with the sky and the terraces at the first floor level. The large gable doors will be adapted into a retractable automatic door, a “lock” opening to reveal the external part of the pool, through a transitional lock pool, connecting the two pools when desired, through the wonders of the new integrated technology.

The external pool will be connected to the internal through a “lock” pool which will fill with water when the gate opens, by remote control. The mechanism which will resemble a lock system, will allow the two parts of the pool to be isolated, when not in use, to prevent heat loss.

The combined length of the pools will provide adequate length for swimming.

The external pool will end on an existing retaining wall with stepped edges, connecting to the surrounding sun terraces, designed to be in keeping with the existing terraces. The natural stone will be matched to achieve visual continuity and architectural integrity.

At the end of the pool, the water fountain will be adapted to maintain a dynamic connection to the garden and encourage the natural world to flourish.

Inside the swimming pool house, on the right side, the existing French doors create the connection with the garden and a further new large, proposed window will be extending the visual connectivity. To the left, there will be a spa and a new staircase with a skylight providing access to the roof terrace for sunbathing. The roof terrace is sheltered behind the gables and parapets with railings and planters, creating the privacy when enjoying the views and the sunshine. The original gables will be preserved and structurally made safe with new lateral ties, to be discussed with a structural engineer. A further window and door will be added to the side elevation, in exact matching style and size as the existing. This will improve the ventilation, the natural light, the visual connectivity with the external landscape.

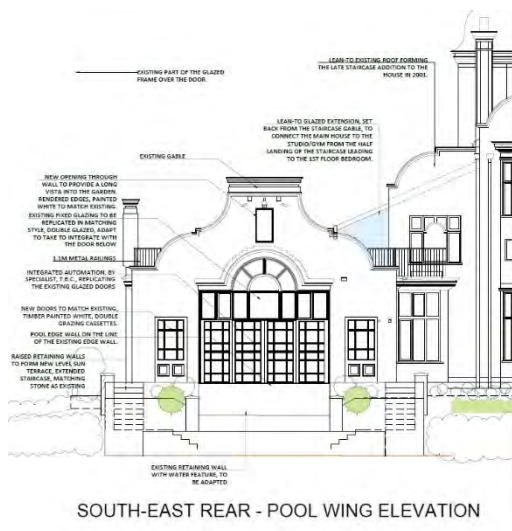


Figure 31 - Proposed South-West elevation

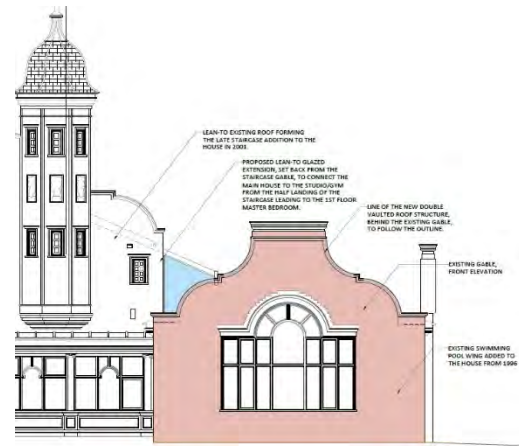


NORTH-EAST SIDE - POOL WING ELEVATION

The proposed external pool will be located on the same footprint as the existing sun terrace and will not introduce any visual obstruction, blending in with the existing landscape.



SOUTH-EAST REAR - POOL WING ELEVATION



NORTH-WEST FRONT - POOL WING ELEVATION

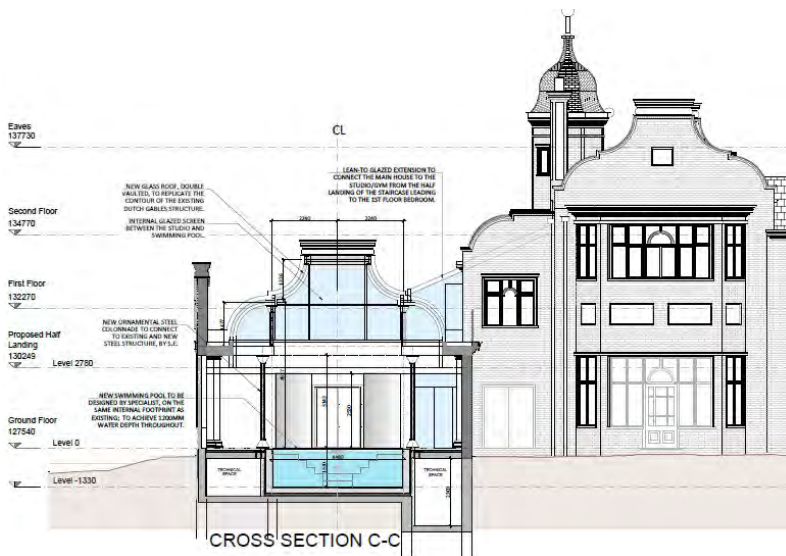


Figure 32 Proposed Sections through the swimming pool

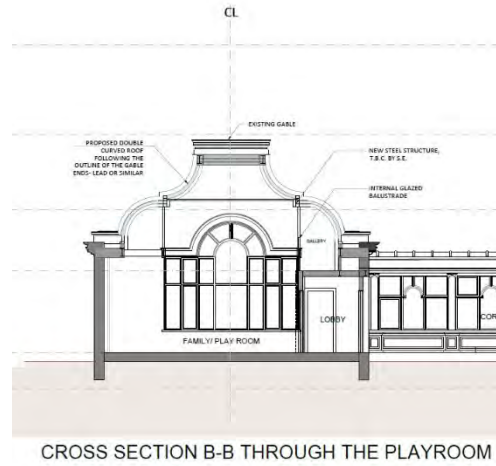
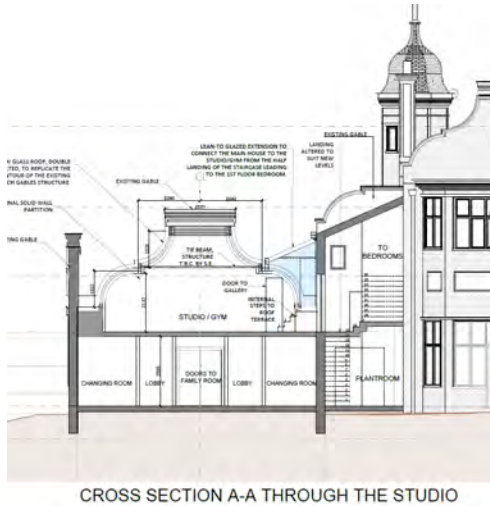


Figure 33 – Concept version swimming pool proposal, infinity feature to be removed

The Kitchen Extension

The North wing, the Kitchen bay is a modern addition, therefore, the formation of the new opening within the existing window will not result in the loss of historic fabric. Due to the translucent nature of the proposed glazed pod, the views of the rear elevation will not be obscured. Overall, the extension is proportionate to the rear elevation and is deemed to preserve the historic and architectural interests of the Elms.

The glazed kitchen pavilion makes the transition of spaces from inside expanding outside, like a tea pavilion, a place of contemplation and connection with the nature, through the landscaped garden, with panoramic views towards the wider landscape. Inspired by a garden lantern and extrapolating the feel from the double bay window in the main house with the delicate geometric leaded windows, the lantern pavilion is the next level, providing a deeper immersion into a glazed space, a sculptural element with direct references to the fenestration of the historic building.



Figure 34 - Early Concept 3D model of the proposed Lantern Kitchen extension

The lantern look form is explored in the context of the house and the garden. Extending the internal kitchen outwards to create a dining area, achieving an internal space with an external feel, becoming a beacon of light in the garden.

The volume and proportions relate directly to the historic proportions of the house, redefining the North end of the house by helping rotate the view back towards the house and the landscaped terraces.



Figure 35 - Early concept link between the house and "lantern"



Figure 36 – Early Concept 3D model of the proposed Lantern Kitchen extension



Figure 37 - Early Concept 3D model of the proposed Lantern Kitchen extension

The roof of the lantern is a reference to the leaded roof of the loggia, as seen from this angle. The finial is proposed as a bronze accent. The solid roof will provide shading while visually will create an accent defining the extension, which respects the hierarchy of the architecture language of the historic building. The transparency and delicacy of the structure is not interfering with the existing structure, while creating a new identity, the extension elements relate to the existing fenestration and other subordinate roof structures.

The kitchen extension creates a new space for the family to enjoy an enhanced experience, beyond functional dining but connecting with the nature, creating a place of contemplation.



Figure 38 - Early concept Lantern perspective design



Figure 39 - Early concept Lantern connection to the main house

The kitchen extension / dining area is articulated to the house through a glazed connection structure with the floor acting as a bridge. The existing window will be altered to incorporate the insertion of the articulation. Light metal framing will be thin and delicate while providing the required robustness as a structural element. The window will also be extended to the floor level, with added leaded lights to match. The elevation drawings show this detail.



Figure 40 - Proposed Lantern extension

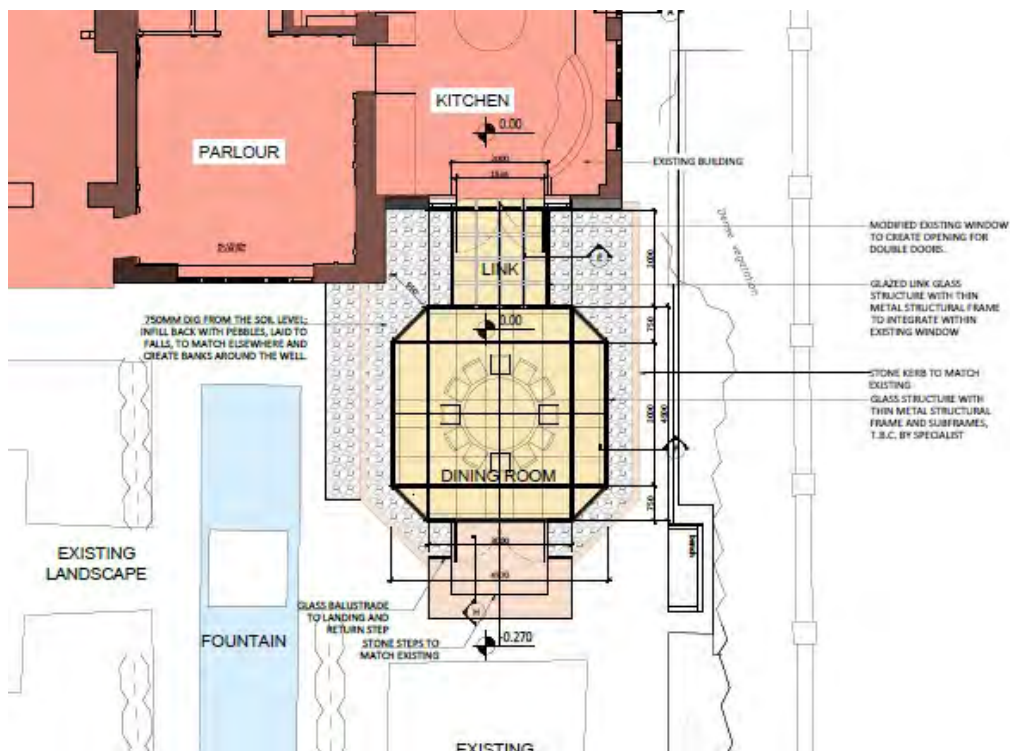


Figure 41 - Kitchen extension glazed pavilion plan

In plan, the kitchen extension follows the dominant square symbol and proportions of the main house, which is divided into bays. The kitchen bay is a later addition and set back from the last gabled bay. The new cuboid glazed volume creates an end of the perspective to the terrace, an accent to define the North end of the landscaped terraces, an element which ambivalently is a built element with a feel of a garden pavilion, bridging the scale between the main building into the garden.

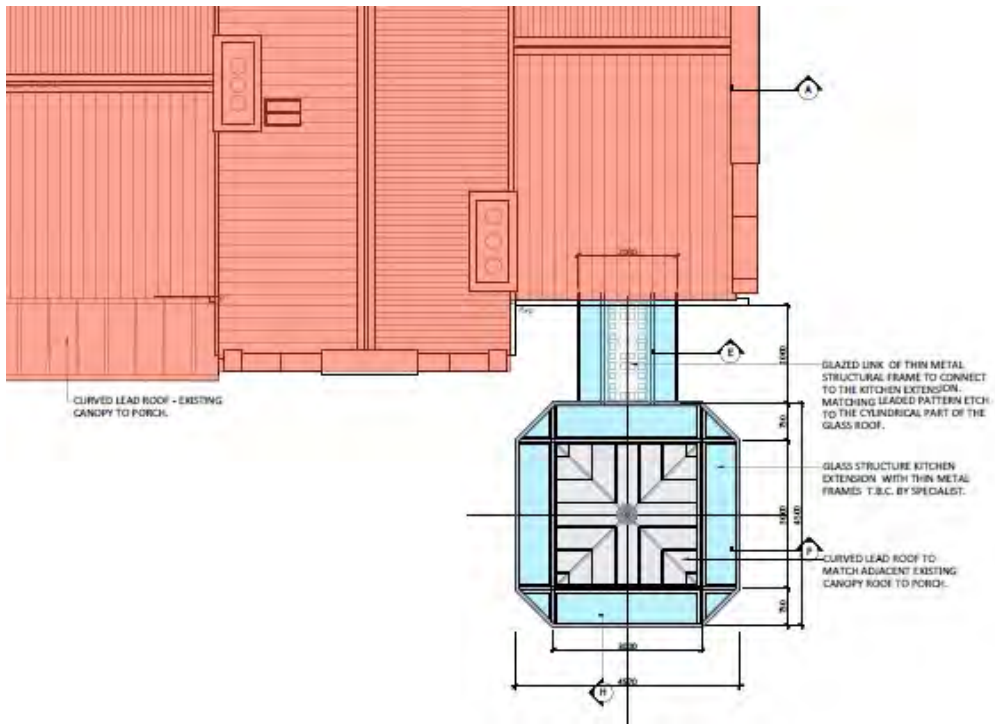


Figure 42 - kitchen extension Roof plan



Figure 43 - Kitchen extension elevation



Figure 44 - Fineo glazing

The existing kitchen has a triple aspect view, the front and rear dominating the space, forming a visual axis. The garden is very large and the family would like to have a more direct connection with the garden while sitting around the table. Initially, they thought about a traditional conservatory but the brief developed into a more organic design, avoiding to create a heavy attachment to the house but create a more delicate link with a cuboid transparent volume. This new element will become a beacon of light itself, in the evenings, when seen from the other parts of the garden, from the terraces or from the swimming pool house.

The glazing forming the diagonal corners will have an etched design in a motif to emulate elements of the existing leaded windows and also to create a visual sense of enclosure and definition to the space, avoiding of feeling a complete glass box. Internal shading elements, like sheer fabric suspended in a tent manner from the apex of the ceiling, will soften and adjust the filtering of sunlight.

The pattern of the framing takes direct inspiration from the pattern of the existing leaded windows.

11. Planning Policies

At the Pre-planning consultation stage, the relevant policies were selected by the planning officer. This report will address the exact points referred as:

- London Plan – Policy G3 – MOL Metropolitan Open Land.
- Local Plan – Policy A2
- NPPF – paragraphs 145 and 146.
- SNCI Site of Nature Conservation
- Hampstead CA appraisal

Extract from the Pre-planning report:

“The site is located within the Metropolitan Open Land (MOL) and will be assessed against advice and policies in the NPPF paras 145 and 146, the Local Plan Policy A2 and the London Plan Policy G3. MOL is to be treated in the same way as Green Belt. Para 145 of the NPPF says that the construction of new buildings should be regarded as inappropriate in the Green Belt. Exceptions to this are: c) the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building.

In this case, it is considered that the proposed extensions for the kitchen extension and open-air pool are of a modest size and do not result in disproportionate additions to the original building in use as a dwelling house. They also do not impact on openness of the MOL. Thus, the proposals are not considered to be ‘inappropriate’ as defined by the NPPF. However more details of the floorspace figures for the original building following its conversion into a dwelling house in 1996 and for the proposed extensions should be provided for a final assessment in any future planning application.”

Our application addresses the request for providing more details of the existing floor space. The drawings have been incorporated within this document.

The Elms is included in the Hampstead Conservation area, it is secluded as an entity, with its' own context and identity, with a large garden at the boundary with the Heath.

The proposals are insignificant in size, blending in with the existing, do not result in disproportionate additions to the original building. Overall, they are not impacting on the openness of the MOL.

The proposal relates to refinement of one existing swimming pool wing on the South side and a new kitchen pod extension connected to an existing extension on the North side. Both extensions were built around 1997, using the elements of the main historic building. The new additions are very small in scale, one is an external swimming pool utilising the existing sun terrace, the other is a small kitchen dining room glazed pod.

The Elms has its' own identity which the proposal is preserving and enhancing it by touching only the latest additions with sympathetic intervention. The small enclave correlates more to the Heath itself, as there are no other properties in the immediate surroundings. The Elms estate was split into two parts in the past, a new modern multi occupancy residency sits immediately to one side, while the original house was well preserved, the new boundary creating a new curtilage and it was extended sympathetically in the 1990's, as shown on the Heritage Statement.

London Plan Policy G3 – MOL

Policy G3 Metropolitan Open Land

A Metropolitan Open Land (MOL) is afforded the same status and level of protection as Green Belt:

- 1) MOL should be protected from inappropriate development in accordance with national planning policy tests that apply to the Green Belt
- 2) boroughs should work with partners to enhance the quality and range of uses of MOL.

B The extension of MOL designations should be supported where appropriate by one of the following criteria:

- 1) it contributes to the physical structure of London by being clearly distinguishable from the built-up area
- 2) it includes open air facilities, especially for leisure, recreation, sport, the arts and cultural activities, which serve either the whole or significant parts of London
- 3) it contains features or landscapes (historic, recreational, biodiverse) of either national or metropolitan value
- 4) it forms part of a strategic corridor, node or a link in the network of green infrastructure and meets one of the above criteria.

C Any alterations to the boundary of MOL should be undertaken through the Local Plan process, in consultation with the Mayor and adjoining boroughs.

Local Plan process, in consultation with the Mayor and adjoining boroughs.
MOL boundaries should only be changed in exceptional circumstances when including land in MOL set out in Part B

8.3.1 relevant section to our proposal: heritage value, biodiversity, food growing, and health benefits through encouraging walking, running and other physical activity.

Two main factors are resolved through the proposal: biodiversity and physical activities, as well as preserving the heritage value by adding sympathetic new elements, in keeping and proportion the main historic building. The rest of the policy doesn't relate to our proposal.

Our proposal will not affect the natural environment as currently exists. The external swimming pool is an extension of the internal pool, built on the same footprint of the current sun terrace. As this terrace is located at the far end of the house, it is not very well connected to the overall landscape. By creating an elevated platform to the level of the internal pool, the views will be enjoyed from the gleaming surface of the water, opening the vista on 3 main directions towards the landscape, leading the eye to the Heath edge. The natural context defining the pool will enhance the connection to the rest of the landscape, the adjusted planting surrounding the pool will preserve the soft edge and transition into the wider landscape, encouraging the small birds and insects to cohabitate.

The water will add humidity and attract wildlife while the residents will enjoy physical activities through swimming, widening the sporting facility spectrum on the estate, to enhance the leisure use of the space, otherwise a sterile hard surfaces, disconnected from the rest of the garden. The edge of the external pool will preserve the existing fountain feature, adding to the garden sounds and encouraging flying insects and birds to cool down and refresh, hydrate by the water features and the soft landscape around the pool terrace.

8.43, 8.44 points relate to habitat creation, landscape improvement and some rainwater integration from the roof terrace, into the garden, through sustainable methods of water storage and reuse.

Local Plan Policy A2

[Policy A2 relates to open space.](#)

The Council will protect, enhance and improve access to Camden's parks, open spaces and other green infrastructure.

Protection of open spaces: there are 2 points relating to our proposal:

[Point f:](#) conserve and enhance the heritage value of designated open spaces and other elements of open space which make a significant contribution to the character and appearance of conservation areas or to the setting of heritage assets.

[Point j:](#) preserve and enhance Hampstead Heath through working with partners and by taking into account the impact on the Heath when considering relevant planning applications, including any impacts on views to and from the Heath;

Within the Conservation Area, The Elms is a separate entity, with its own identity, remote from the rest of Hampstead Heath, while benefitting from being at the edge of the Heath. The proposal will not interfere with the existing views to and from the Heath.

“The proposed terrace will allow better views of the gardens and is not considered to cause harm to the significance of the listed building. The grounds are vast with the landscaping being the result of the late 1990s application, it is clear that the changes to the modern part of the building within the modern setting will preserve the historic interest of the Elms.” Pre-planning assessment.

The proposal is preserving the existing heritage and the two added elements described will redefine the newer extensions of the property, as to enhance and visually connect to the original building and the landscape. The swimming pool roof will be reshaped to emulate the curves of the gables and to bring natural light inside the swimming, to create a roof terrace as new amenity for the family to enjoy and to establish new vistas towards the landscape and the Heath. The original pool house will have two extra windows, in keeping with the existing, to improve the quality of the internal spaces, improve the ventilation as well as creating a new connection with the outdoors through the series of terraces at the rear of the property. The external pool will bring the inside outside, leading through the enlarged and elevated sun terrace into the wider garden, blending into the existing landscape.

“The nature of the pool extension, being a low height structure, will also mean that it will remain subordinate in relationship with the listed building, therefore, preserving its significance.” Pre-planning assessment.

The proposal is preserving the original volume of the swimming pool house, only redefining the roof, and introducing a small roof terrace as added amenity.

The kitchen extension, at the other side of the building will also bring the kitchen outwards. The small glazed pod “lantern” is detached from the main building but connected through a small glass “bridge”.

Both extensions re-utilise the existing hard landscape zones at either end of the property, over the same footprint, are subordinate to the main building while establishing a better connection with the natural elements, encouraging the habitats to expand, improving the views towards the Heath from the house through dynamically integrated spaces.

6.36 The extensions are defined by the same footprints as existing, with proportions and style in keeping with that of the main house, the volume and scale relate as subordinate.

6.37 Relates to the rear garden. The 2 elements described by the proposal will enhance the visual interest, attract and support the natural habitat by adding a water feature. There is no loss of garden as such as the proposals are located over the current hard landscape terraces, at either end of the property, spaces which are currently not fully utilised, will be re-integrated in the landscape.

6.38 The proposal is addressing the connectivity with the main landscaped garden and improving the views towards the Heath, by creating contemplating points as part of the new functions with panoramic views, aiding wellbeing.

6.6 Artificial light introduced through the 2 proposals will be calibrated in accordance with the Ecologist findings, to produce minimal disturbance to the wildlife. The type of light and glare will be designed by specialist lighting designer with the natural habitat in mind, while adding to the poetics of the space created.

“Regardless of the findings of the surveys we would expect a lighting strategy that respects the sensitive nature of the location. This would include carefully controlled lighting to avoid unnecessary spill, avoiding lights with high colour-temperatures that disturb wildlife and potentially timing restrictions for any external floodlighting.”

NPPF para 145, 146 relating to Green Belt:

145: ...opportunities for outdoor sport and recreation; to retain and enhance landscapes, visual amenity and biodiversity...

146: ... by upgrading the landscape and providing for recreation and wildlife...

As reiterated through the points above, the proposal is bringing opportunities for outdoor sport and recreation by enhancing the landscape and the connectivity with the garden, improving the enjoyment of the views towards the edge of the Heath. Upgrading and adding to the natural elements through further planting and adding water features which could attract more wildlife to the edge of the Heath. Although this is a private garden, the benefits will impact the edge of the Heath by encouraging more birds and insects to settle in this enclave.

Due to the location of the site and proposed extensions, with no immediate neighbouring properties, there will be no loss of amenity in terms of light, outlook, privacy or noise nuisance.

SNCI

The proposal will be further scrutinised through the Ecological evaluation, being within 200m from a woodland. The report commissioned established that there is no impact on SNCI.

12. Ecology

Bats report

Wildlife survey

Trees

Light pollution

Specialist reports were commissioned to assess the existing habitats and provide the correct guidance to minimise the impact of the proposed works.

A Preliminary Ecological Appraisal and Preliminary Roost Assessment Survey is included with the planning application. The main recommendations are highlighted in this report.

It was undertaken by Nicole Gullan BSc (Hons) AMRSB for **Arbtech**.

Arbtech Consulting Ltd

<https://arbtech.co.uk>

Tel: 01244661170

The conclusions are listed in the actual report, this document highlights the key results in relationship to Bats, birds, trees and ecology generally.

Bats

The building overall has low habitat value for roosting bats, based on a small number of potential roosting features (loose roof tiles) that bats could exploit.

The areas that will be affected by the works offer negligible habitat suitability for roosting bats. The Magic database shows that a common pipistrelle roost has been recently destroyed within 1km of the site. Displaced bats from these roosts could find suitable roosting features on site.

These buildings will not be impacted by the development and were therefore not surveyed for roosting bat potential.

Some of the mature trees on site offer roosting value for bats.
The garden areas will offer foraging and commuting value for bats.

Recommendation

The installation of three woodcrete bat boxes on mature trees around the site boundary will provide extra habitat value for bats. Bat boxes should be positioned 3-5m above ground level facing in a south/south-westerly direction with a clear flight path to and from the entrance.

The wildflower area will provide excellent foraging value for bats, especially if pale, night-scented flowers are added to attract insects overnight.

The rear garden should remain a dark space for foraging and commuting bats and any new lighting scheme should follow guidance from the Bat Conservation Trust and the Institution of Lighting Professionals' "Guidance Note 08/18 Bats and artificial lighting in the UK Bats and the Built Environment series" publication: http://www.bats.org.uk/news.php/406/new_guidance_on_bats_and_lighting

Birds

The site will provide habitat value for nesting birds, though it is not thought to offer habitat value for schedule 1 birds, such as barn owls.

The buildings are regularly maintained and no evidence of bird nesting on or inside.

Recommendation

The installation of three bird boxes on mature trees on site will provide additional habitat value for nesting birds

Reptiles

The site will offer limited habitat value for reptiles as it is regularly maintained, and due to a lack of native botanical habitats for reptiles to exploit. However, the wildflower and compost areas to the east of the site may offer habitat value for low numbers of reptiles.

Recommendation

Waste materials created during the development e.g. log piles, brush, rocks etc. can be used to create hibernacula and refugia for common reptiles. These should be positioned on the site boundaries

Amphibians

The fishpond on site is deep, with steep sides, and is extremely unlikely to offer habitat value for amphibians. It will not be affected by the development, in any case.

The terrestrial habitats on site are not likely to provide good-quality habitat for amphibians either, as they are regularly maintained, and the grass is closely mown.

No ponds are known within 250m, further decreasing the likelihood that protected amphibians would be found on site at any time of year.

Recommendation

A shallow wildlife pond (no fish) would provide the greatest benefits to amphibians.

Other Terrestrial mammals

Badgers

Planting fruit trees on the developed site will provide additional foraging resources for badgers.

Dormice

Planting native hedgerows (e.g. hazel) would provide the greatest benefits for dormice.

Hedgehogs

Gaps should be created in boundary fences to provide commuting routes through the developed site for hedgehogs.

Light pollution

The proposal will include carefully controlled lighting internally and externally, to avoid unnecessary spill, avoiding lights with high colour-temperatures that disturb wildlife and potentially timing restrictions for any external floodlighting. The ecological report highlights the main criteria to be followed.

The rear garden should remain a dark space for foraging and commuting bats and any new lighting scheme should follow guidance from the Bat Conservation Trust and the Institution of Lighting Professionals' "Guidance Note 08/18 Bats and artificial lighting in the UK Bats and the Built Environment series" publication:

http://www.bats.org.uk/news.php/406/new_guidance_on_bats_and_lighting

13. The Landscape

The existing landscape was the base context for the proposal and a source of inspiration regarding the sequence of spaces, the dynamic of interlacing elements of different scale, creating external rooms as extensions of the existing rooms of the house, opening towards the garden.

The swimming pool extension utilises the exact footprint of the current sun terrace which will be raised to the level of the internal pool and the retaining walls and staircases extended to suit, connecting to the existing paths of the lower parts of the garden.

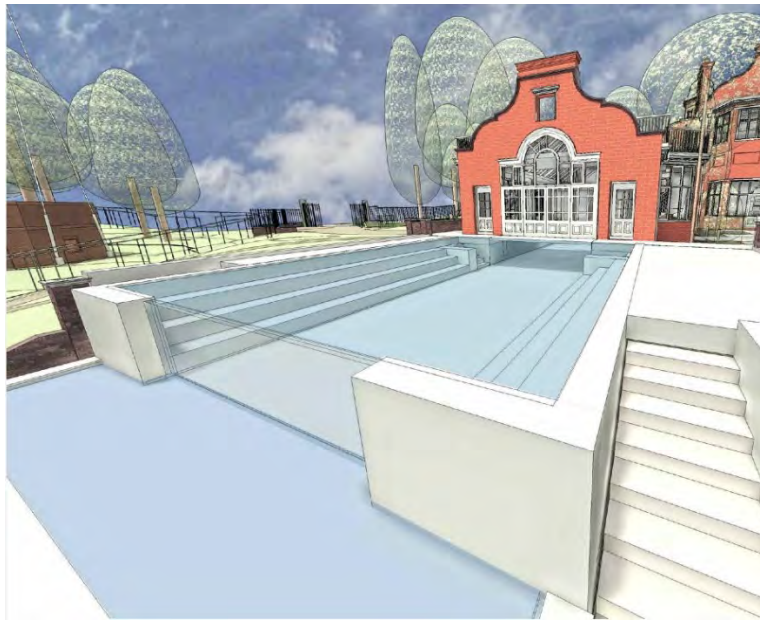


Figure 45 - Proposed outdoors pool, early concept CGI. The end wall is solid in the final proposal

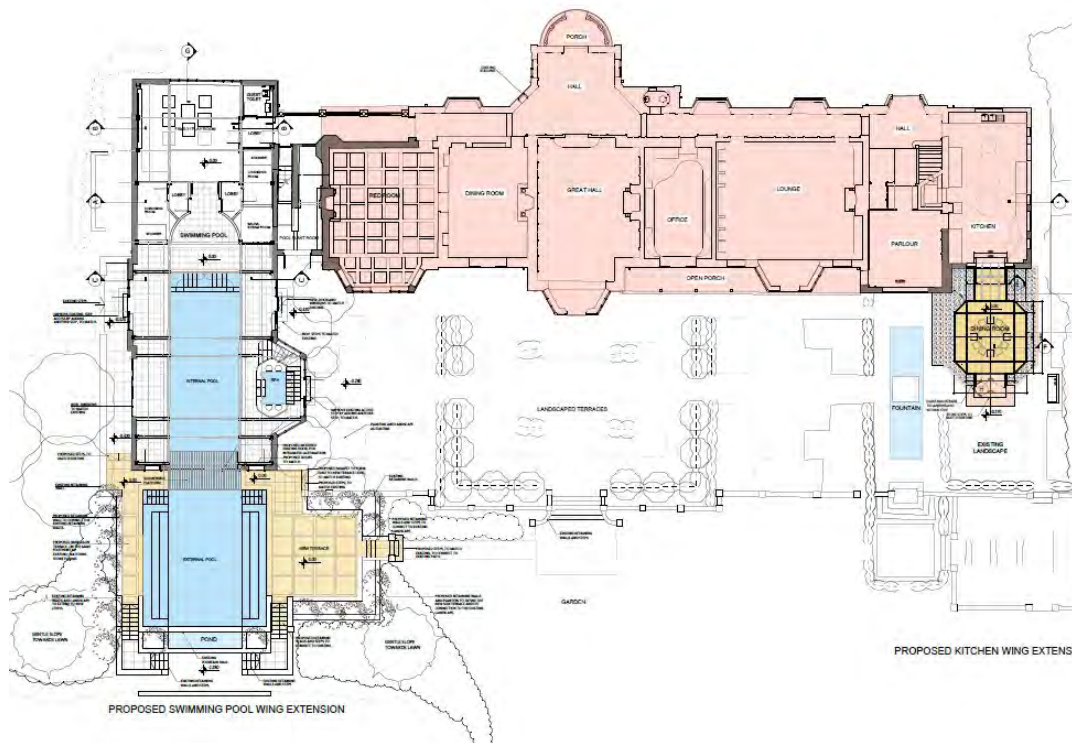


Figure 46 - Proposed Landscape

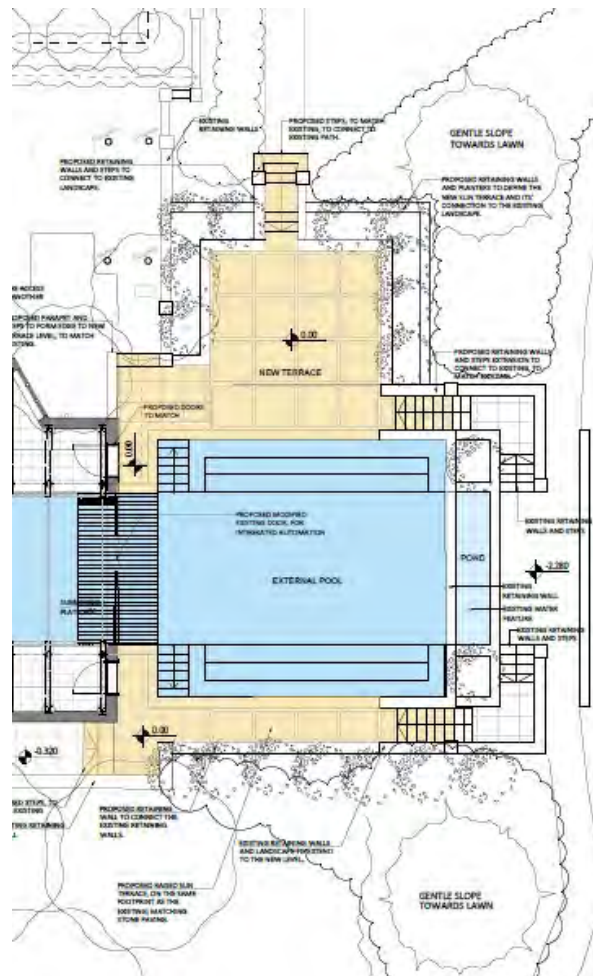
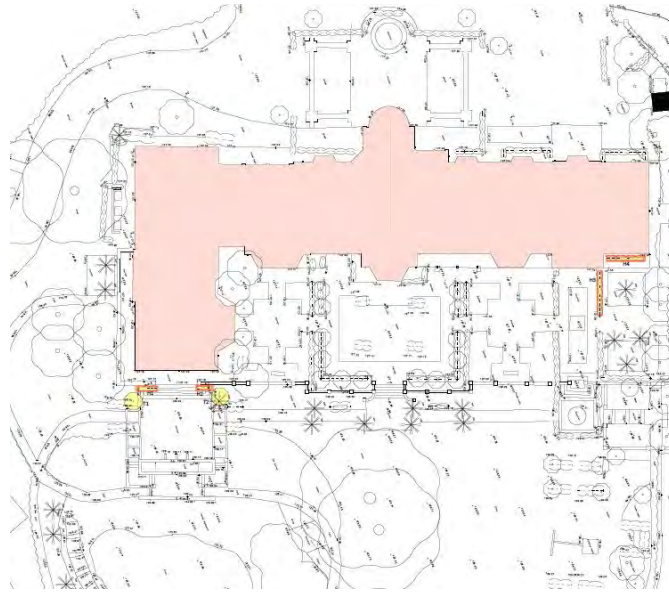


Figure 47 - Proposed swimming pool hard landscape

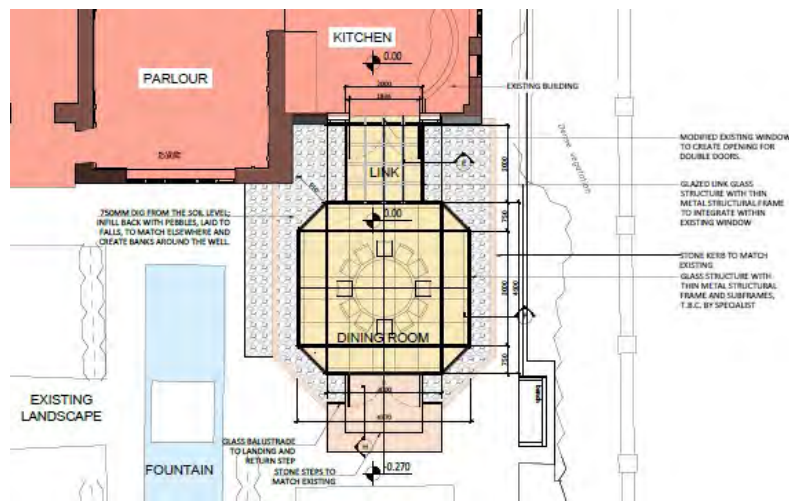
The proposed landscape is matching the existing hard landscape with the same materials as currently in place. The Sun terrace is elevated to reach the new level of the internal swimming pool. The existing steps are extended to the new level. New retaining walls are built in brick and stone, as existing, where required to form the elevated terrace. The soft landscape around the terrace will be adjusted to suit the new contour of the slightly enlarged terrace, some hedges adjusted and new added in the planters.

There is no loss of trees. Some potted trees will be relocated, and a couple of small trees planted within the sun terrace marked as T1 and T2, will be relocated to a suitable place within the larger garden. The small hedges to be relocated are marked as H1-H2.

The location of those trees is marked on the drawing A-110.



On the kitchen side, the glazed pod will be positioned on a sunken “terrace” with new retaining walls defining the edges, with stone kerbs at the top and pebbles at the base. Two steps will lead from the pod / dining area to the garden, in matching stone as elsewhere. Two hedges H3 and H4 will be removed, to allow for the level lowering to form the underground concrete base.



The rest of the landscape will be kept as existing.

14. Access

The access into the house remains the same.

The access into the gym and swimming pool areas will be improved in terms of internal connectivity.

At ground floor level, the access remains as existing, from Level zero. There are no steps introduced internally.

By opening a side door into the existing South staircase, a new access is created at mezzanine/half landing level to access the gym directly from the master bedroom suite zone. From the gym, there is another access into the new roof terrace, via 4 steps going upwards to the roof terrace, which wraps around the new glazed roof. From the roof terrace there is an automated retractable skylight providing connectivity to the swimming pool, at ground level and vice versa.

The swimming pool is accessible from the main house at ground level, with all the changing facilities on the same level. The external terrace wrapping around the new external pool is all level apart from the existing steps at the far end, connecting with the wider garden beyond the pool. The previously lower sun terrace will be raised to the level of the internal swimming pool ground floor, level zero.

The kitchen extension is at the same floor level as the internal kitchen. The link bridging the kitchen to the new dining area is on the same level. Externally, there is a wide landing leading from the dining area into the garden terrace, through two gentle steps.

15. Drawing List

A-LOC	Location Plan	1:1250	A4
A-ST	Site Plan	1:250	A0
	EXISTING		
A-101	Existing Ground Floor Layout	1:100	A1
A-102	Existing First Floor Layout	1:100	A1
A-103	Existing Second Floor Layout	1:100	A1
A-104	Existing Roof Layout	1:100	A1
A-105	Existing Main Elevations	1:100	A1
A-106	Existing Flank Elevations	1:100	A1
A-107	Existing Section A-A	1:100	A1
A-108	Existing Cross Sections	1:100	A1
A-110	Existing Landscape	1:100	A0
A-150	Existing Pool Wing Elevations	1:50	A0
A-151	Existing Pool Side Cross Sections	1:50	A0
	PROPOSED		
A-301	Proposed Ground Floor Layout	1:100	A1
A-302	Proposed First Floor Layout	1:100	A1
A-303	Proposed Roof Layout	1:100	A1
A-351	Proposed Ground Floor Pool Wing	1:50	A0
A-352	Proposed First Floor Pool Wing	1:50	A0
A-353	Proposed Roof Pool Wing	1:50	A0
A-371	Proposed Ground and Roof Plans Kitchen Wing	1:50	A0
	PROPOSED ELEVATIONS		
A-701	Proposed Front (North-West) Elevation	1:100	A1
A-702	Proposed Rear (South-East) Elevation	1:100	A1
A-703	Proposed Side (South) Pool Wing Elevations	1:50	A0
A-704	Proposed Side (North) Kitchen Wing Elevations	1:50	A0
	PROPOSED SECTIONS		
A-801	Proposed Section G-G Pool Wing	1:50	A0
A-802	Proposed Cross Sections Pool Wing	1:50	A0
A-803	Proposed Section H-H Kitchen Extension	1:50	A0
A-804	Proposed Cross Section Kitchen Extension	1:50	A0