

2X CONSERVATION ROOFLIGHT AT THE FRONT
TO ENSURE NATURAL LIGHT AND VENTILATION TO THE LOFT

NO ALTERATION PROPOSED AT THE FRONT OF THE
PROPERTY THE PROPOSAL IS IN ACCORDANCE WITH
THE POLICIES BE15, BE16, BE17 & BE 18 OF "BELSIZE
CONSERVATION AREA DOCUMENT". THE OWNER
SEEKS TO PAINT IN WHITE THE EXISTING RENDER ON
THE FACADE TO IMPROVE THE EXTERNAL
APPEARANCE OF THE HOUSE TO BLEND IT WITHIN THE
CONTEXT. HOWEVER THIS WILL NOT AFFECT STATE OF
THE ORIGINAL FEATURES THAT WOULD BE PRESERVED
AS ANNOTATED THROUGHOUT THE PROPOSED
DRAWING SETS.

THE EXISTING WINDOW TO BE REMOVED TO FORM A
SECURE AND PRIVATE DOOR ENTRANCE WITH A SIDE
WINDOW, RETAINING THE ORIGINAL EXTERNAL
FEATURES

EXISTING LIGHTWELL LEVEL TO BE LOWERED WITH
ADDITIONAL STEPS TO BE ADDED TO THE EXISTING
STAIRCASE EXTERNALLY TO ENSURE A SUITABLE
INTERNAL HEAD HEIGHT IS PROVIDED INTERNALLY.

EXISTING DOOR TO BE REMOVED AND
REPLACED WITH A HIGH LEVEL WINDOW TO
ENSURE VENTILATION



DISCLAIMER:

Dimensions to be verified on site. Only figured dimensions to be used and any discrepancies in dimensions are to be reported to RJHA. No dimensions are to be scaled from printed drawings. Any areas indicated on this drawing are for guidance only. No responsibility is taken for their accuracy.

There is a risk of injury or death in construction if works are not properly planning and supervised. The contractor must not undertake any elements of the work without first having carried out the necessary risk assessments and prepare detailed method statements.

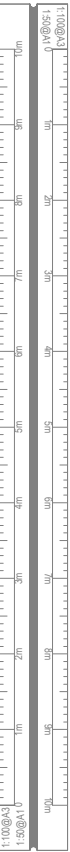
NOTES

STAGE

PLANNING

KEY

SCALE RULE



REV.	DESCRIPTION:	BY	DATE
P-	ISSUED	CM	12.10.2021

RICHARD JAMES HASTINGS ARCHITECTURE			
A: 26 ADAM AND EVE MEWS, W8 6UJ. E: CONTACT@RJHARCHITECTURE.COM			
Client	MR & MRS CADISH		
Address	53 GLEMORE ROAD NW3 4DA		
TITLE	SECTION BB AS PROPOSED		
DRAWING	2105_02-31		
REV.	P-	SCALE	AS STATED
STATUS	PLANNING	DRAWN	CM
DATE	12.10.2021	CHECKED	RJH