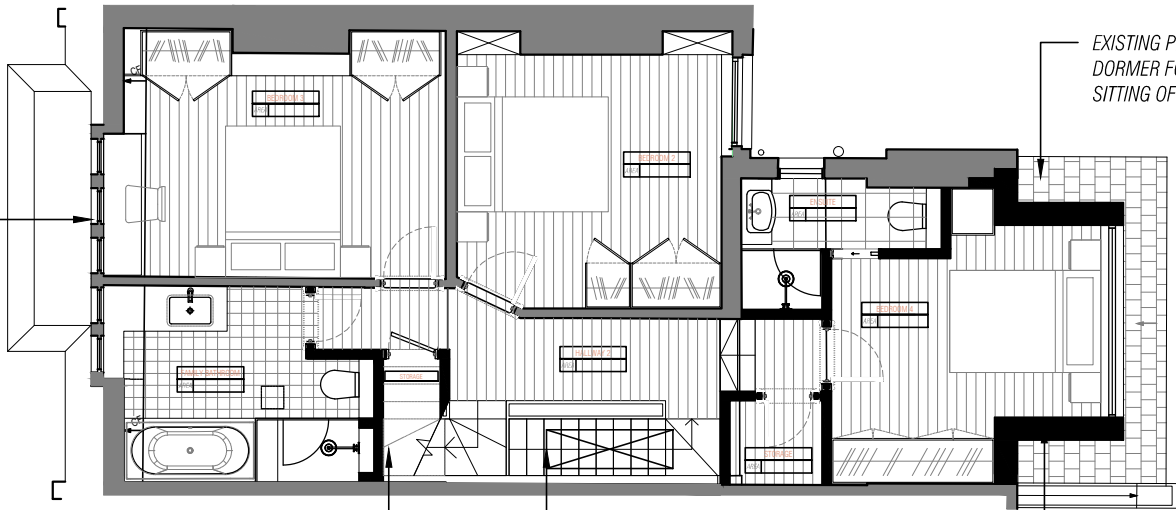


NO ALTERATION PROPOSED AT THE FRONT OF THE PROPERTY THE PROPOSAL IS IN ACCORDANCE WITH THE POLICIES BE15, BE16, BE17 & BE 18 OF "BELSIZE CONSERVATION AREA DOCUMENT". THE OWNER SEEKS TO PAINT IN WHITE THE EXISTING RENDER ON THE FACADE TO IMPROVE THE EXTERNAL APPEARANCE OF THE HOUSE TO BLEND IT WITHIN THE CONTEXT. HOWEVER THIS WILL NOT AFFECT STATE OF THE ORIGINAL FEATURES THAT WOULD BE PRESERVED AS ANNOTATED THROUGHOUT THE PROPOSED DRAWING SETS.



EXISTING PITCHED ROOF TO BE RETAINED WITH THE IMPROVED DORMER FORMED WITHIN; THIS ENSURE SUBSERVIENCE AND GENTLE SITTING OF THE PROPOSAL

THE EXISTING REAR DORMER IS IN POOR CONDITIONS, THE PROPOSAL SEEKS TO IMPROVE THE EXTERNAL APPEARANCE AND THE INTERNAL FUNCTION OF THE HOME THROUGHOUT. FOLLOWING THE PRE-APPLICATION ADVICE, THE PROPOSED DORMER HAS BEEN REDUCED IN SIZE AND IT SITS FURTHER ALONG THE EXISTING ROOF SLOPE THAN THE EXISTING, IN ACCORDANCE WITH SEVERAL LOCAL PRECEDENTS. THE ROOF DORMER REMAINS SUBSERVIENT TO THE OVERALL MASS AND VOLUME OF THE HOUSE.

ALL WINDOWS THROUGHOUT THE PROPERTY ARE TO BE REPLACED WITH TIMBER WHITE PAINTED, DOUBLE GLAZING. NEW WINDOWS ARE TO FOLLOW THE LANGUAGE AND MATERIALITY OF THE HOST PROPERTY ALSO.

PROPOSED ROOFLIGHT OVER STAIRCASE

PROPOSED SEPARATE STAIRCASE TO ACCESS THE LOFT SPACE



DISCLAIMER:

Dimensions to be verified on site. Only figured dimensions to be used and any discrepancies in dimensions are to be reported to RJHA. No dimensions are to be scaled from printed drawings. Any areas indicated on this drawing are for guidance only. No responsibility is taken for their accuracy.

There is a risk of injury or death in construction if works are not properly planning and supervised. The contractor must not undertake any elements of the work without first having carried out the necessary risk assessments and prepare detailed method statements.

NOTES

GA UNIT 1 (Basement): 67,55 SQM

GA UNIT 2 (GF,FF,SF,Loft): 203,13 SQM

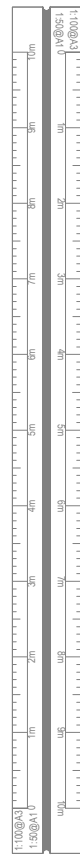
STAGE

PLANNING

KEY

- EXISTING WALL
- PROPOSED WALL
- WOODEN FLOOR
- STONE/TILE FLOOR

SCALE RULE



REV.	DESCRIPTION:	BY	DATE
P-	ISSUED	CM	12.10.2021

RICHARD JAMES HASTINGS ARCHITECTURE			
A: 26 ADAM AND EVE MEWS. W8 6UJ. E: CONTACT@RJHARCHITECTURE.COM			
Client	MR & MRS CADISH		
Address	53 GLEMORE ROAD NW3 4DA		
TITLE	SECOND FLOOR PLAN AS PROPOSED		
DRAWING	2105_02-12		
REV.	-	SCALE	AS STATED
STATUS	PLANNING	DRAWN	CM
DATE	12.10.2021	CHECKED	RJH