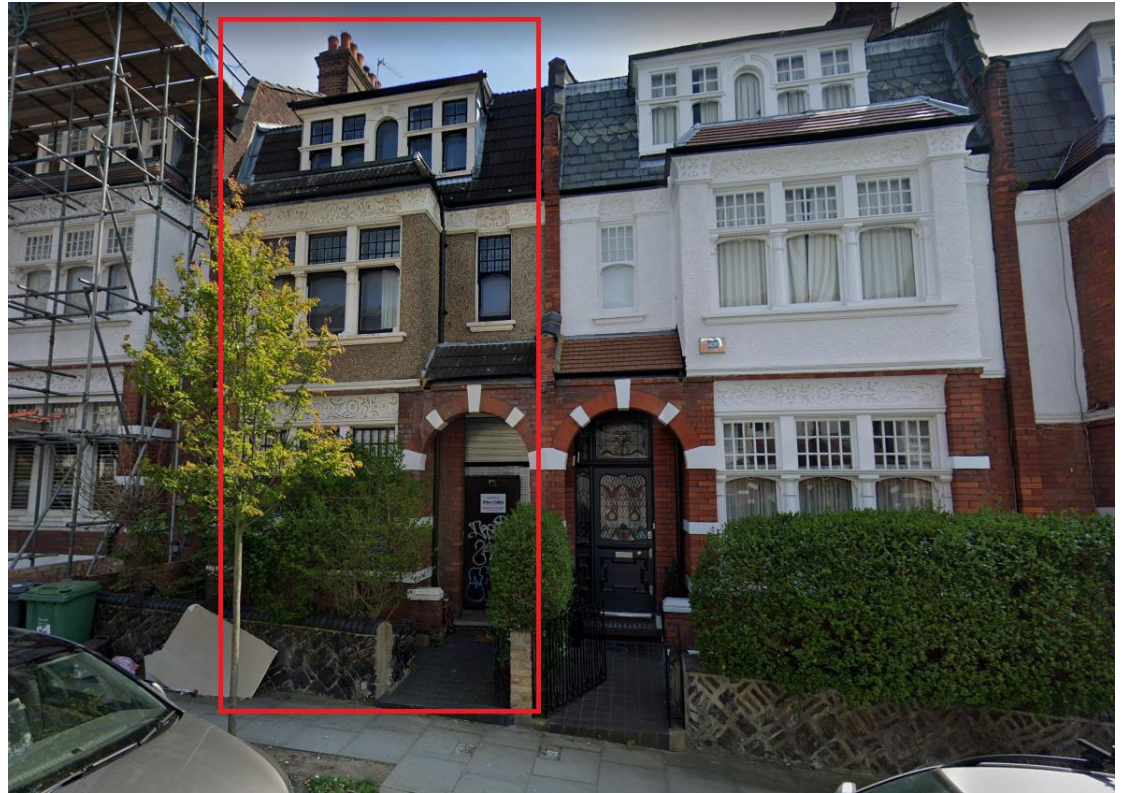


PLANNING, DESIGN AND ACCESS STATEMENT

...in relation to the proposed works at

53 Glenmore Road NW3 4BY

On behalf of Mr & Mrs Cadish,
produced by RJHArchitecture Ltd.



CONTENTS

1. Introduction
2. The site & the planning history
3. The proposal
4. The Access
5. Trees
6. Conclusion

1. INTRODUCTION

This Planning, Design and Access Statement is submitted to the Borough of Camden, in support of the Planning Application, with respect to the proposed works to the property at 53 Glenmore Road, including the change of use from an 'HMO' (house of multiple occupation) into a two-dwelling property. This document should be read in conjunction with the enclosed drawing and documentation packages.

Our submission has been informed by a positive Pre-Application therefore this proposal ensures full alignment to the feedback provided by the Council.

2. THE SITE & PLANNING HISTORY

The property is a mid-terrace property on a predominantly residential road, there are three storeys above ground and a basement level below ground. No. 53 and most of the properties on Glenmore Road are uniform in their aesthetics and style, with typical Victorian turn of the century styling, this includes red brickwork, mansard pitched roofs and white decorative stucco details.

The main entrance to the property, faces Glenmore Road. Whilst the building is not listed, it is in the Belsize Conservation Area.

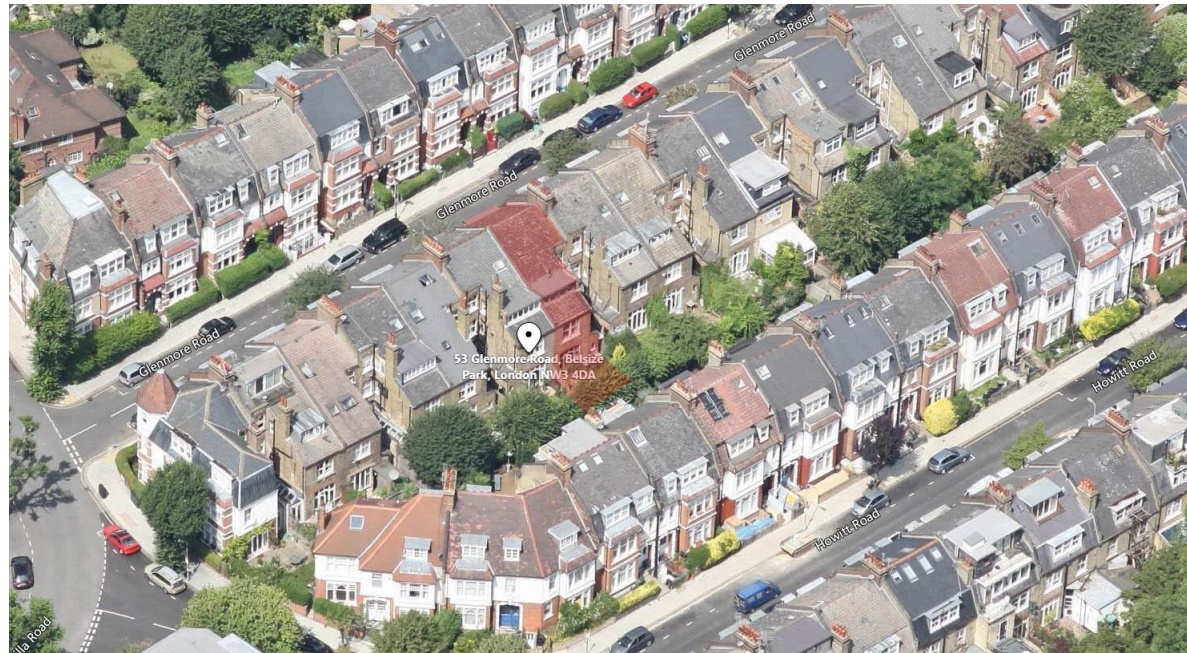


Image 01: Bird eye view from the rear of 53 Glenmore Road

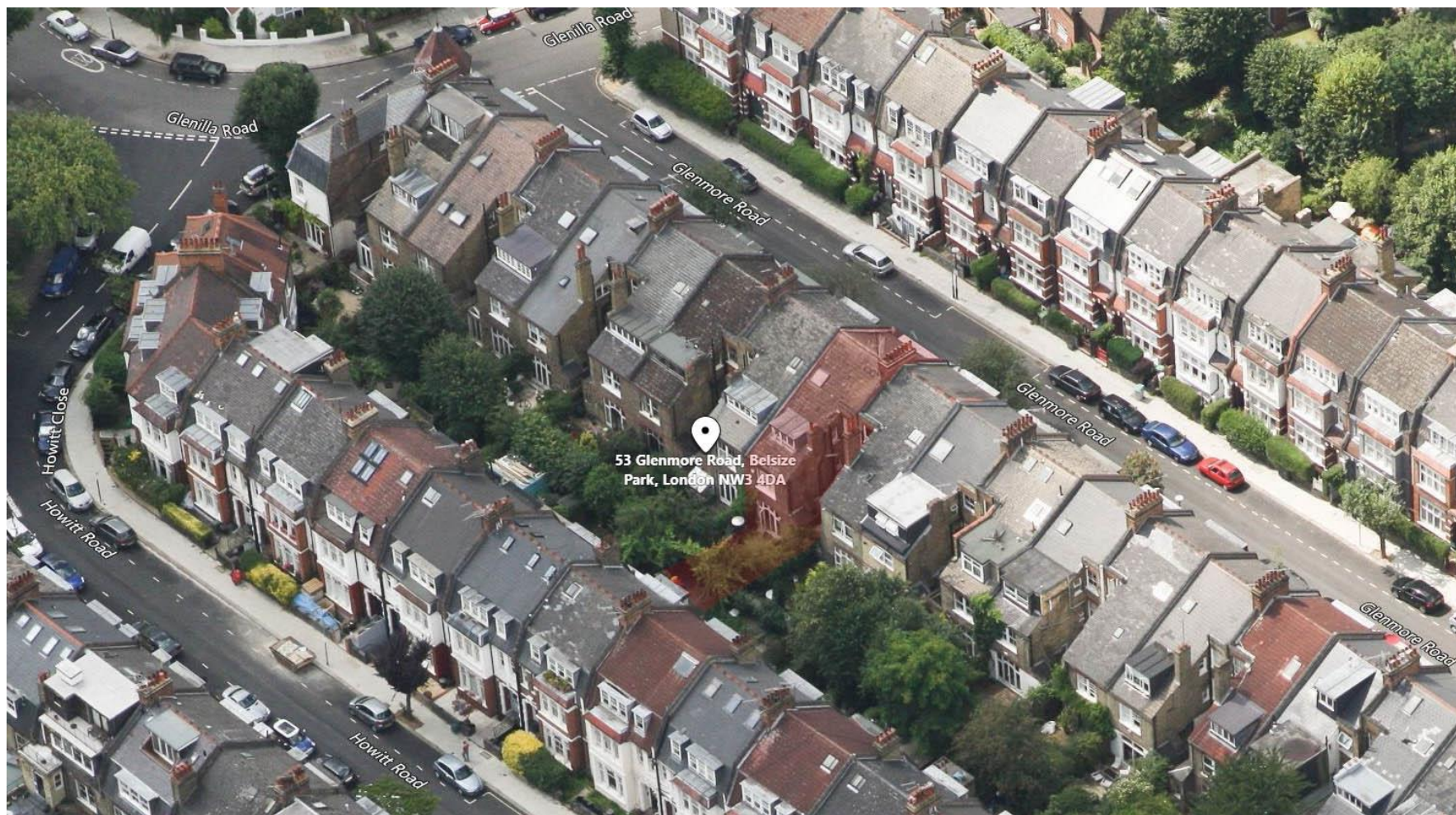


Image 02: Bird eye view from the rear of Glenmore Road

The site is part of the Belsize Conservation Area. The conservation area sits on the rising land between Chalk Farm at the bottom of Haverstock Hill and Hampstead at the top and extends westwards to Swiss Cottage. It forms a triangle of land bordered by Haverstock Hill, Adelaide Road and Fitzjohn's Avenue.

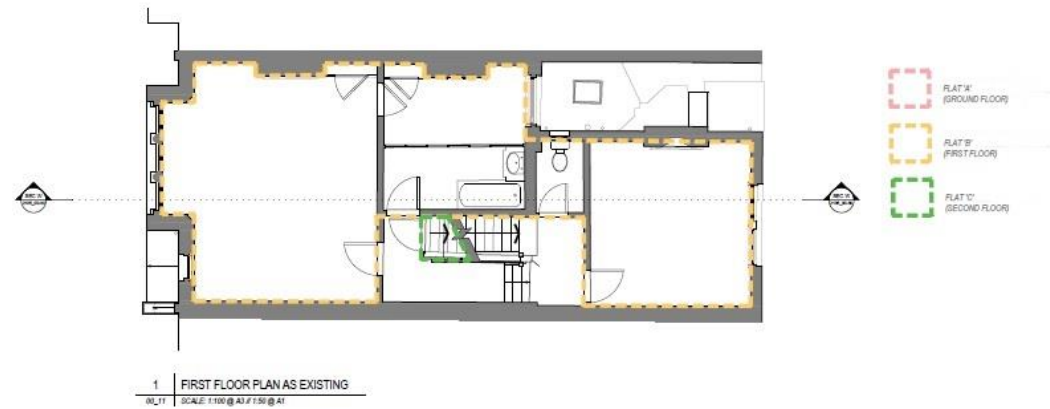
"The character of Belsize is largely derived from mid-19th century Italianate villas. Within the Conservation Area there are, however, a number of distinct areas of varying character and appearance. These differences are caused by a combination of the following: land use, the density of development, the scale and style of buildings, their construction materials, the period of development, local topography and the predominance of gardens and trees.

This Statement divides the area into six sub areas. In most cases the sub areas have a distinct, broadly uniform character."

Whilst none of the buildings in the area are listed, collectively Nos. 1-65 Glenmore Road are considered to make a positive contribution to the Conservation Area, most likely as they are good examples of the local and historical building traditions.

No.53, is 3-storey property plus basement, large bay window to the frontage and an original mansard type roof with dormer windows. Although small in footprint, the basement received daylight via the front lightwell and has its own external front door.

Currently, the property is a 'house of multiple occupation' HMO consisting of three partially self-contained flats. The basement is currently unoccupied. The main entrance to the property, faces Glenmore Road. Please refer to the existing plans below showing the internal flat arrangement.

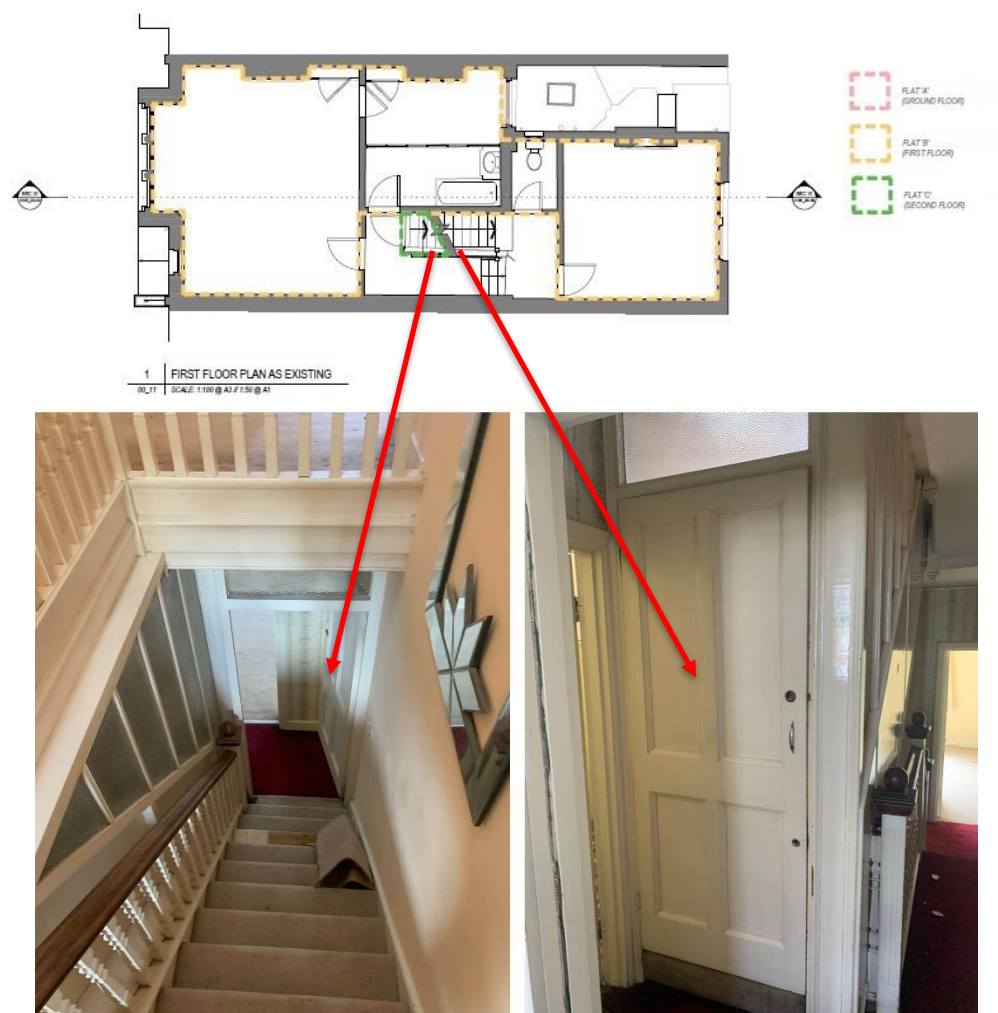




The picture below shows the existing boiler and the electric meter which was serving the top floor flat:



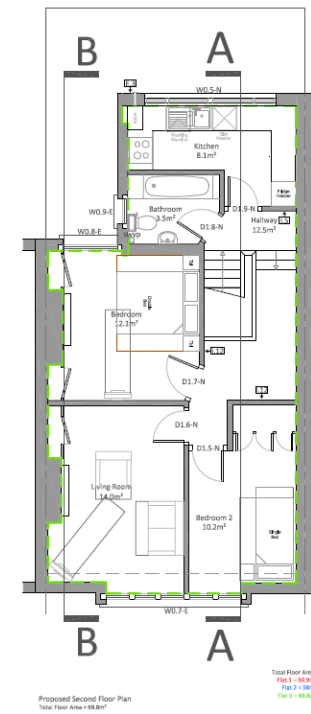
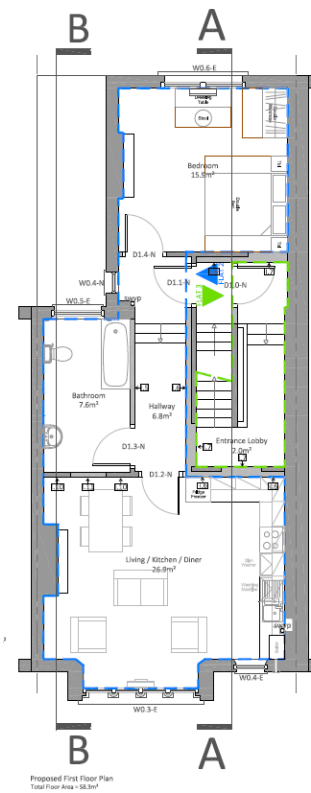
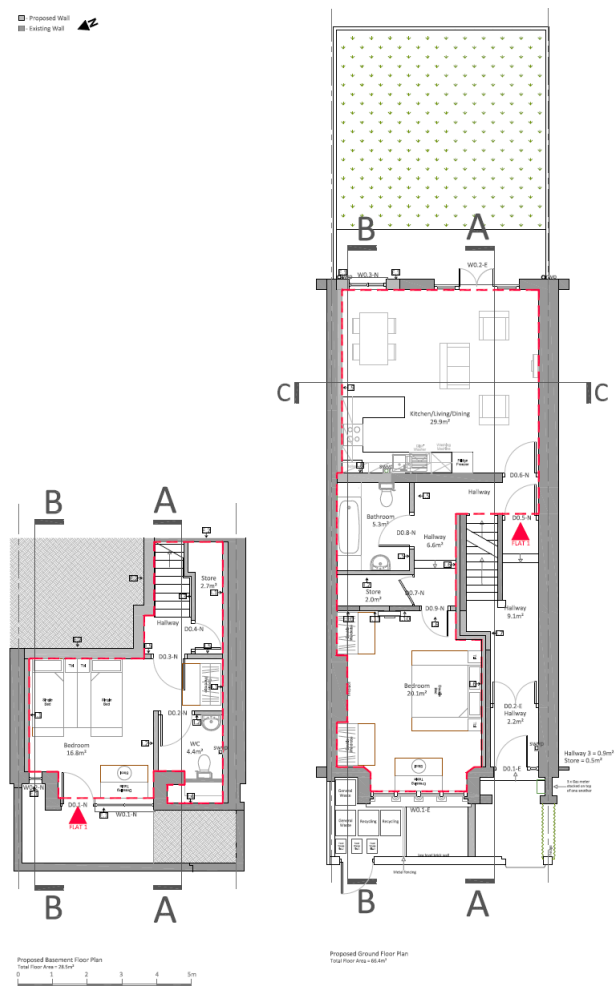
Please also refer to the image below which shows the protected and private locked entrance from the internal staircase to get access to the second floor flat.



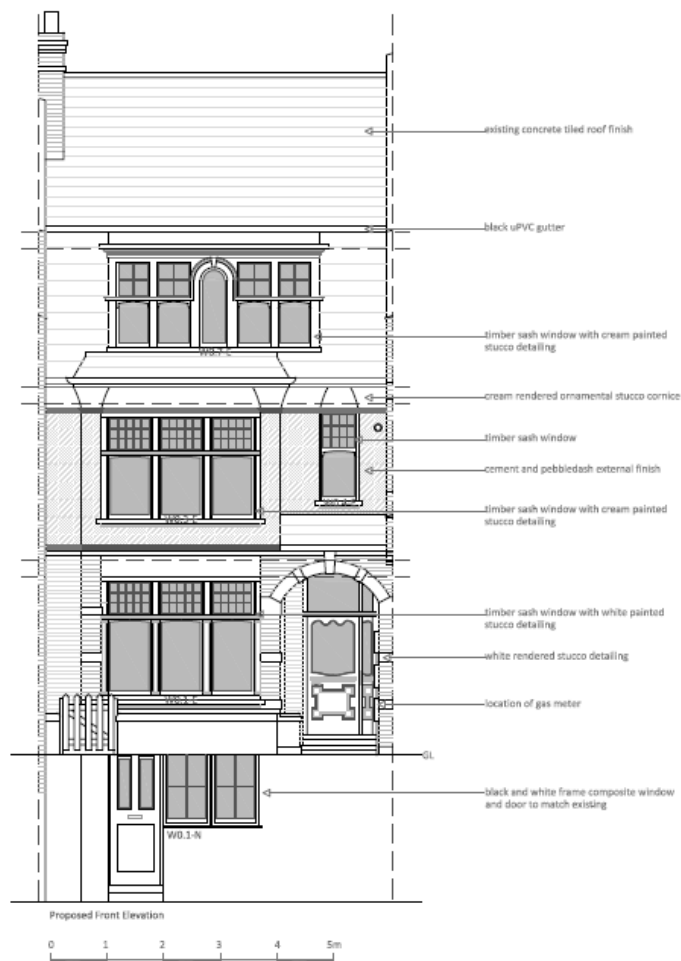
There is little planning history on this property as it remains largely untouched, but recently (May 2017) a planning application was granted to undertake an extensive upgrade and refurbishment project, with part of the upgrade works being the conversion of the property. The previous application proposed to subdivide the current units in '3no. partially self-contained flats' to full 'self-contained flats', and enlargement of the basement floor area to create habitable room.

The internal floor space was divided to create 2x2 bedroom flat and 1x1 bedroom flat. In addition, the proposal aimed to extend the property at basement and at ground floor level (Application number: 2017/2579/P).

Subsequently, it has been presented a 'Non'-material amendment' application (Application number: 2019/1398/P) *"to amend wording from "Subdivision of 3 partially self-contained flats to 2 x 1 bedroom and 1 x 2 bedroom fully self-contained flats. Excavation of basement and side infill extension" to "Sub-division of 3 partially self-contained flats to 2 x 2 bedroom and 1x 1 bedroom fully self-contained flats, excavation of basement and side infill extension".*



Previous approved
scheme – Formation of 3 self-contained flats.



Previous approved scheme –Front and Rear Elevation showing Basement excavation & Rear infill Extension

3. THE PROPOSAL

The proposal represents the applicant's intention to renovate and update the property, to suit the necessity of a young and growing family.

It should be noticed that most of the dwellings in the area are subdivided in 2/3 flats, to address the demand of housing in the area and that the previous approval granted permitted x3 separate dwellings to this particular property.

The proposed revised scheme seeks to:

- Convert the existing property from an 'HMO' into a two-dwelling property (the ground floor, first floor and second floor into one unit to form a family house (GIA 237,11 sqm)
- Extend the existing lower ground floor creating a separate unit with a private entrance and rear garden (one-bedroom flat GIA 67,14sqm)
- Replace the dormer at second floor.
- Introduce a new dormer at roof level.
- Introduce 2x conservation rooflight at the front and 1x conservation rooflight at the rear.

The property at No. 6 Glenmore Road (Ref. 2012/4347/P) was a 2-bedroom flat property and in 2012 and was successful in obtaining approval for converting the property back to a 5 bedroom- single family dwelling house.

Policy DP2 of the “Camden Planning Guidance (Housing)”, prevents development that leads to a net loss of residential floorspace or that involves the loss of two or more residential units. In this case, there is no loss of residential floorspace and only one unit would be lost, therefore the proposal for conversion complies with the UDP, as already approved at 6 Glenmore Road.

LOWER GROUND FLOOR EXTENSION

It should be noted that this property already had obtained approval for a basement extension and a lightwell excavation (Ref. 2017/2575/P), however the new owner seeks to apport internal modification to improve the layout and liveability of the dwelling.

The previous scheme regarding the lower ground floor, submitted and revised by the Planning Officer during the Pre-Planning meeting, was a single-aspect studio flat with a private front access through the existing lightwell.

The Council raised some mild concerns regarding the quality of the liveability of this space, which I report below for ease of reference:

- *This unit would be single aspect and have no windows serving the kitchen. The windows provided would have a north-westerly aspect with limited sunlight and daylight and the unit would depend largely on artificial light;*
- *Being at basement level the unit would have poor outlook, with windows above eye level, looking into the sunken lightwell;*
- *The unit would not benefit from natural cross-ventilation and would need to be mechanically ventilated;*
- *The unit would have no private external amenity space such as an external terrace, garden or balcony;*

- *The provision of an internal stairs to ground floor level would undermine the self-contained nature of the proposed basement unit;*

We have placed the above advice at the forefront of our design development and provided improvements to ensure our compliance with the relevant Planning Policies and preferences highlighted.

The updated proposal provides a front terrace within the stair well, combined with a larger external amenity space to the rear, designed to improve the liveability of the unit and in conformity with the Pre-Application Advice and with Policy D2. This has resulted in an increase in the previously proposed extension of the lower ground floor to ensure a large terrace, providing external access and natural light to the internal kitchen space has been provided. NB: the proposed extension does not exceed beyond the footprint of the host property to ensure compliance with Policy A5, remaining subservient to the host building.

The unit would benefit from natural-cross ventilation and from the amenity space screened at high level by a metal railing. Tall plants/bushes will protect the overlooking from the garden above whilst ensuring a pleasant external amenity space is provided to this particular unit.

The existing front lightwell will not be altered in shape, however the existing level will be dropped to improve the drainage of this space. Additional steps are added to the existing staircase run to facilitate the additional extent of excavation.

The ventilation/natural light to the front is ensured via the existing front openings (windows & doors) that have been reshaped in order to suit the proposed layout.

The pre-planning advice stated the following:

'No issues are raised with the works to the lightwell which would continue to be legible as a subordinate space even if its depth is increased; '

The proposed space has been designed following the guidance on the document “Camden Planning Guidance: Basements – March 2018”, and does not exceeding 50% of the garden property, and remains subordinate to the host building:

“The siting, location, scale and design of basements must have minimal impact on, and be subordinate to, the host building and property.

Basement development must be no more than one storey deep and must not exceed 50% of the garden of the property.”

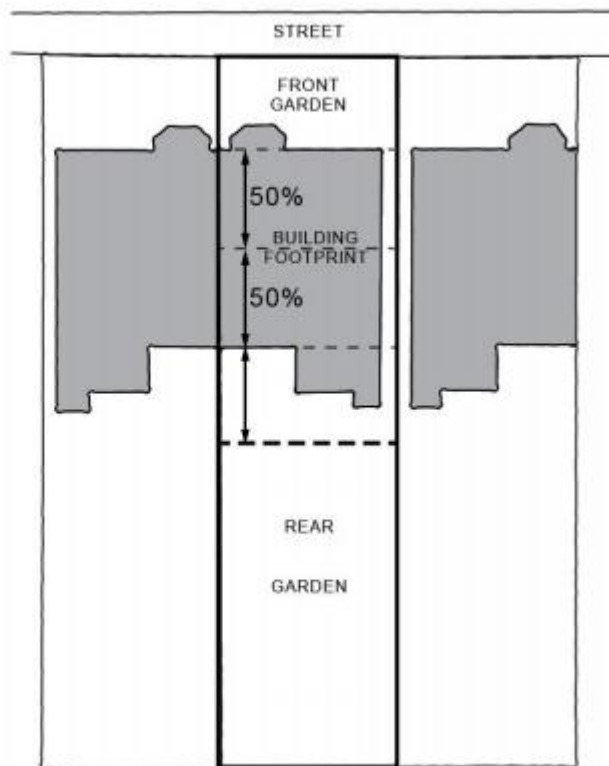
- 2.4. Local Plan Policy A5 on basements limits the size of basement developments. The section below lists the relevant criteria from Policy A5 accompanied by diagrams to show how these criteria apply.

TABLE 1: Policy A5 Basements, criteria f. to m. regarding the size of basement developments

Policy A5	Guidance and diagrams
<i>“The siting, location, scale and design of basements must have minimal impact on, and be subordinate to, the host building and property. Basement development should:...</i>	A basement development that does not extend beyond the footprint of the original building and is no deeper than one full storey below ground level is often the most appropriate way to extend a building below ground.

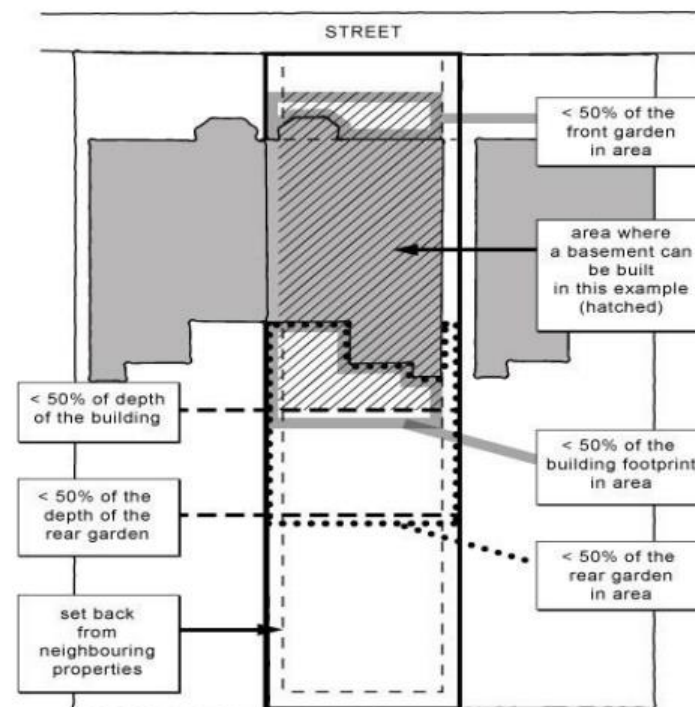
j. extend into the garden no further than 50% of the depth of the host building measured from the principal rear elevation;

FIGURE 6: Criterion j.



- 2.5. The criteria of policy A5 must be considered together, therefore the area where a basement may be developed is the smallest of these areas. The diagram below shown all of the considerations together.

FIGURE 9: All criterion of Policy A5 of the Local Plan



This proposal is similar to other precedent approvals permitted in the area through the years, please see below a short selection of references:

-29 Glenloch Road, NW3 4DJ

Application number PWX0302056 – Formation of new front patio steps, new basement flat entrance arrangement and new rear patio with steps to the rear garden.

-36 Glenloch Road, NW3

Application number 17535/R – Change of use for two self-contained flats and two self-contained maisonettes including works of conversion.

FRONT FAÇADE

The proposal is in accordance with the policies BE15, BE16, BE17 & BE 18 of “Belsize Conservation Area Document” and in conformity with policy D1 & D2 of the ‘Camden Local Plan 2017’.

The front garden is going to be preserved and no alteration or loss of original wall fabric is proposed.

FRONT GARDEN AND BOUNDARIES BE9 (Belsize Conservation Area)

Alterations to the front boundaries between the pavement and houses can dramatically affect and harm the character of the Conservation Area. Boundaries in the Conservation Area are predominately formed by walls, either with railings or hedges. The original features of the boundaries may vary. Where there are low walls alongside the road and within properties they add to the attractive appearance of the front gardens and architectural setting of these traditional 19th century buildings. There are also some higher walls on some properties with decorative features. Proposals should respect the original style of boundary and these should generally be retained and reinstated where they have been lost. Particular care should be taken to preserve the green character of the Conservation Area by keeping hedges. The loss of front boundary walls where it has occurred detracts from the appearance of the front garden by reducing the area for soft landscaping in this urban residential area. Furthermore, the loss of front boundary walls facilitates the parking of vehicles in part of the property, which would adversely affect the setting of the building and the general street scene. BE10 The Council will resist any further loss of front boundary walls and conversion of front gardens into hardstanding parking areas.

The owner, however, seeks to optimise the front space without altering the external appearance and the character of the area. The proposal integrates a high-quality secured bike shed with a green roof.



The image above has the purpose of showing the green roof bike shed as the materiality of the bike shed



opposed to

No alterations (aside from the replacement of the existing beige pebble dash, with a smooth light-coloured render) are proposed at the front of the property. The proposal is in accordance with the policies BE15, BE16, BE17 & BE 18 of “Belsize Conservation Area document”. The external appearance of the house will not be affected at front elevation and the original features would be preserved.

At roof level, the proposal seeks to introduce 2x modest conservation rooflights that would allow ventilation and daylight to the existing loft space. They are considerate to be acceptable alteration that would retain the overall roof form. The front rooflights would be located towards the ridge, therefore would not be visible from the street.

There are several precedents in the area:

- 49 Glenmore Road London NW3 4DA

Application number: 2020/5732/P

Erection of rear dormer at third floor level and installation of 3 rooflights (2 to front, 1 to rear)

Granted 08-04-2021

-15 Glenmore Road London NW3 4BY

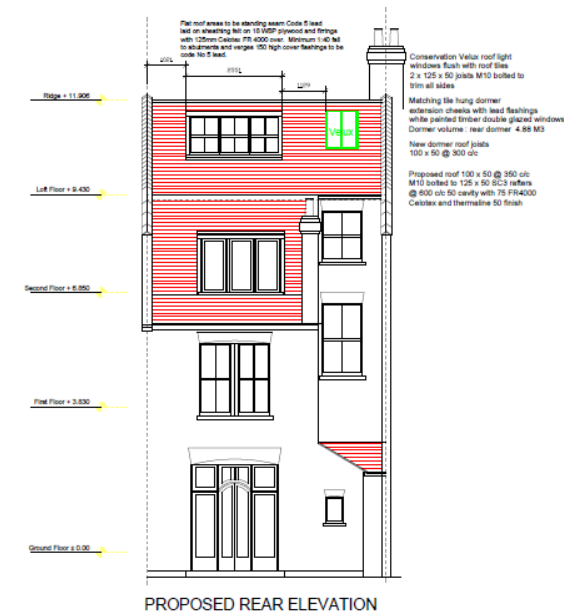
Application Number 2016/6171/P

Erection of single storey rear extension; erection of rear dormer at second floor level; installation of 3 rooflights on front roof slope and 1 on rear roof slope.

Granted 14-11-2016



PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION

REAR SIDE INFILL EXTENSION

The house has a long, narrow footprint. At the rear, there is a single-storey side infill extension which houses a WC and utility space. The quality of the extension building fabric in general, and the existing glazing is poor, and needs to be replaced. The existing ground floor main kitchen which is not sufficient in size for the growing family and has limited natural daylight and no aspect on to the garden. The proposal is to demolish the existing side extension and build a new single-storey rear extension as shown. This extension would accommodate a larger kitchen with a glazed roof above the infilled section, the resultant room would then benefit from garden views and interconnectivity. We propose to introduce a steel beam to demolish the portion wall/chimney between the new extension and room at the rear of the ground floor (the proposal retains the chimney stack externally to ensure compliance with relevant Planning and Conservation Policies). This would create a large open plan dining and kitchen space which would be proportioned for a property of this size. This space is vital for the family as they would like to have direct access between the kitchen and the garden space.

The Pre-Application Advice raised a concern regarding the amount of glazing proposed to the roof over the side infill extension and the removal of the existing door sets/fenestration to the rear garden:

4. *“Rear ground floor sloping-to-flat roof – a similar alteration was granted permission under 2017/2579/P. The glass roof would be a concern due to possible light spillage to neighbouring habitable rooms. The flat roof would be a good opportunity to introduce a green roof”*
5. *Removal of original opening to the garden – this would need to be justified as the doorway is a period feature which matches the neighbouring property which forms the other half of the pair of original rear extensions. It’s removal would not be an enhancement to*

the CA. The proposed three openings do not appear to integrate with the remainder of the rear elevation e.g. they do not reflect the form and joinery of other openings.

The proposed extension, in accordance with Policy DP24, is subordinate to the host building and respects the original design and proportions of the construction. Following the Pre-Application Advise, a solid parapet has been proposed on the side to match the neighbour's wall height at no. 51 Glenmore Road that will help to mitigate the possible light spillage to the neighbouring habitable rooms and the overall glazing portion has been reduced.

The existing rear double door is now retained as a 'period feature' respecting the local character and context in accordance with pre-Planning Advice. All windows throughout the property are to be replaced with timber white painted, double glazing. New windows are to follow the language and materiality of the host property also.

The proposed rear side extension is to be built as a masonry wall with bricks to match the existing in brick and bond.

This proposal follows the language of many side infill extensions already permitted in the area:

-55 Glenmore Road London NW3 4DA

Application Number 2018/4711/P - Erection of ground floor rear infill extension.

-29 Glenmore Road London NW3 4BY

Application Number 2018/0070/P

Erection of a single storey rear infill extension; installation of three roof lights to front and a replacement rooflight to rear of main roof.

-15 Glenmore Road London NW3 4BY

Application Number 2016/6171/P

Erection of single storey rear extension; erection of rear dormer at second floor level; installation of 3 rooflights on front roof slope and 1 on rear roof slope.

- 25 Glenmore Road London NW3 4BY

Application Number 2013/7994/P

Erection of a single storey rear infill extension following demolition of existing side extension and replacement of existing rear garden doors in connection with dwelling house.

The proposed extension would not cause detrimental effect to the mutual overlooking aspects of neighbouring properties, nor would it result in undue loss of privacy. The proposed extension will therefore have no impact on the privacy or amenities of adjoining residential properties, or the amenity space of the property itself.

REPLACEMENT OF THE DORMER AT SECOND FLOOR

The existing rear dormer is in poor conditions and the owner seeks to improve the internal arrangement to improve the usability of this existing space.

For this reason, the dormer is proposed to be replaced and built with high-quality materials. The dormer is pushed further along the existing roof to fit a standard double bed with an En-suite, as per many precepts approved in the area.

Please refer to the aerial picture below:



The Pre-application report stated:

“Second floor dormer: the character and period style of the property would suggest a less horizontal design as an appropriate solution, set in from the sides of the roof, and responding to the existing building lines. Dormers should provide light rather than headroom;

Following the Pre-Application Advice, the proposed dormer has been reduced in size (width). It sits deeper on the roof slope than the existing dormer, in accordance with several local precedents & in keeping with the style and character of the area. The fenestration proposed is in keeping with the style and the character of the surrounding and remains subservient to the overall mass and volume of the house. The proposed dormer extension will not be visible from the street or other public areas, as such not compromising the character of the area.

The second-floor dormer is designed to be sympathetic in proportion and materiality to the architecture of the property and other second floor dormer extensions along Glenmore Road. The cladding would be in natural slate to match the existing roof, whereas the fenestration is being re-designed in accordance with the proportions of the property. The dormer is also set back substantially from the eaves and ridge of the existing roof to ensure a suitable volumetric proposal is made.

CONVERSION OF THE EXISTING ATTIC INTO HABITABLE SPACE AND INTRODUCTION OF A DORMER

The existing staircase is going to be removed and rearranged throughout to improve the internal flow . A separate staircase is connecting the loft space that would be used as a home-office and a study space for the kids. In order to increase the amount of natural light below, we suggested to replace the existing rooflight which is in poor conditions with a conservation rooflight, and located it above the staircase.

Following the Planner's suggestions regarding the proposed dormer (please see below for reference) the design has been modified in strict accordance with all guidance provided.

“Third floor dormer: based on recent planning and appeal decisions (e.g. 2020/5732/P) the principle of an upper dormer would appear to be acceptable. The proposed dormer is larger than the proposed second floor dormer even though it's at a higher level where a smaller opening would be expected. The proposed dormer appears oversized and excessively horizontal in design. It is located extremely close to the side and ridge of the roof – to be acceptable it should be set down from the ridge and the sides of the roof and should respond more to the character/ style/ building lines of the host building”

The proposed loft is contained within the existing pitch roof and does not alter the existing ridge level. The addition of a dormer increases the daylight and improve the liveability of the space. The proportions of the proposed dormer extension have been reduced following the Pre-Application Advice to ensure our proposal is compliant throughout. The proposed dormer is now positioned sufficient distances away from the edge of the roof and from the side ridge in strict accordance with the Pre-Application consultation. The massing and positioning of the dormer extension were carefully designed to ensure no overlooking occurs to existing windows or roof lights of the neighbouring properties. The dormer would comprise two windows with traditional glazing bars and have slim cheeks,

resulting in an elegant, lightweight appearance. The dormer cheeks would be tile hung to match the roof with lead flashings and white painted timber windows.

It is important to highlight that the dormers are only visible in limited private views from 'above ground' windows of properties opposite. Furthermore, this dormer is considered to be sympathetic to the host building.

The proposal is in accordance with be26, be27 & be 28 of the Belsize Conservation Area Guidance.

Please find below the Planning History of the Area:

-Flat D 31 Glenmore Road LONDON NW3 4BY

Application Number 2018/0769/P

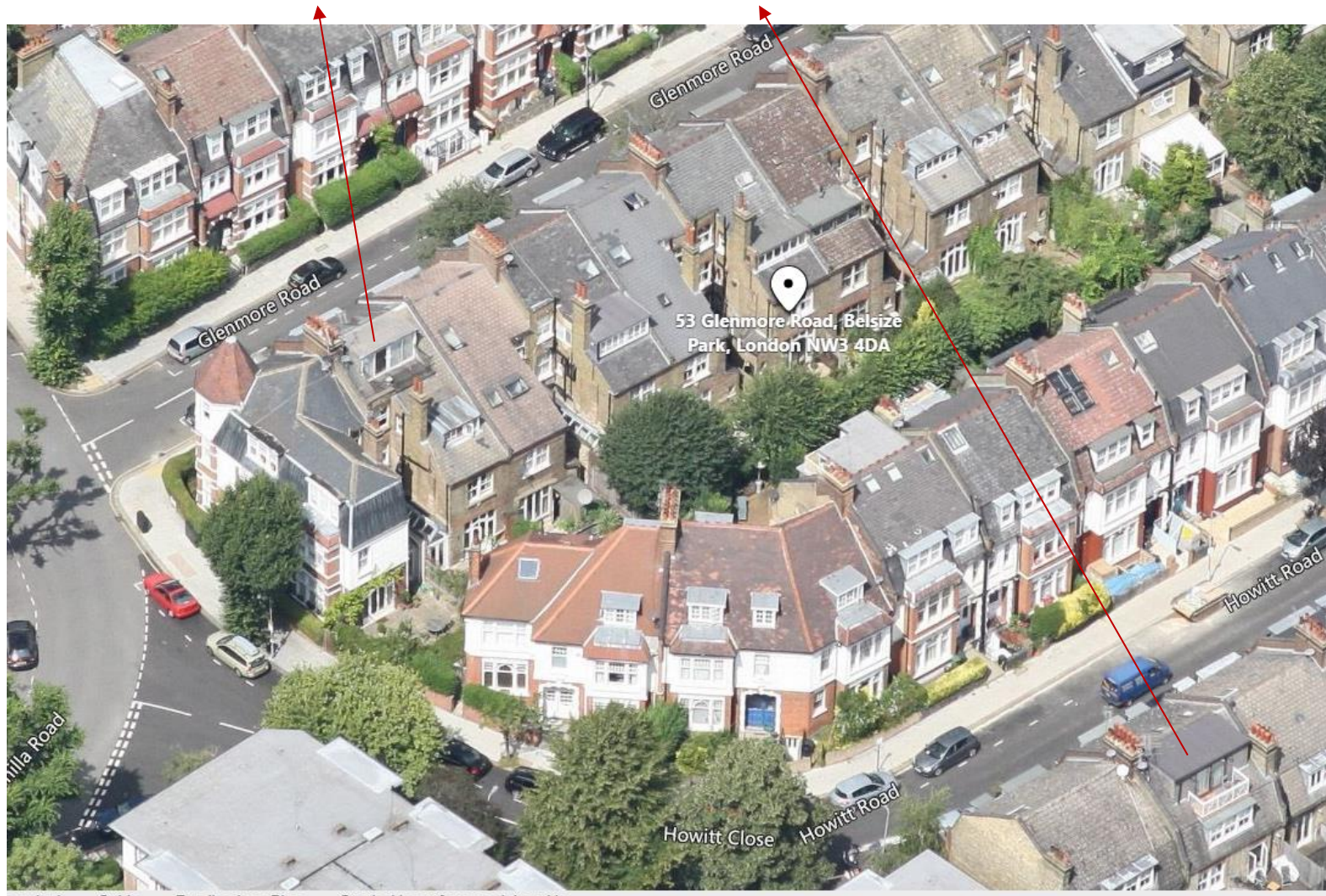
Erection of rear dormer and installation of 2x additional rooflights to front roof slope.

-35 Glenmore Road London NW3 4DA

Application Number 2015/6326/P

Construction of a second-floor rear dormer and rooflights to the front and rear elevations.

Precedents Rear Dormer approved and built in the area.



4. THE ACCESS

There is no change to the existing access from the street to the property and each 'dwelling' benefits from their own privatised entrance.

5. TREES AND LANDSCAPING

The excavation of the rear lightwell does not compromise the value of the rear garden and it does not result in any loss of trees or valuable plant ensuring the preservation of the green character of the area.

No significant trees will be affected by this development.

6. CONCLUSION

The proposed alterations to the dwelling are to improve the living conditions of a young and growing family and will be sympathetic with the existing and in line with numerous extensions already permitted in the area. The proposed changes respect the significance of the site and the context of its location within the Conservation Area and are fully compliant with all Pre-Application Advice provided.

RJHArchitecture and our client are devoted to ensuring a considered and appropriate development is proposed and would welcome dialogue with the appointed Planning & Conservation Officer.