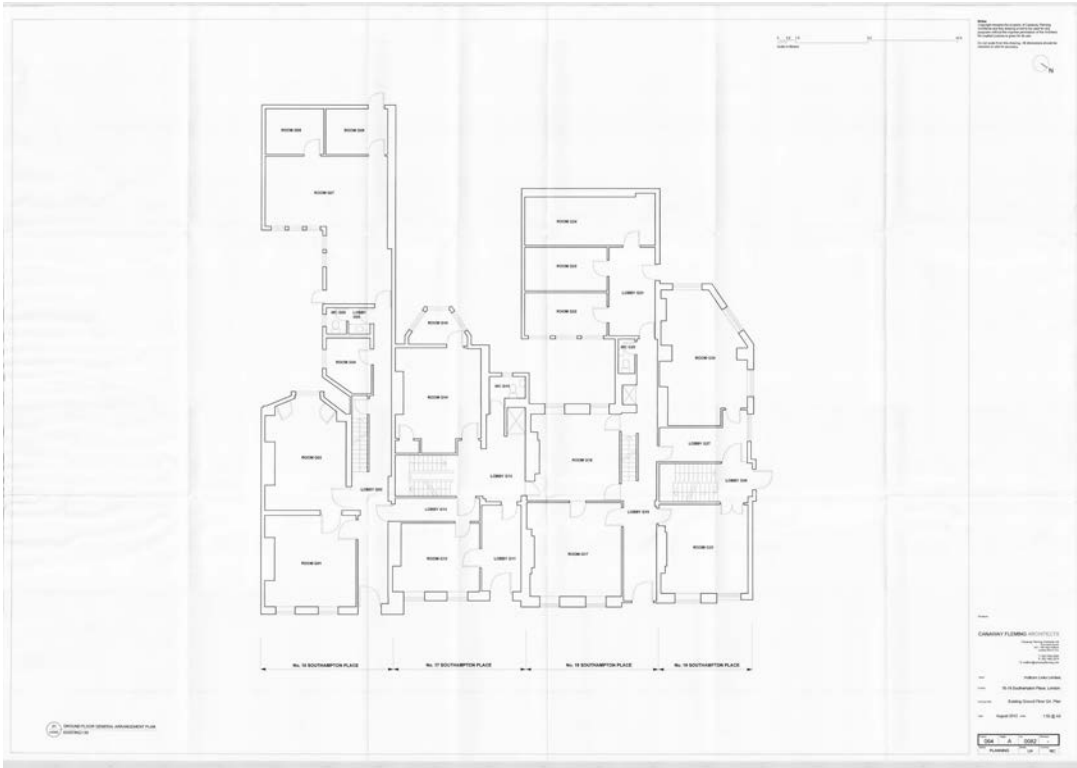


2.5 Previous Planning and Listed Building Consents - 2010

The Planning Application in 2010 was submitted to change the use of the existing offices (Class B1a) in 16-19 Southampton Place to flexible office (Class B1a) and non-residential institution (Class D1). The application was to establish the change of use in principle prior to supplementary applications to alter the building into usage as a language school. In this application there was to be no internal or external alterations, though number 18 was to be given the provision of cycle storage at ground floor level. This however did not alter any fabric.



16-19 Southampton Place, London WC1A 2AJ

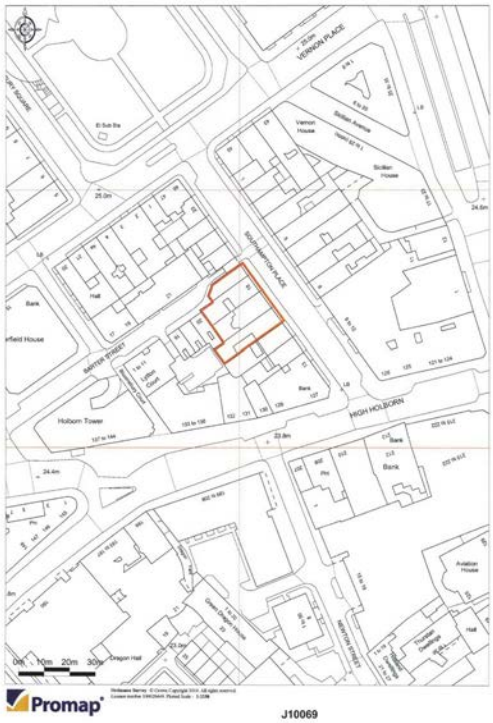


Figure 32 (Above, Left) - Basement Floor Plan, as Existing (Canaway Fleming Architects, 2010).

Figure 33 (Above, Right) - Ground Floor Plan, as Existing (Canaway Fleming Architects, 2010).

Figure 34 (Below, Left) - Location Plan, as Existing (Canaway Fleming Architects, 2010).

Figure 35 (Below, Middle) - First and Second Floor Plan, as Existing (Canaway Fleming Architects, 2010).

Figure 36 (Below, Right) - Third and Fourth Floor Plan, as Existing (Canaway Fleming Architects, 2010).

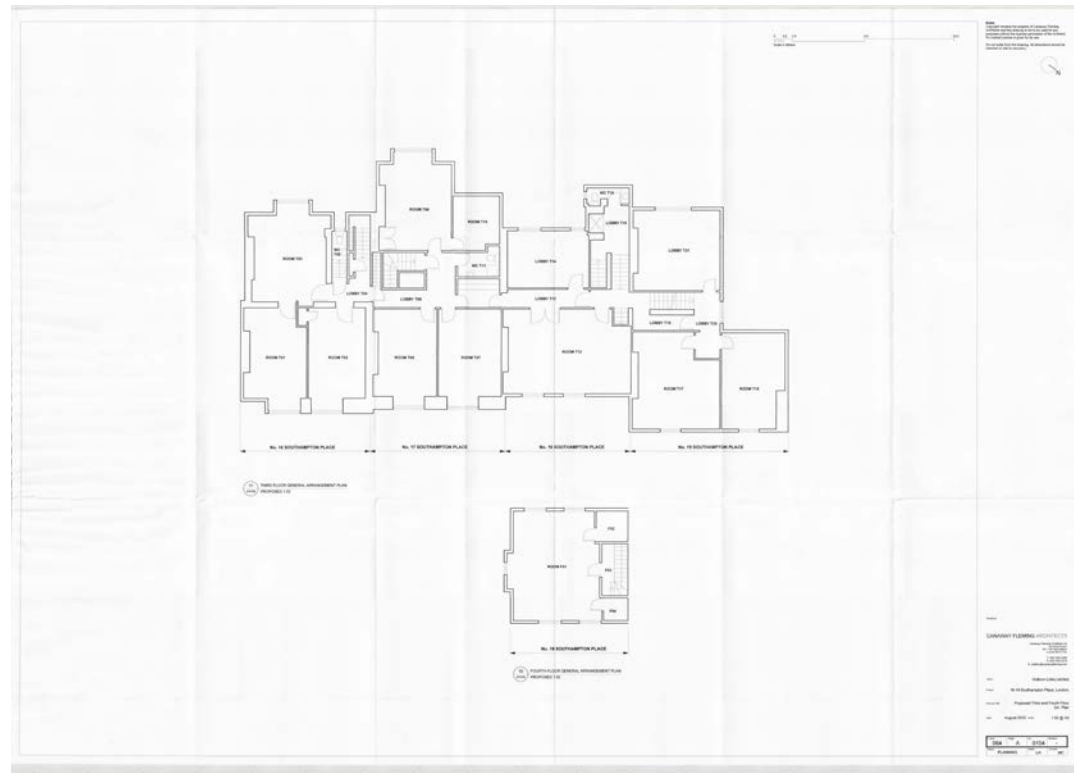
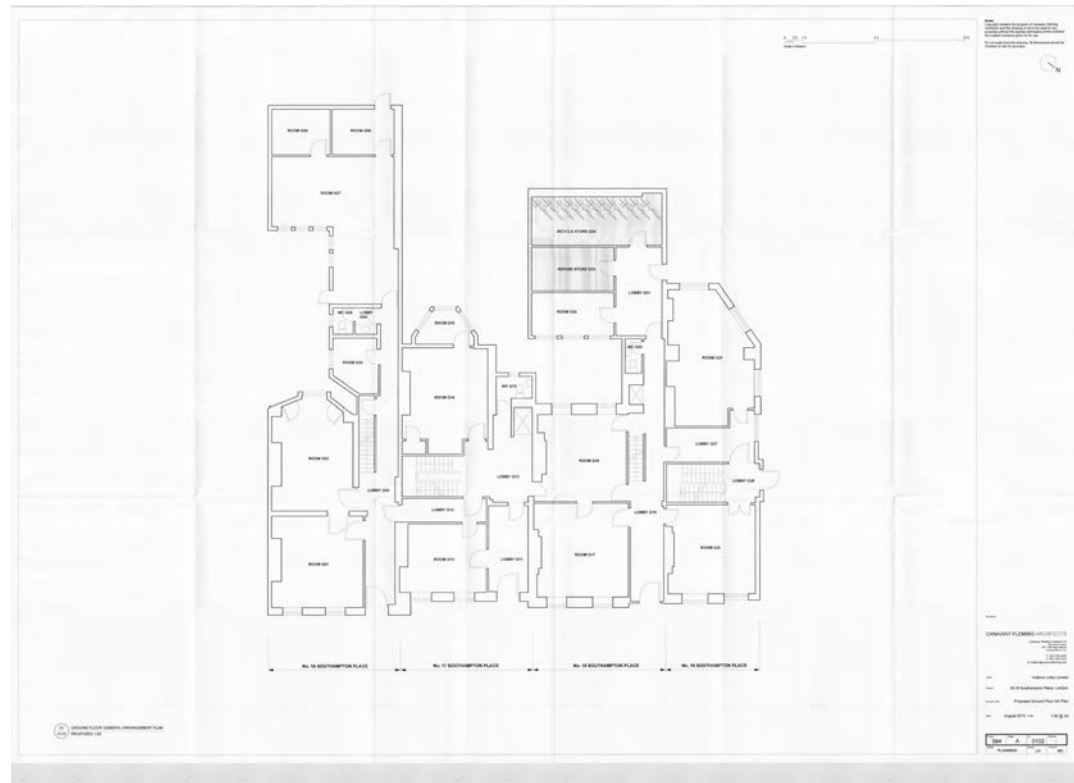
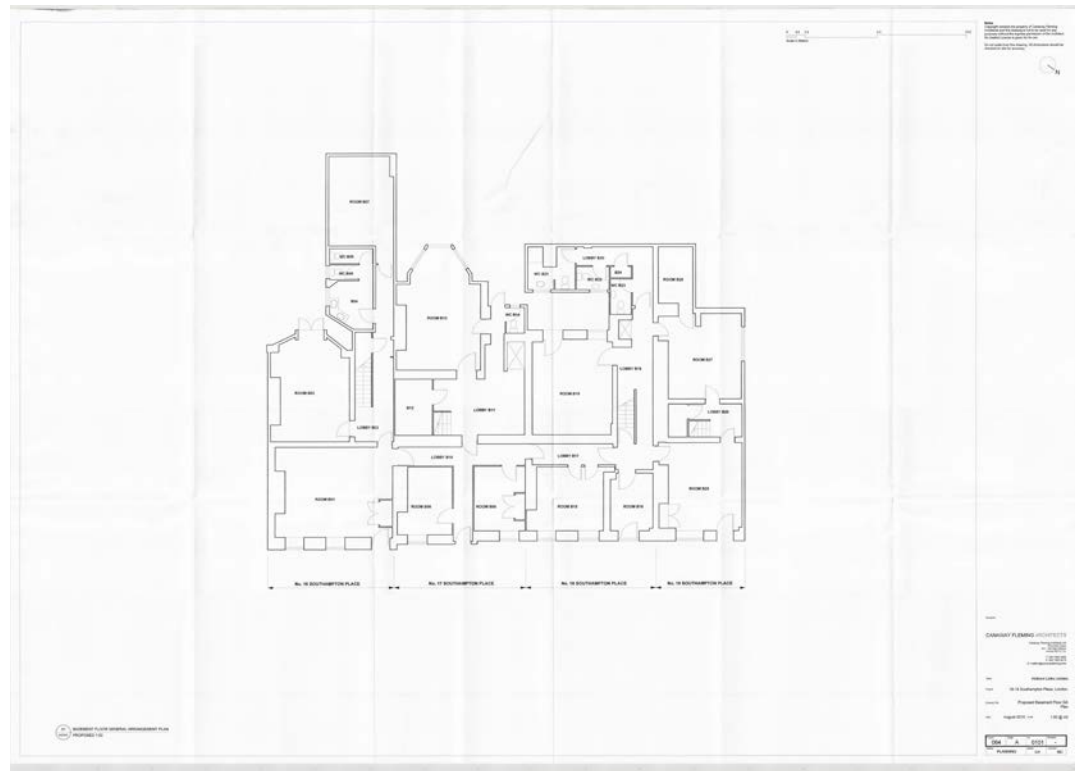


Figure 37 (Above, Left) - Basement Floor Plan, as Proposed (Canaway Fleming Architects, 2010).

Figure 38 (Above, Right) - Ground Floor Plan, as Proposed (Canaway Fleming Architects, 2010).

Figure 39 (Below, Left) - First and Second Floor Plan, as Proposed (Canaway Fleming Architects, 2010).

Figure 40 (Below, Right) - Third and Fourth Floor Plan, as Proposed (Canaway Fleming Architects, 2010).

2.6 Previous Planning and Listed Building Consents - 2011 (1073)

The 2011 proposals (Ref: 2011/1073/P) were primarily concerned with alterations to No. 16 Southampton Place, though Nos. 18 and 19 were associated with provision of a number of repairs, as well as the input of several AC units to replace radiators. It was noted that the new pipe runs to the AC units would cause minor damage to the historic floor, and also noted that repair to the historic boards could be supplemented in plywood. The proposals as a whole looked at the erection of a new single storey rear extension to no.16; replacement of windows; internally refurbishment including new doors, installation of A/C units, light fittings and the removal of partitions, along with associated repairs/refurbishment to windows, elevations and roof area.

Additionally, the proposal converted these buildings from office space into a language school.

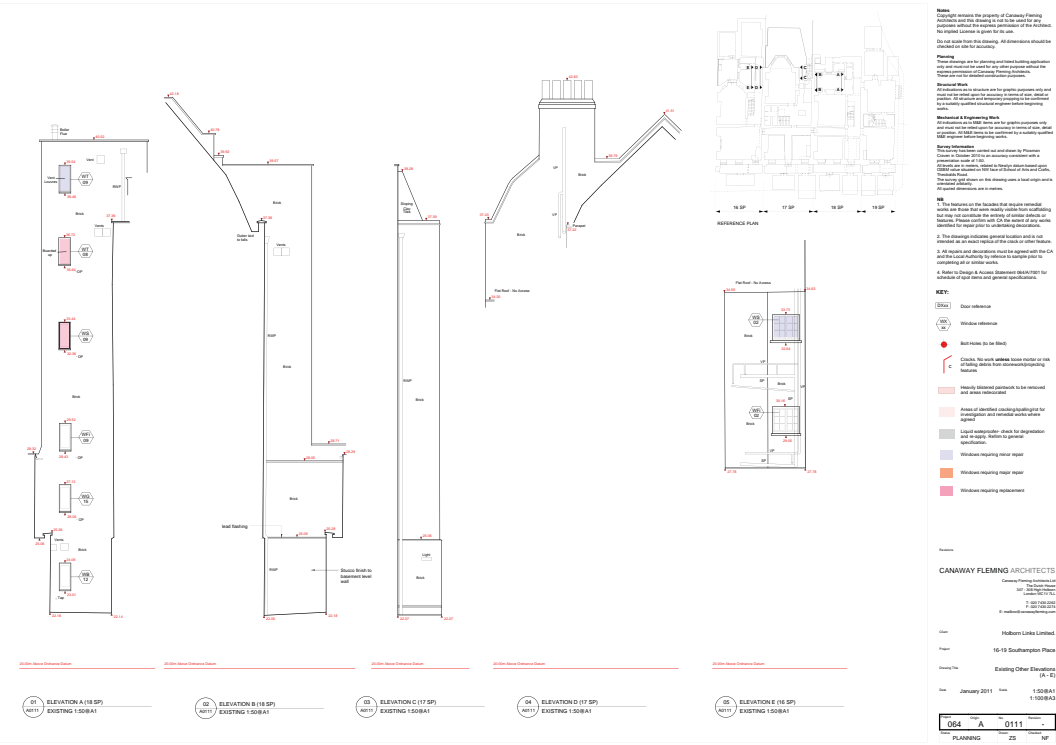
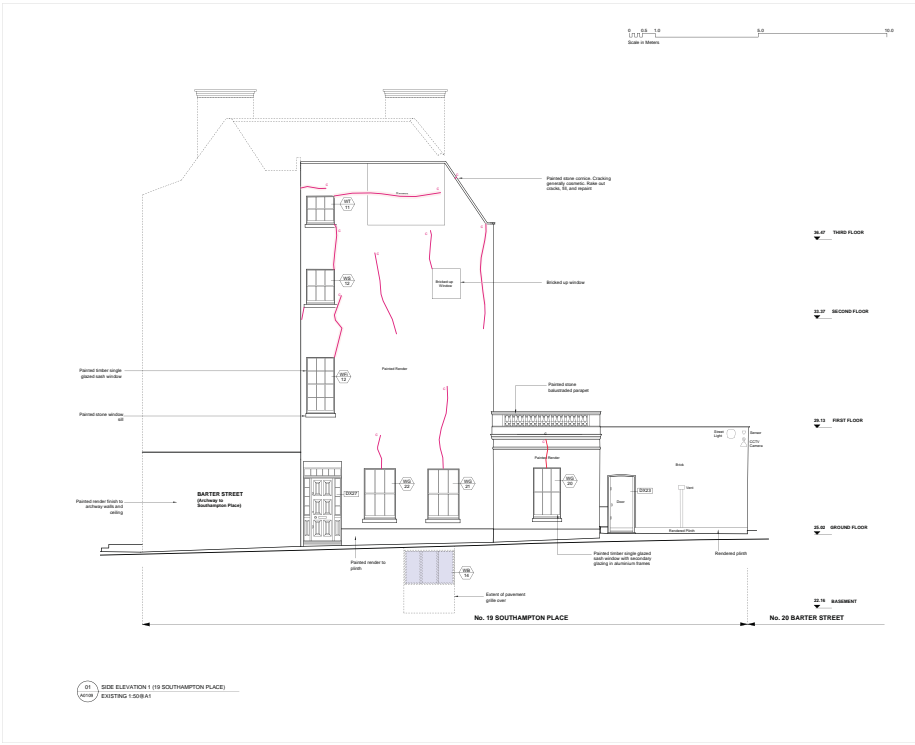
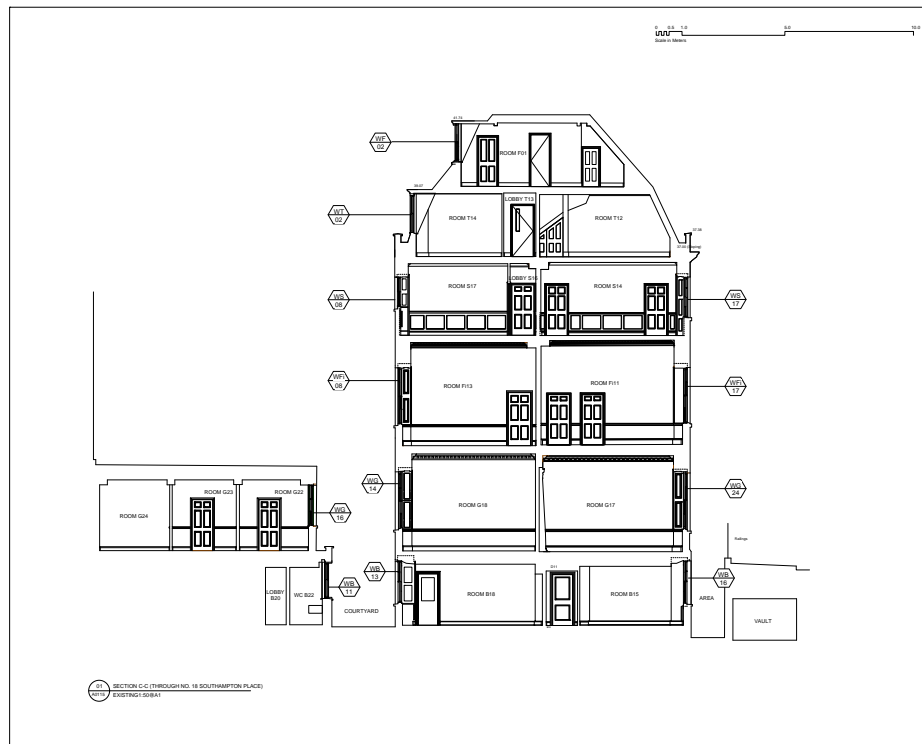


Figure 41 (Above, Left) - Front Elevation, as Existing (Canaway Fleming Architects, 2011).
Figure 42 (Above, Right) - Back Elevation, as Existing (Canaway Fleming Architects, 2011).
Figure 43 (Below, Left) - No. 19, Side Elevation, as Existing (Canaway Fleming Architects, 2011).
Figure 44 (Below, Right) - Other Elevations, as Existing (Canaway Fleming Architects, 2011).



Notes:
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Building Information:
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Key:
1. White walls

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January 2011
1:500B/A1
1:100B/A3



Notes:
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Planning:
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January 2011
1:500B/A1
1:100B/A3

Figure 45 (Left) - Section C-C, as Existing (Canaway Fleming Architects, 2011).
Figure 46 (Right) - Section D-D, as Existing (Canaway Fleming Architects, 2011).

2.7 Previous Planning and Listed Building Consents - 2011 (2632)

This Application (Ref: 2011/2632/L) was primarily concerned with the previously noted application in order to discharge a number of conditions. As above, these alterations were mostly focused on No. 16, though some of these alterations were found within Nos. 18 and 19.

Concerning Nos. 18 and 19, radiators were removed throughout, though it is not clear if they sought consent for AC units in their place within this application as these are not noted on the plans for these areas. At Basement level a non-historic partition was removed, and similarly at Ground floor level a partition that had been added at some stage between 1988 and 2010 separating the rear room of No. 19 to form a corridor was also removed. At 1st floor the front room of No. 18 had its partition removed, a change that was also made at 2nd floor in the same area. Further non-historic partitions were removed at 2nd floor level, such as the corridor to the front room of No. 19, as well as the partition corridor to the rear room of No. 18. This change was also echoed at 3rd floor in No. 18.

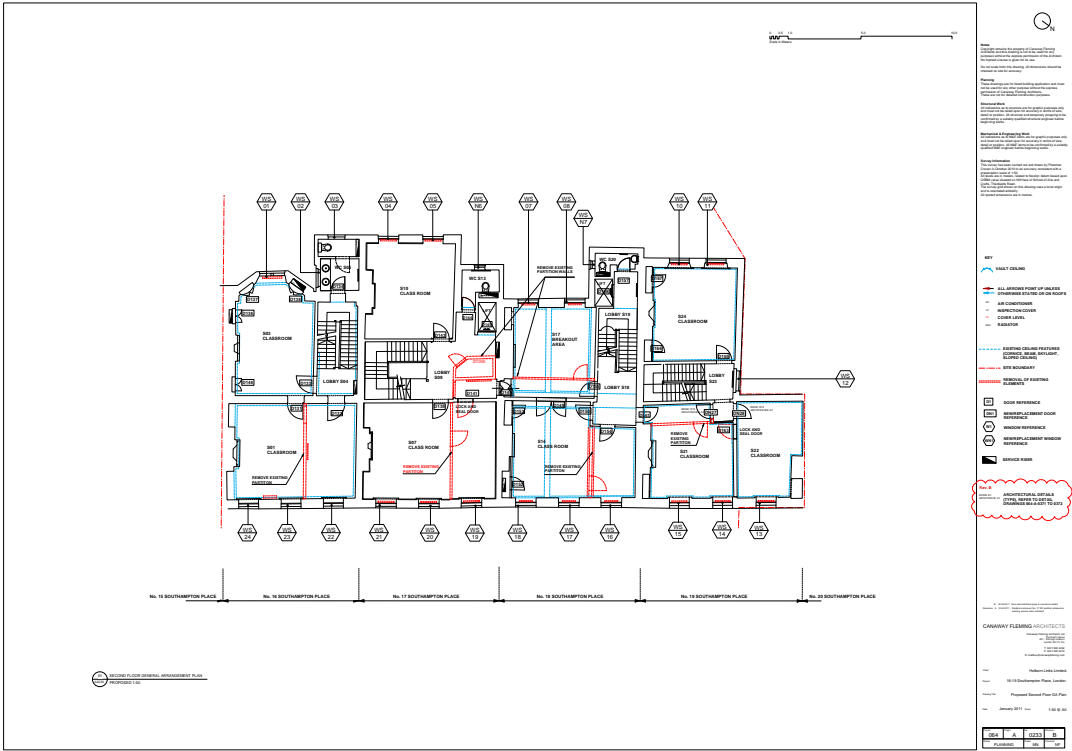
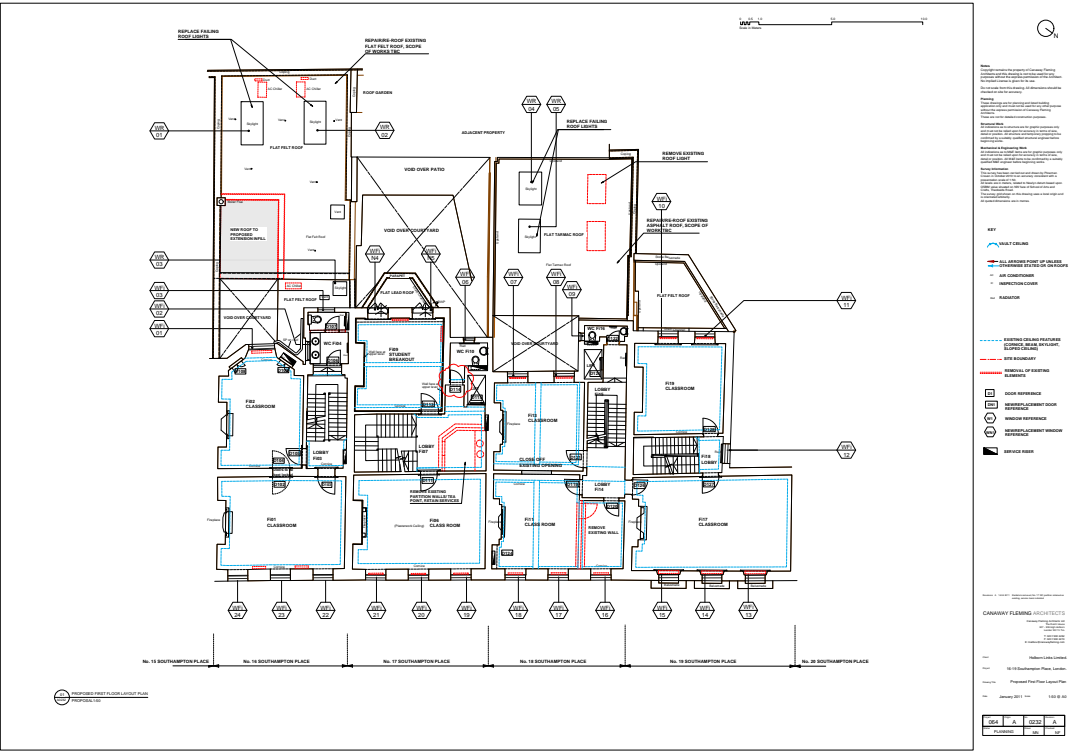
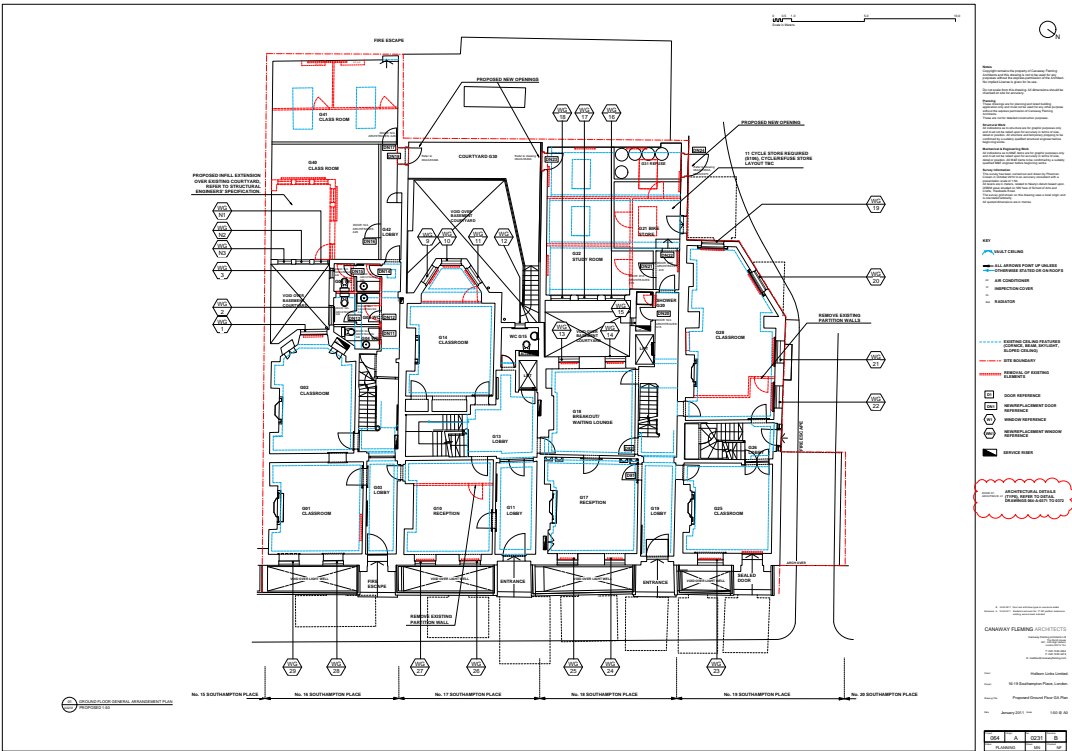
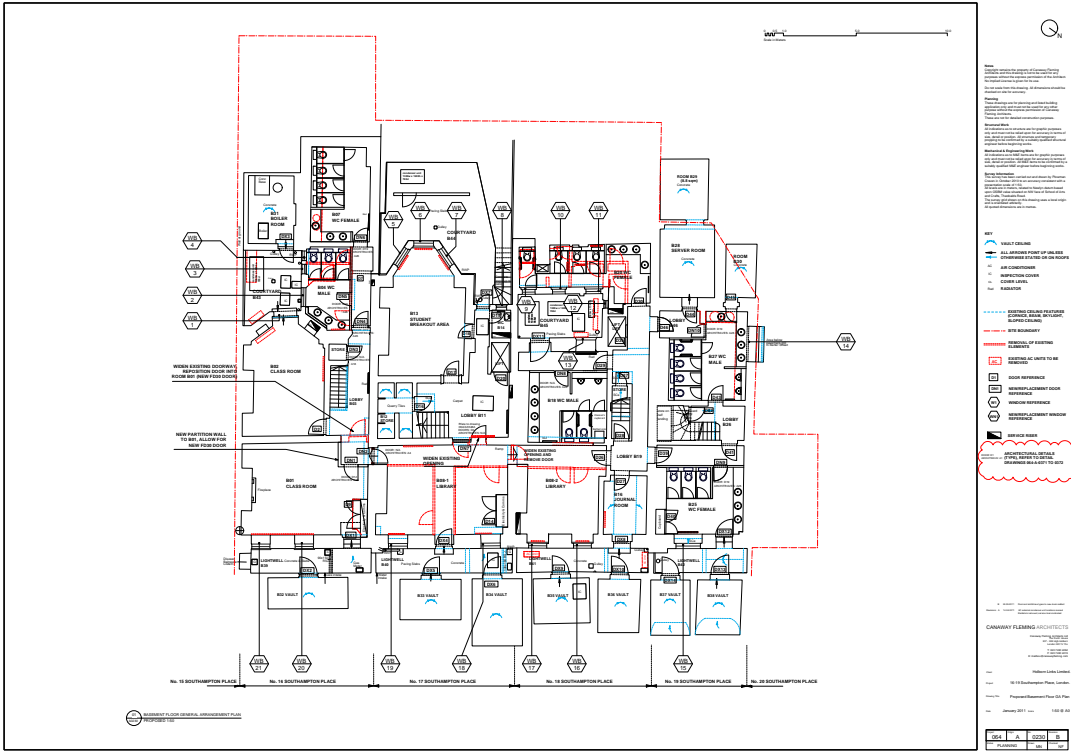


Figure 47 (Above, Left) - Proposed Basement Floor Plan (Canaway Fleming Architects, 2011).
Figure 48 (Above, Right) - Proposed Ground Floor Plan (Canaway Fleming Architects, 2011).
Figure 49 (Below, Left) - Proposed First Floor Plan (Canaway Fleming Architects, 2011).
Figure 50 (Below, Right) - Proposed Second Floor Plan (Canaway Fleming Architects, 2011).

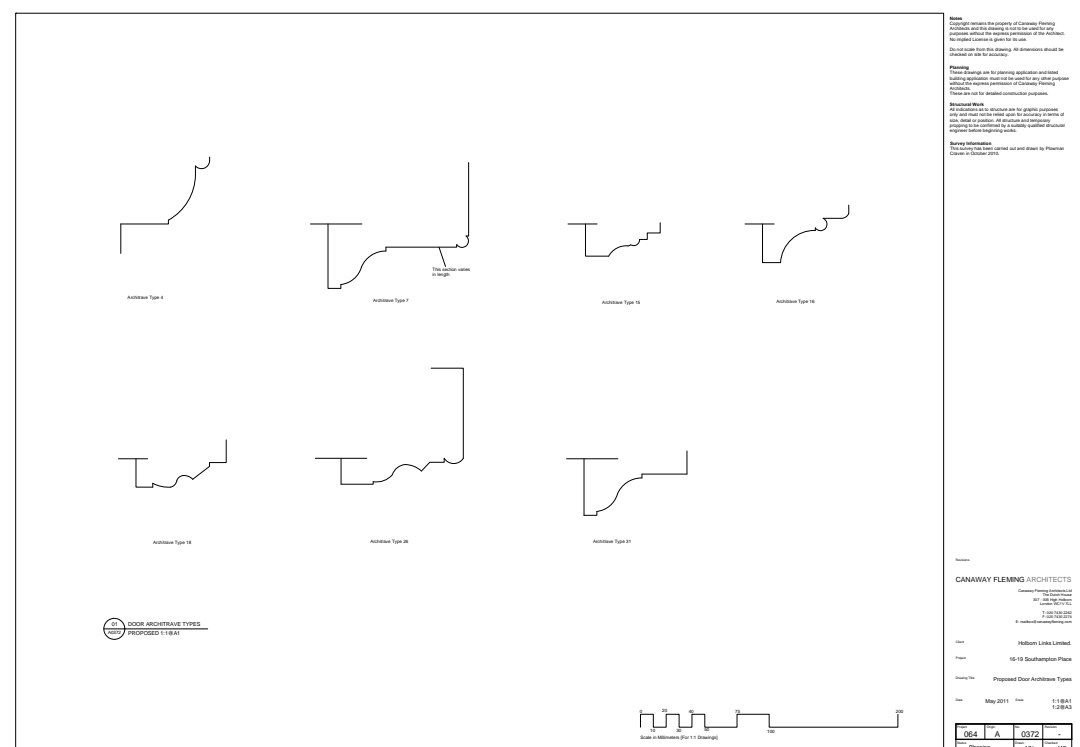
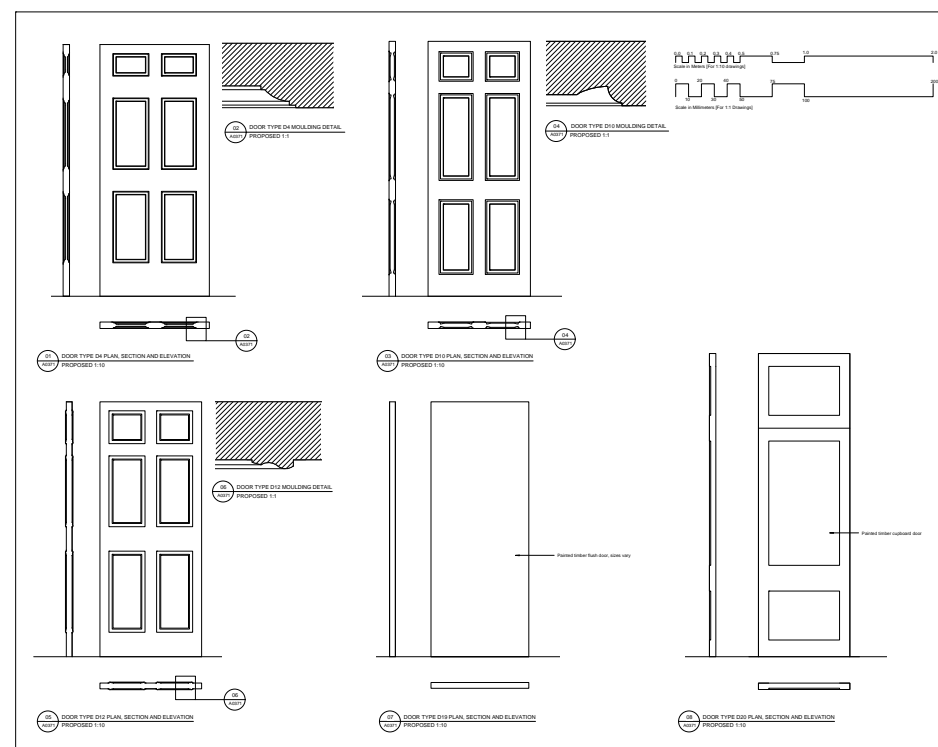
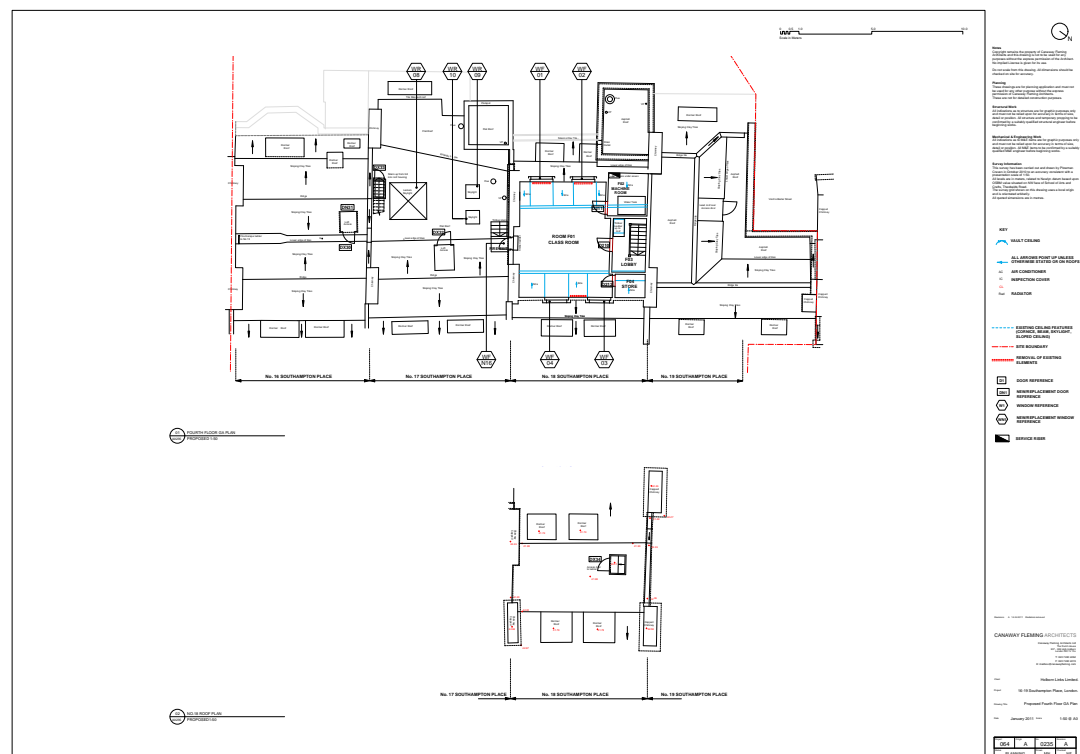
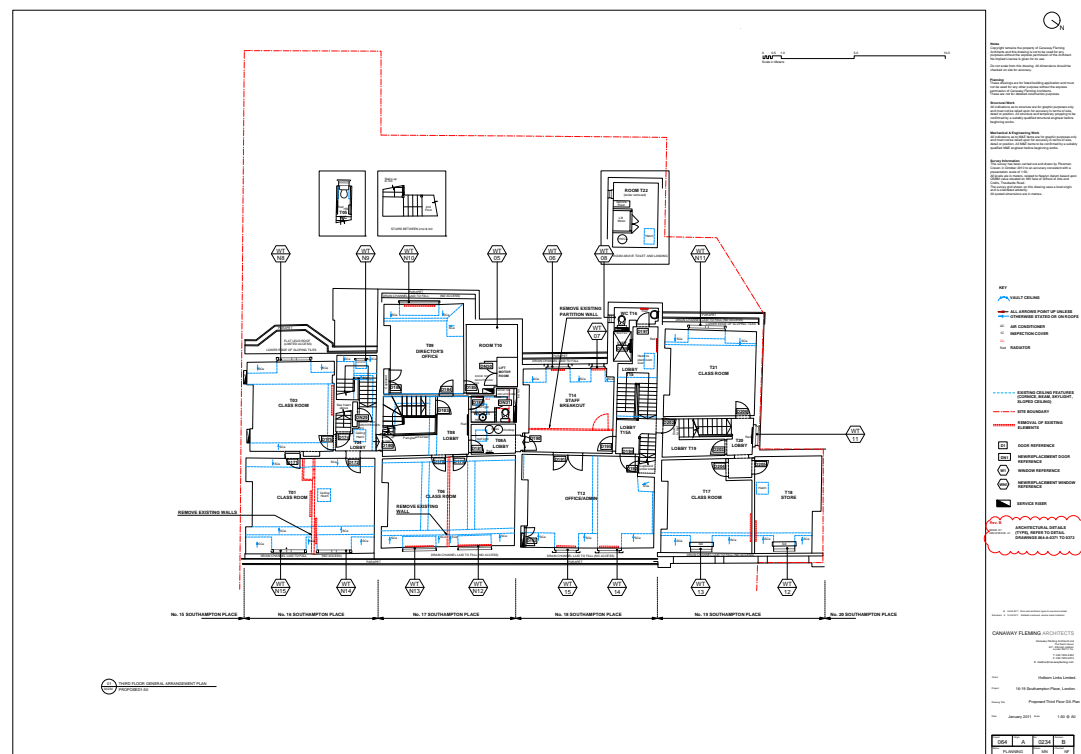


Figure 51 (Above, Left) - Proposed Third Floor Plan (Canaway Fleming Architects, 2011).
 Figure 52 (Above, Right) - Proposed Fourth Floor Plan (Canaway Fleming Architects, 2011).
 Figure 53 (Below, Left) - Proposed New Doors (Canaway Fleming Architects, 2011).
 Figure 54 (Below, Right) - Proposed New Door Architraves (Canaway Fleming Architects, 2011).

2.8 Previous Planning and Listed Building Consents - 2012 (500)

As with the above application, this application (Ref: 2012/0500/L) sought to add minor alterations to the previously application (Ref: 2011/1075/L). These alterations included a number of changes to the basement WC facilities, which in itself is a modern addition and does not cause additional harm to the historic fabric. This application also sought to detail locations of AC units within the ground and 1st floor of Nos. 18 and 19 Southampton Place.



Figure 55 (Above, Left) - Basement Floor Plan, as Currently Approved (Canaway Fleming Architects, 2012).

Figure 56 (Above, Right) - Basement Floor Elevations, as Currently Approved (Canaway Fleming Architects, 2012).

Figure 57 (Below, Left) - Basement Floor Plan, as Proposed (Canaway Fleming Architects, 2012).

Figure 58 (Below, Right) - Basement Floor Elevations, as Proposed (Canaway Fleming Architects, 2012).

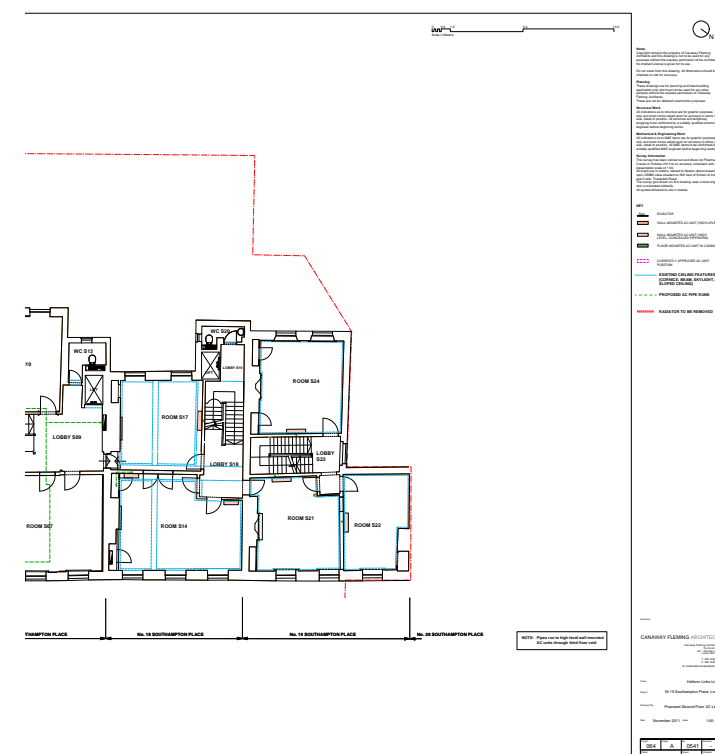
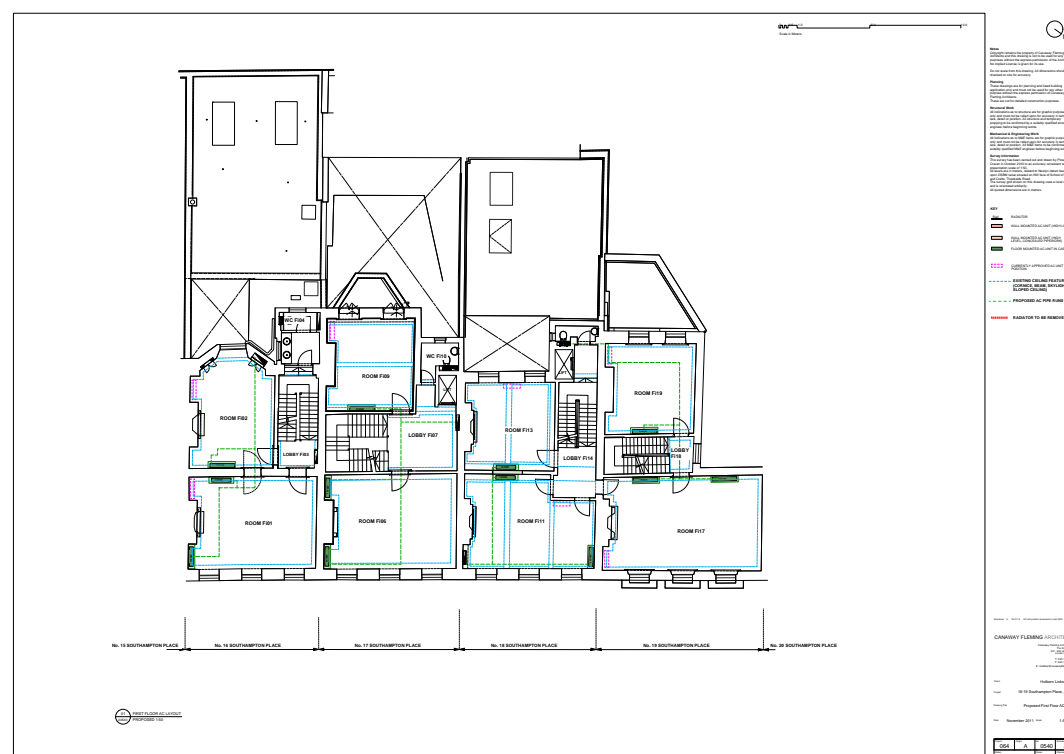
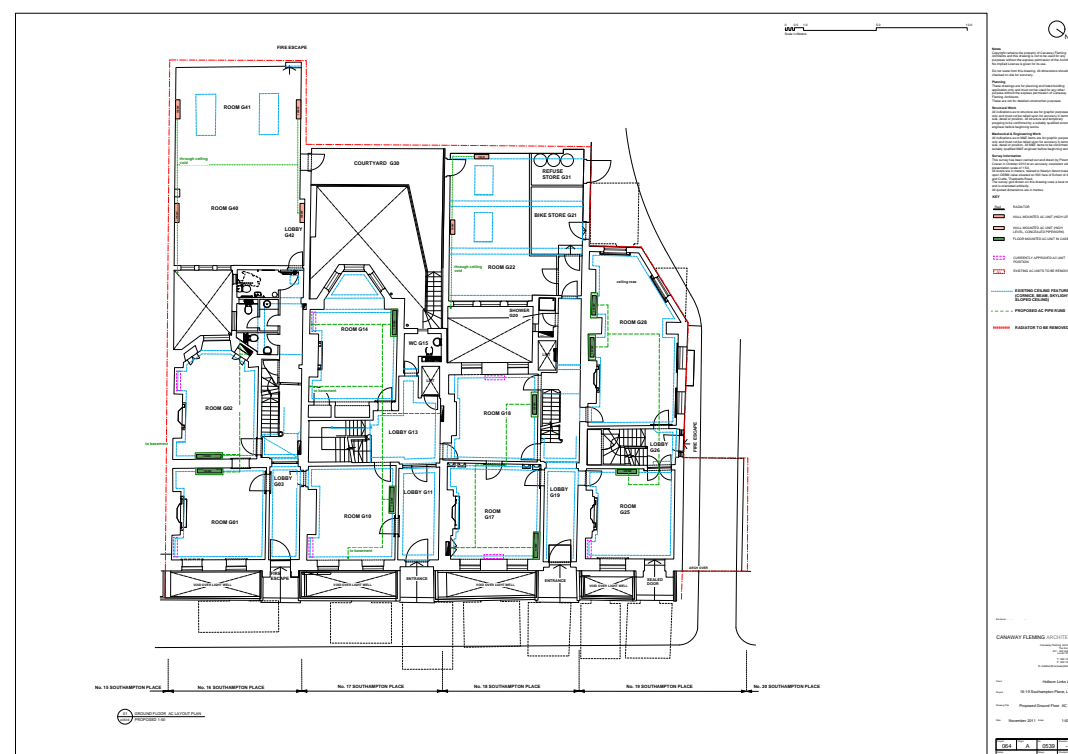
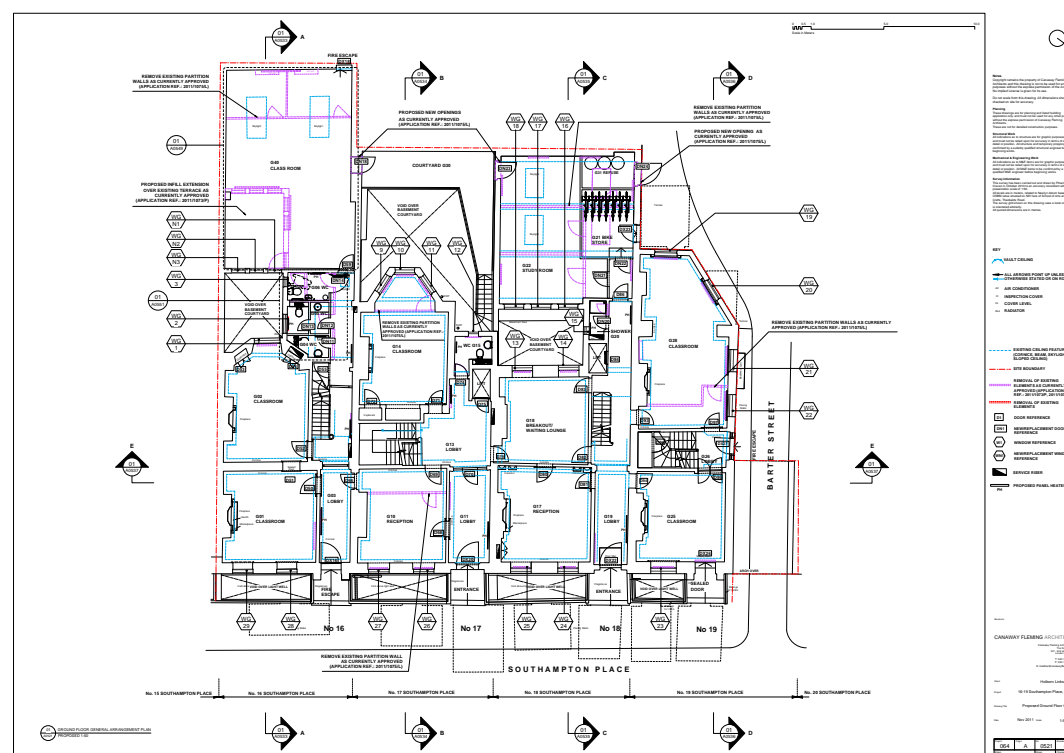
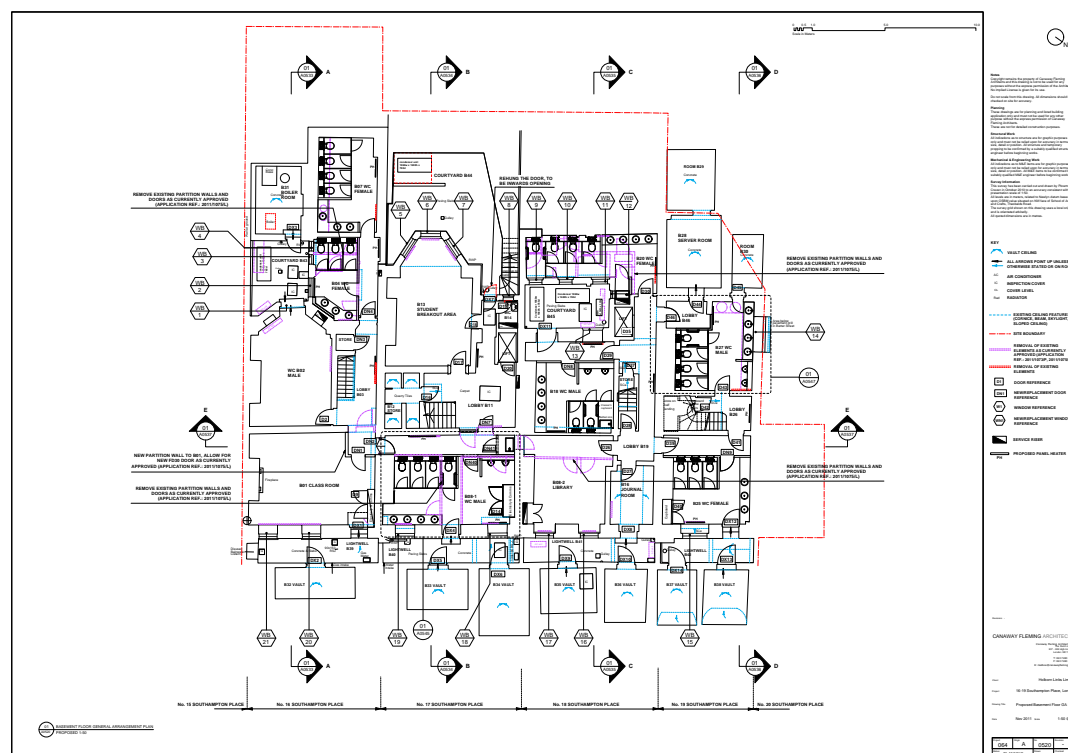


Figure 59 (Above, Left) - Basement Floor Plan, GA, as Proposed (Canaway Fleming Architects, 2012).
 Figure 60 (Above, Right) - Ground Floor Plan, GA, as Proposed (Canaway Fleming Architects, 2012).
 Figure 61 (Below, Left) - Ground Floor Plan, AC Layout, as Proposed (Canaway Fleming Architects, 2012).
 Figure 62 (Below, Middle) - First Floor Plan, AC Layout, as Proposed (Canaway Fleming Architects, 2012).
 Figure 63 (Below, Right) - Second Floor Plan, AC Layout, as Proposed (Canaway Fleming Architects, 2012).

2.9 Current As Existing Drawings

These drawings, as provided by S & P Architects, show Nos. 18 and 19 Southampton Place as they are currently.

For a detailed overview of the condition of the buildings, as well as an audit of the condition of the heritage fabric, please see Appendix A.



Figure 64 (Above, Left) - Basement Floor Plan, as Existing (S & P Architects, 2021).
Figure 65 (Above, Right) - Ground Floor Plan, as Existing (S & P Architects, 2021).
Figure 66 (Below, Left) - First Floor Plan, as Existing (S & P Architects, 2021).
Figure 67 (Below, Right) - Second Floor Plan, as Existing (S & P Architects, 2021).



Figure 71 (Below, Right) - Rear Elevation, as Existing (S & P Architects, 2021).

3.0 - Significance

Definitions of Significance and Special Interest:

The NPPF defines the significance of a heritage asset as:
“*The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting.*”

Listed Buildings:

Listed buildings are defined as designated heritage assets that hold special architectural or historic interest. The principles of selection for listed buildings are published by the Department of Culture Media and Sport and supported by Historic England’s Listing Selection Guides for each building type.

All Heritage Assets:

Historic England has published guidance on the identification of four types of heritage value that an asset may hold: Aesthetic; Communal; Historic; and Evidential value. Together, this guidance provides a framework for assessing the significance of designated or non-designated heritage assets.

Historic England’s Conservation Principles

Based on Historic England’s Conservation Principles: Policies and Guidance for the sustainable management of the historic environment we have assessed 31 Southampton Row on the following 4 values:

- Evidential value:** the potential of a place to yield evidence about past human activity.
- Historical value:** the ways in which past people, events and aspects of life can be connected through a place to the present - it tends to be illustrative or associative.
- Aesthetic value:** the ways in which people draw sensory and intellectual stimulation from a place.
- Communal value:** the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory.

Evaluating the significance of the building and its significant elements is based on a relative scale:

- Most Significant:** an area or fabric which is considered to be the most significant in the complex and which should not be jeopardised by alteration, but enhanced where/if necessary.
- Highly Significant:** an area or fabric which, while not most significant, would be expected to be treated in a similar manner.
- Significant:** an area or fabric which is of interest and should be preserved.
- Good:** an area or fabric which, while of interest, might be considered for replacement if it resulted in an improvement to the complex as a whole, or enhanced elements of higher significance.
- Neutral:** an area or fabric which may be considered expendable.
- Negative:** an area or fabric which should be removed and/or improved.

18 and 19 Southampton Place - Overview

18 and 19 Southampton Place form part of a terrace of 9 houses, (14-22 inclusive), that were probably laid out and designed by and under the direction of Henry Flitcroft between 1758 and 1763. The houses 14 to 19 are considerably taller than the properties at the north end of the street, particularly on the ‘Piano Nobile’, which might suggest that those other properties were actually built at a later date, particularly as they appear to have been altered significantly in the 19th century.

Number 18 is faced in darkened London stock brick with the familiar band of stone between ground and first floor level, with Number 19 having a facade clad entirely in painted stucco, edged with stucco quoins. Each building has a basement level, and is topped with a mansard, though these were a later addition. Similarly, to the other buildings on this street, each building is articulated with three recessed sash windows per floor, with the ground floor of number 19 giving way to one of its bays to form the entrance to Barter street.

As elsewhere, these exteriors are highly significant both historically and architecturally.

To the rear of those buildings a number of alterations have been made, most noticeably to number 18, where there is a tall extension compared to number 19’s more modest addition. These extensions are of very limited significance and are detrimental to the 18th century quality of the original historic plan form. Their rooms have not been mentioned in the internal audit. Nevertheless, much of the surviving rear elevation of the building retain historical elements, which are still of high significance.

Internally, the historic plan form survives and is highly significant. The original staircases remain in-situ, though these have been damaged by the introduction of modern nosing strips.

The coal cellars to both basements also survive. There are also some architectural elements that whilst not original, are significant historically: Corinthian columns and pilasters have been added on the ground floor of Number 18 in the late 18th century and are displayed as a very interesting feature.

Conversely architectural significance has been lost on the 2nd floor with the added structural interventions required to support the mansard roof.

With regard to the historic fixtures and fittings, there are several items of historic interest that have survived. Historic elements, such as original fireplaces, windows, doors and joinery items are found throughout the ground and first floors, with some surviving elements to the second floor. In other places however, such as the basements, 3rd and 4th floors, there is very little of historic significance remaining as those features were stripped out when converted to office use and the mansard reconstructed.

It is important to note that whilst the internal significance of these buildings has been audited, this level of investigative detail has not yet been applied to the building’s exteriors

3.1 - Gazetteer

Value Appraisal

Evidential Value:

The evidential value of Nos. 18 and 19 Southampton Place are highlighted primarily through its exterior, though there is evidence of some historical value within the interiors of the buildings. However, as noted earlier within the audit of the previous planning applications, the interior of these buildings have undergone numerous alterations, repairs and refurbishments, and many of the original features have been altered, supplemented or updated. These alterations can be found at all levels of the building, alongside the modern extensions that have been added throughout the buildings life spans. At basement level very little historic character remains following the conversion to office use, whereby this area was altered from residential to fit the office requirements. This has seen numerous WCs added and original features such as ceilings replaced with suspended variants. At ground and first floor, the principle floors of a residential home, these have been similarly adapted to allow for office usage, and the removal and replacement of partitions to form offices have caused the joinery to be altered to accommodate these alterations. These aspects make the building very difficult to read as a cohesive picture, whereby many items have been altered and supplemented from their historic form whereby even items that appear historic have been added or subtracted from. Elsewhere historic doors remain in situ, though these have been upgraded to allow for fire resistance, and the windows, whilst they have been repaired and refurbished remain good examples of Georgian sash windows. Overall, much of the evidential value of these buildings has been lost over a number of years, and those items that are left should be carefully considered as to not lose the character that they bring to the properties.

Historical Value:

The historical value of these buildings come mostly through their exteriors, highlighting a very good example of 18th century Georgian residential architecture. They are good example of high-class residential properties in a fashionable area of London. Whilst the change in usage from this high-class residential to office class happened at an unknown period, it is likely that this evolved with the other buildings along Southampton Place. These alterations to office space has continued for c.80 years based on Goad's Fire Insurance plans (Figure 10, earlier), and has remained so throughout multiple renovations and alterations to the buildings. Whilst the history of the residential building has been lost, traces of this remains, most notably at 1st floor level with historic joinery and cornices remaining in situ. This however has been supplemented throughout, highlighting the eclectic nature of renovations that attempted to maintain the character, whilst not necessarily reflecting accurately what should have been. Overall, whilst many features have regrettably been lost, especially internally, the outward aspects of Nos. 18 and 19 Southampton Place remain a very valuable asset along this streetscape.

Aesthetic Value:

The aesthetic value of these buildings lie in their decorative nature, with the harmonious London brick and white stucco blending with the rest of the street-scape to form a cohesive element. Externally whilst there has been alterations to the windows, or the introduction of mansard levels, these are largely in keeping with the surrounding area and do not detract from their value. They remain good examples of Georgian townhouses in their original setting, and positively impact their surroundings.

Communal Value:

The communal value of Nos. 18 and 19 Southampton Place is given through its homogenous setting with the other buildings that flank the street. The character that these buildings create is a strong frontage that can be seen from Bloomsbury Square, and has formed a connection between Bloomsbury Way and High Holborn for nearly 300 years. Additionally, No. 19 Southampton Place further enhances the character of the setting with its stark white stucco in contrast to the London brick of the other terrace buildings, as well as through its arched opening that connects Barter Street. The rear elevations of these buildings is of lesser value, given the numerous changes that they have undergone with extensive extensions, though as these are not public fronting they do not cause a negative communal impact. One area where communal aspect has been lost is the alteration from high-class residential to office class usage. This alteration however has evolved with the rest of the street, and Nos. 18 and 19 are not outliers in this regard. The growth of the community has been kept pace with by these buildings, meaning this alteration of use is not jarring or damaging from a communal aspect.

Collectively these buildings provide a generous and positive impact on the wider area, and are of high value.



Figure 72 (Left) - The facade of Number 18 Southampton Place.

Figure 73 (Right) - The stucco facade of Number 19 Southampton Place.

4.0 Proposals and their Impact on the Significance

The current proposals for adapting the buildings for continued office usage seeks to retain much of the existing fabric, which we believe is to be welcomed. Whilst this continues the buildings usage as Office class use as opposed to the historic residential purpose, this usage has long since been established.

At basement level the proposals relate to the removal of modern toilet and kitchen insertions, the majority of which are found within the modern extensions of Nos. 18 and 19. These are being converted to alternative shower and toilet facilities, along with a kitchenette. The suspended ceilings to this area are also to be replaced where they have been damaged, and several modern doors are to be removed and replaced. These works will have a neutral impact on the historic fabric as, whilst these changes are non-historic, there is little historic fabric left within the basement of which to be impacted. Much of the works also are proposed within the modern extension additions which are not of historic interest.

At ground floor level there are similar changes proposed to the rear extensions where the majority of the works are set to take place. There will be 1no. door replaced in the front room of No. 18, though this door is a modern insertion and not of interest. Similarly, 2no. doors to the front and back rooms of No. 19 are to be replaced, and these are also not of historic interest. The heritage impact here will once again be considered neutral as alterations are being kept to modern insertions, or in modern areas such as the extensions.

At first floor level there is the proposed replacement of 1no. door to the rear room of No. 18, as well as the replacement of one of the doors to the front room. The door to the back room is a modern insertion and not of interest, though the proposed door to be removed to the front room is a historic door, though it has been upgraded to allow for fireproofing (see Ref: OTP/N14/23/C/9134(R), 1970). Given that this door is proposed to be replaced in the proposal drawings

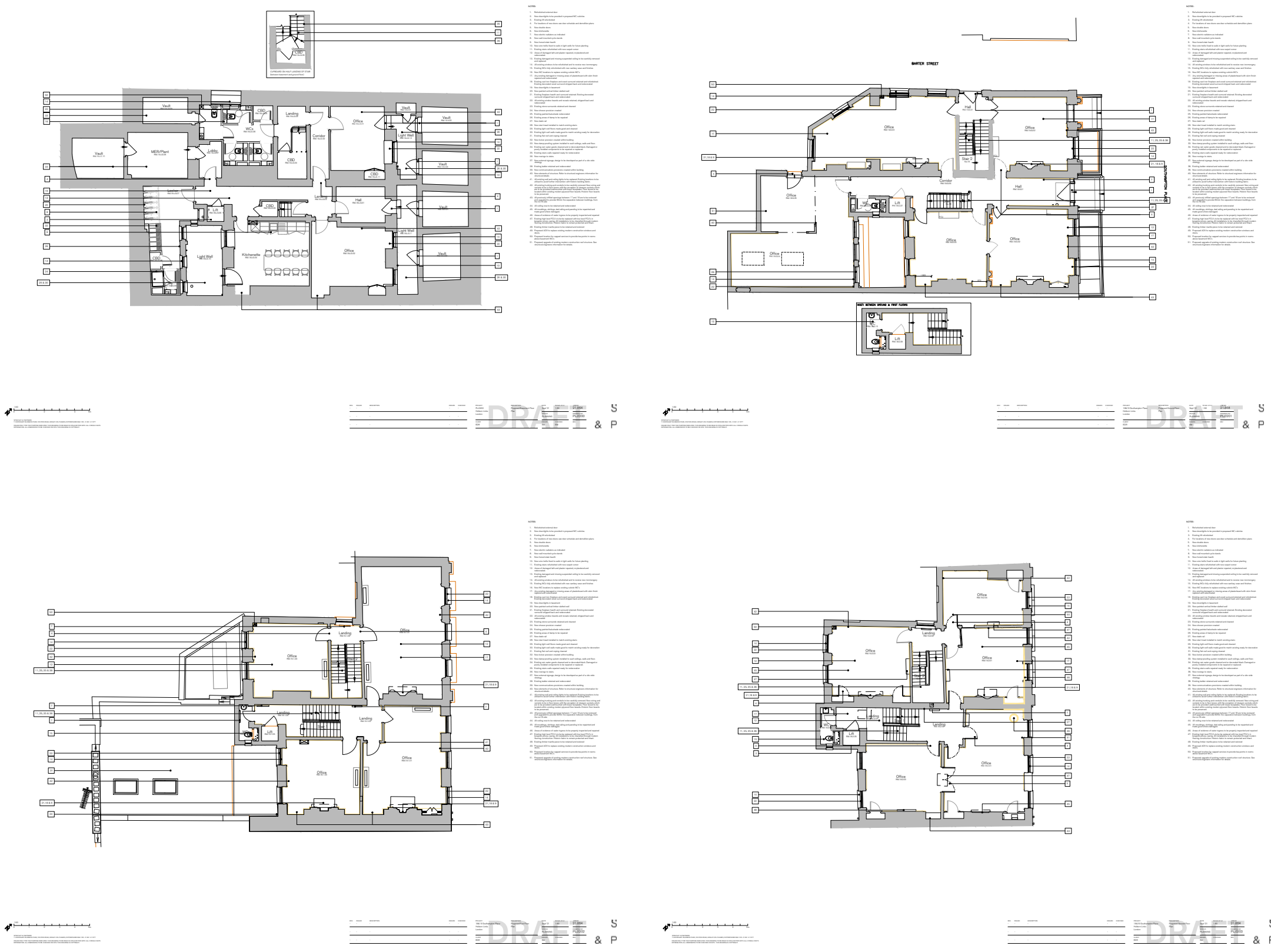
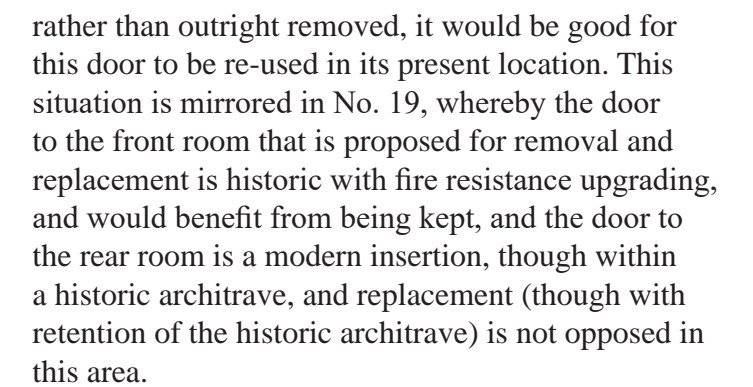


Figure 74 (Above, Left) - Basement Floor Plan, as Proposed (S & P Architects, 2021).
Figure 75 (Above, Right) - Ground Floor Plan, as Proposed (S & P Architects, 2021).
Figure 76 (Below, Left) - First Floor Plan, as Proposed (S & P Architects, 2021).
Figure 77 (Below, Right) - Second Floor Plan, as Proposed (S & P Architects, 2021).



At second floor the proposals seek to replace many of the doors to this level, except for the east door to Room 19.2.04, and the north door into Room 19.02.1. The doors to Room 19.2.04 is noted as historic, both on previous planning applications as well as noted in the GQA audit report (see Appendix A), and it is welcome that it is kept in situ. The remaining doors are noted as modern additions, with the exception of the 2 cupboard doors to Room 19.2.03, which are noted as historic though moved from elsewhere. These would benefit from retention as opposed to replacement. It is useful to note here that a previous planning application (see Ref: OTP/N14/23/C/9134(R), 1970) notes that this level and above were extensively re-built during this time, and there is high chance that many features to these levels have been replaced and adapted during this period.

At third floor and above where we enter the mansard roofs of the buildings the alterations once more look to replace doors is not viewed as contentious given that these areas are modern additions and do not contain historic character.

Figure 78 (Above, Left) - Third Floor Plan, as Proposed (S & P Architects, 2021).
 Figure 79 (Above, Right) - Fourth Floor Plan, as Proposed (S & P Architects, 2021).
 Figure 80 (Below, Left) - Front Elevation, as Proposed (S & P Architects, 2021).
 Figure 81 (Below, Right) - Rear Elevation, as Proposed (S & P Architects, 2021).

5.0 Conclusion

In conclusion Giles Quarme Architects feel that the current proposals are to be welcomed for Nos. 18 and 19 Southampton Place. The client and architects proposals are sympathetic to the external facades, focusing on repair and refurbishment of existing features as opposed to their replacement. The internal proposals are similarly sympathetic, focusing much of the more extensive proposals in the modern extensions, and applying minor alterations elsewhere.

The works to the basements is deemed to be of little impact given the extent of which it has been altered throughout its life-span. The works here are focused on enhancing the long-standing usage as Office space, and these enhancements are located in an area which has long since been adapted from its residential beginnings. These proposals are also focused towards the extended areas of the basement, and therefore are not deemed detrimental to the historic plan.

The works to the ground floor level are similarly set within the extended areas, with limited alterations other than the replacement of modern doors. This is deemed to be of little interest as the heritage items that remain are set to be retained within the proposals.

The works to 1st and 2nd floor level are similar to the works at ground floor level, whereby despite the removal of several doors, these are mostly modern additions and therefore of little historic interest. One area which we would note as minor harm coming from these proposals however is the removal of 2no. principle doors (at first floor), and 2no. cupboard doors (at second floor) which are historic. Whilst the 2no. cupboard doors have been relocated from elsewhere, the access doors to the 1st Floor Rooms in both Nos. 18 and 19 remain in their original locations. As new doors are proposed for these locations, these doors could well be left in-situ.

The works to the 3rd and 4th floors are deemed to be of little interest in terms of impact, given that these floors are modern additions with modern fittings.

GQA Nov. 2021.



Figure 88 - Southampton Place (Google Street View, Google, 2021).

Appendix A.1 - Gazetteer Review

Value Appraisal

Evidential Value:

The evidential value of Nos. 18 and 19 Southampton Place are highlighted primarily through its exterior, though there is evidence of some historical value within the interiors of the buildings. However, as noted earlier within the audit of the previous planning applications, the interior of these buildings have undergone numerous alterations, repairs and refurbishments, and many of the original features have been altered, supplemented or updated. These alterations can be found at all levels of the building, alongside the modern extensions that have been added throughout the buildings life spans. At basement level very little historic character remains following the conversion to office use, whereby this area was altered from residential to fit the office requirements. This has seen numerous WCs added and original features such as ceilings replaced with suspended variants. At ground and first floor, the principle floors of a residential home, these have been similarly adapted to allow for office usage, and the removal and replacement of partitions to form offices have caused the joinery to be altered to accommodate these alterations. These aspects make the building very difficult to read as a cohesive picture, whereby many items have been altered and supplemented from their historic form whereby even items that appear historic have been added or subtracted from. Elsewhere historic doors remain in situ, though these have been upgraded to allow for fire resistance, and the windows, whilst they have been repaired and refurbished remain good examples of Georgian sash windows. Overall, much of the evidential value of these buildings has been lost over a number of years, and those items that are left should be carefully considered as to not lose the character that they bring to the properties.

Historical Value:

The historical value of these buildings come mostly through their exteriors, highlighting a very good example of 18th century Georgian residential architecture. They are good example of high-class residential properties in a fashionable area of London. Whilst the change in usage from this high-class residential to office class happened at an unknown period, it is likely that this evolved with the other buildings along Southampton Place. These alterations to office space has continued for c.80 years based on Goad's Fire Insurance plans (Figure 10, earlier), and has remained so throughout multiple renovations and alterations to the buildings. Whilst the history of the residential building has been lost, traces of this remains, most notably at 1st floor level with historic joinery and cornices remaining in situ. This however has been supplemented throughout, highlighting the eclectic nature of renovations that attempted to maintain the character, whilst not necessarily reflecting accurately what should have been. Overall, whilst many features have regrettably been lost, especially internally, the outward aspects of Nos. 18 and 19 Southampton Place remain a very valuable asset along this streetscape.

Aesthetic Value:

The aesthetic value of these buildings lie in their decorative nature, with the harmonious London brick and white stucco blending with the rest of the street-scape to form a cohesive element. Externally whilst there has been alterations to the windows, or the introduction of mansard levels, these are largely in keeping with the surrounding area and do not detract from their value. They remain good examples of Georgian townhouses in their original setting, and positively impact their surroundings.

Communal Value:

The communal value of Nos. 18 and 19 Southampton Place is given through its homogenous setting with the other buildings that flank the street. The character that these buildings create is a strong frontage that can be seen from Bloomsbury Square, and has formed a connection between Bloomsbury Way and High Holborn for nearly 300 years. Additionally, No. 19 Southampton Place further enhances the character of the setting with its stark white stucco in contrast to the London brick of the other terrace buildings, as well as through its arched opening that connects Barter Street. The rear elevations of these buildings is of lesser value, given the numerous changes that they have undergone with extensive extensions, though as these are not public fronting they do not cause a negative communal impact. One area where communal aspect has been lost is the alteration from high-class residential to office class usage. This alteration however has evolved with the rest of the street, and Nos. 18 and 19 are not outliers in this regard. The growth of the community has been kept pace with by these buildings, meaning this alteration of use is not jarring or damaging from a communal aspect.

Collectively these buildings provide a generous and positive impact on the wider area, and are of high value.

Appendix A.2 - Audit

Front Room - Basement Level

Externals

To be carried out.

Floor Finish

There is a solid floor construction.

Ceilings / Walls

The ceiling has been replaced with a suspended ceiling, and the walls have been dry-lined.

Cornice / Ceiling Roses

There is no cornice.

Windows

The windows here are modern traditional replacements.

Internal Doors

The door to this room and door ironmongery are all modern additions. The door architrave however is potentially Edwardian.

Skirtings

The skirting is modern.

Dados

There is no dado.

Joinery

There is no historic joinery.

Fireplaces

There is no fireplace.



Figure 89, Top - The windows looking out to the light well have all been replaced at some stage.
Figure 90, Middle - A general overview of the room itself. There have been substantial modern additions here.
Figure 91, Bottom - A view into the ceiling void with modern insertions.

9802.4 - 18 Southampton Place

Back Room - Basement Level

Externals

To be carried out.

Floor Finish

There is a solid floor construction.

Ceilings / Walls

The ceiling has been replaced with a suspended ceiling, and the walls have been dry-lined.

Cornice / Ceiling Roses

There is no cornice.

Windows

The sash window here is historic, with old window joinery and its original shutters. The architrave is rather grand for the floor, and is possibly an Edwardian introduction.

Internal Doors

The door to this room, door joinery and door ironmongery are all modern additions.

Skirtings

The skirting is modern.

Dados

There is no dado.

Joinery

There is no historic joinery.

Fireplaces

There is no fireplace.



Figure 92, Top - There is an external door to the back of the building, but this is a modern insertion.
Figure 93, Bottom - The window however is historic, though some items were likely added in from elsewhere.

9802.4 - 18 Southampton Place

Coal Cellar - Basement Level

Externals

To be carried out.

General Notes

The brick vaulted coal cellar survives to the rear of the building, accessed past the rear room.



Figure 94 - The coal cellar with its brick vaulting.

9802.4 - 18 Southampton Place

Stairwell - Throughout

Externals

To be carried out.

Floor Finish

The floor is timber, but it is unknown how many, if any, of the original floorboards remain in situ.

Ceilings / Walls

The extent of re-plastering and the survival of original plaster is not known.

Cornice / Ceiling Roses

The cornice survives to the hallway and stairwell, as do the ceiling roses, though some of these have been replaced to match.

Windows

There are no windows to this area.

Internal Doors

See individual room descriptions.

Skirtings

The skirting may be original.

Dados

The stairwell has its original dado until the 3rd floor.

Joinery

The stairwell houses the original stair, which has a painted handrail and square spindles. The stair maintains a closed stringer, even at ground level. The treads have been supplemented with a modern tread piece which has evidently damaged the stair. Between the 3rd and 4th levels where the new floor has been added, the original stair makes way for an Edwardian stair, which has turned spindles. In places there is also Victorian panelling.

Fireplaces

There are no fireplaces.

Figure 95, Top - The staircase at ground level unusually is quite austere.

Figure 96, Bottom - Between the 3rd and 4th floor there is an Edwardian stair inserted into the building.



9802.4 - 18 Southampton Place

Front Room - Ground Floor Level

Externals

To be carried out.

Floor Finish

The floor is timber, but it is unknown how many, if any, of the original floorboards remain in situ.

Ceilings / Walls

The extent of the original plaster is not known but may been extensively replaced. In this room there are also 2no. Corinthian inspired columns and 2no. Corinthian inspired pilasters which are historic, dating to the late-18th century.

Cornice / Ceiling Roses

The cornice is part historic, supplemented with a replacement in some areas. There is a modern inappropriate rose on the ceiling, as in the back room.

Windows

The windows are historic, with historic architraves (likely Victorian), and the shutters are likely to date to the late-18th century. The panelling shows evidence of being replaced historically.

Internal Doors

The door between the front and back rooms is, as noted on the back room, presumed historic, and has a historic architrave. The door to the hall is also historic, with its original architrave.

Skirtings

The skirting to this room is historic, dating to the mid-18th century.

Dados

There is the original dado to this room, as well as dado panelling, dating to the mid-18th century.

Fireplaces

There is an Edwardian fireplace, supplemented with Arts and Crafts or Art Nouveau tiles within marble slips.



Figure 97, Top - A general overview of the spine wall, with the Corinthian inspired late-18th century columns / pilasters.
Figure 98, Upper Middle - The shutters may have been replaced, with two different beading details to the left and right windows.
Figure 99, Lower Middle - The cracking to the ceiling seems to indicate that a plasterboard ceiling has been installed.
Figure 100, Bottom - The entrance door from the hall is historic, as is its architrave.

9802.4 - 18 Southampton Place

Back Room - Ground Floor Level

Externals

To be carried out.

Floor Finish

The floor is timber, but it is unknown how many, if any, of the original floorboards remain in situ.

Ceilings / Walls

The extent of the original plaster is not known and may have been extensively replaced.

Cornice / Ceiling Roses

The cornice looks original stylistically correct and could be authentic. The ceiling however rose is a modern addition.

Windows

The sash window and its window joinery, including the shutters, are historic.

Internal Doors

Two of the doors to this room are modern reproductions, however there is one 6 panel door that is looks historic. The architraves are also historic.

Skirtings

Skirting is new

Dados

There is the original dado to this room, as well as dado height panelling.

Joinery

There is no historic joinery in either the front or back room.

Fireplaces

There is no fireplace.



Figure 101, Top - A modern ceiling rose.
Figure 102, Upper Middle - The dado is original, and maintains its original panelling.
Figure 103, Lower Middle - The cornice appears to be authentic, though it may have been re-run.
Figure 104, Bottom - The windows to this room are historic.

9802.4 - 18 Southampton Place

Front Room - 1st Floor Level

Externals

To be carried out.

Floor Finish

The floor is timber, but it is unknown how many, if any, of the original floorboards remain in situ.

Ceilings / Walls

The extent of the original plaster is not known and may have been extensively replaced. A modern lobby has been inserted to the hallway and spine wall, and an opening into the spine wall has also been filled.

Cornice / Ceiling Roses

The cornice is a modern insertion that is incorrectly detailed.

Windows

The windows are historic, but heavily modified. They have had their shutters removed, and have no panelling. The sashes have been replaced, along with their box frames in a traditional manner.

Internal Doors

Both doors to the hallway are historic, and have been upgraded with fireproofing.

Skirtings

The skirting to the room is original, and has been re-run where adjustments to the room (such as the lobby) have been made.

Dados

The original dado and dado panelling survives in this room, and has been re-run as with the skirting.

Joinery

There is no other historic joinery.

Fireplaces

There is an Edwardian fireplace.

Figure 105, Top - The general room layout, with modern inserted beams being seen to the top of the photograph.

Figure 106, Middle - There is a modern lobby that has been inserted to the hallway.

Figure 107, Bottom - The Edwardian fireplace. As in the other photographs, modern steel beams can be seen throughout.



9802.4 - 18 Southampton Place

Back Room - 1st Floor Level

Externals

To be carried out.

Floor Finish

The floor is timber, but it is unknown how many, if any, of the original floorboards remain in situ.

Ceilings / Walls

The extent of the original plaster is not known and may have been extensively replaced.

Cornice / Ceiling Roses

The cornice is modern.

Windows

The windows are historic and date to the late 18th century with their original shutters and shutter boxes. They also have their historic window linings and soffit panels.

Internal Doors

The door to this room, door joinery and door ironmongery are all modern additions.

Skirtings

The skirting to the room appears original.

Dados

The original dado and dado panelling also survive in this room.

Joinery

The picture rail is historic, and whilst not original, is likely to be Victorian.

Fireplaces

There is an Edwardian fireplace.

Figure 108, Top - The windows here are historic, and retain much of their original joinery.

Figure 109, Middle - The Edwardian fireplace to the rear room has a damaged hearth.

Figure 110, Bottom - The soffit panels, among other window joinery, survive to the rear windows.



9802.4 - 18 Southampton Place

Front Room - 2nd Floor Level

Externals

To be carried out.

Floor Finish

The floor is timber, but it is unknown how many, if any, of the original floorboards remain in situ.

Ceilings / Walls

The ceiling has been strengthened with the introduction of new beams, and lined with plasterboard. The walls have been re-lined with plasterboard and then the cornices re-run. A modern lobby has been inserted to the hallway and spine wall. There are two cupboard openings to the flank wall, and an opening has been made into the spine wall.

Cornice / Ceiling Roses

The cornice is a modern insertion.

Windows

The windows are historic, with their original shutters, panelling and soffit boarding.

Internal Doors

The doors here, as well as door joinery and door ironmongery, are all modern additions.

Skirtings

The skirting appears to be original in part.

Dados & Joinery

Some of the dado and dado panelling to this room is original. It appears to have been supplemented in places. The joinery is likewise seems part-original and part-supplemented.

Fireplaces

The fireplace has been filled in, though fragments of the original mantle remain in-situ.



Figure 111, Top - The cupboards here feature modern doors, and have been filled with electrical plant.
Figure 112, Middle - The fireplace mantle has been blocked up and left in-situ.
Figure 113, Bottom - The windows maintain their original shutters and panelling..

9802.4 - 18 Southampton Place

Back Room - 2nd Floor Level

Externals

To be carried out.

Floor Finish

The floor is timber, but it is unknown how many, if any, of the original floorboards remain in situ.

Ceilings / Walls

The ceiling has been strengthened with the introduction of new beams, and lined with plasterboard. The walls have been re-lined with plasterboard and then the cornices re-run. There are two cupboard openings to the flank wall, with one having been opened up. An opening has been inserted into the spine wall.

Cornice / Ceiling Roses

The cornice is modern.

Windows

The windows are historic, with their original shutters, panelling and soffit boarding. The sashes are more modern, but are done to a historic detail.

Internal Doors

The doors here, as well as door joinery and door ironmongery, are all modern additions.

Skirtings

The skirting appears to be original in part.

Dados & Joinery

Some of the dado and dado panelling to this room is original. It appears to have been supplemented in places. The joinery is likewise seems part-original and part-supplemented.

Fireplaces

The fireplace has been filled in, though the original mantle remains in-situ.



Figure 114, Top - A general view of the room, showing the fireplace mantle left in-situ.
Figure 115, Middle - The windows retain much of their historic joinery, and the dado encircling the room is also historic.
Figure 116, Bottom - Another view of the historic windows, with their historic joinery.

9802.4 - 18 Southampton Place

General - 3rd Floor Level

The dormers and ceiling would appear to have been extensively reconstructed when the fourth-floor mansard was constructed.

Externals

To be carried out.

Floor Finish

The floor is timber, but likely with modern floorboards.

Ceilings / Walls

The spine wall has been re-built, and the walls and new ceilings are lined with plasterboard throughout and have probably been reconstructed.

Cornice / Ceiling Roses

There is no cornice.

Windows

The windows are modern replacements.

Internal Doors

The doors here, as well as door joinery and door ironmongery, are all modern additions.

Skirtings

The skirting is a modern insertion.

Dados

There is no dado.

Joinery

There is no historic joinery.

Fireplaces

There is no fireplace.



Figure 117, Top - The double mansard is an Edwardian introduction.
Figure 118, Bottom - A general view of the 3rd floor.

9802.4 - 18 Southampton Place

General - 4th Floor Level

Externals

To be carried out.

Floor Finish

The floor is a modern (Edwardian) timber floor.

The spine wall has been re-built, and the walls and new ceilings are lined with plasterboard throughout. They are also likely to have been rebuilt.

Cornice / Ceiling Roses

There is no cornice.

Windows

The windows are likely to be original, but dating to the Edwardian period when the double mansard was constructed.

Internal Doors

The doors here, as well as door joinery and door ironmongery, are all modern additions.

Skirtings

The skirting is modern.

Dados

There is no dado.

Joinery

There is no historic joinery.

Fireplaces

There is no fireplace.

9802.4 - 19 Southampton Place

Front Room - Basement Level

Externals

To be carried out.

Floor Finish

The floor has been replaced with a solid construction.

Ceilings / Walls

The walls and ceilings have been re-lined with plasterboard.

Cornice / Ceiling Roses

To be completed.

Windows

The window to the front room is historic along with part of its original joinery.

Internal Doors

The doors here, as well as door joinery and door ironmongery, are all modern additions.

Skirtings

The skirting is modern.

Dados

There is no dado.

Joinery

There is no historic joinery.

Fireplaces

There is no fireplace.

9802.4 - 19 Southampton Place

Back Room - Basement Level

Externals

To be carried out.

Floor Finish

The floor has been replaced with a solid construction.

Ceilings / Walls

The walls and ceilings have been re-lined with plasterboard.

Cornice / Ceiling Roses

There is no cornice.

Windows

The windows to light well are modern replacements.

Internal Doors

The doors here, as well as door joinery and door ironmongery, are all modern additions.

Skirtings

The skirting is modern.

Dados

There is no dado.

Joinery

There is no historic joinery.

Fireplaces

There is no fireplace.



Figure 119 - The rear room to the basement of Number 19 has been converted into modern toilet facilities.

9802.4 - 19 Southampton Place

Coal Cellar - Basement Level

Externals

To be carried out.

General Notes

The coal cellar to 19 Southampton Place is also brick vaulted, but has been plastered with waterproof render.



Figure 120 - The coal cellar also has a subsidiary room to its rear.

9802.4 - 19 Southampton Place

Stairwell - Throughout

Externals

To be carried out.

Floor Finish

As elsewhere, the floor is timber, and it is suspected that at some levels the original floorboards survive.

Ceilings / Walls

The original plaster appears to survive to the stairwell.

Cornice / Ceiling Roses

The stairwell has its original cornice.

Windows

There are a number of windows to the stairwell which are historic, though they are without their shutters and joinery.

Internal Doors

The door and frame to the exterior side door is a modern addition and not historic.

Skirtings

The skirting to the stairwell is likely to be original.

Dados

The dado to the stairwell is original.

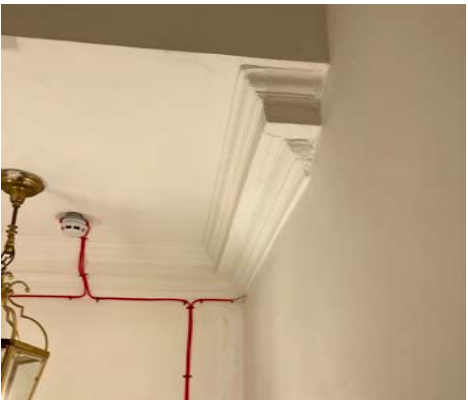
Joinery

The stair itself is original until second floor level, and has painted spindles and a painted handrail. The spindles are turned until the landing between the 1st and 2nd floor, wherein they become square. Between the 2nd and 3rd floor where the additional floor has been added the stair is a newer Victorian insertion. The treads do not have scotia mouldings, and have been given modern nosing strips which have damaged the stair.

Fireplaces

There are no fireplaces.

Figure 121, Top - The stair is original, though with modern nosing strips.
Figure 122, Middle - The side door is a modern addition.
Figure 123, Bottom - The original cornice is retained within the stairwell.



9802.4 - 19 Southampton Place

Front Room - Ground Floor Level

Externals

To be carried out.

Floor Finish

The floor is timber, and presently covered in laminate. It is likely that historic floorboards remain beneath.

Ceilings / Walls

The ceiling has been replaced with plasterboard. The walls appear to retain the original plaster. The 18th century arched opening to the stairwell is original, though the doors and fanlight within are a modern addition.

Cornice / Ceiling Roses

The cornice appears to be historic, but may have been re-run with the replacement of the ceiling. The rose is a modern addition.

Windows

The window is historic, though not entirely original. It retains its shutters and shutter boxes, and its architrave is old, but not 18th century.

Internal Doors

The doors and door joinery are modern additions. Similarly, whilst the 18th century arch is historic, the fanlight and doors that are fitted to it are modern additions.

Skirtings

The skirting is not original, but its style does appear to be historic.

Dados & Joinery

The dado appears to be original. There is no other historic joinery.

Fireplaces

The fireplace is a conglomeration of styles, with an Edwardian surround, Victorian gate, and 18th century marble slips. It is possible that this is an entirely Edwardian addition.

Figure 124, Top - The arched opening is historic, though the door and fanlight insertions are a more modern addition.

Figure 125, Middle - There is a blocked in exterior door here with fanlight, with modern additions around it.

Figure 126, Bottom - The walls, and the amount of fixing marks, highlight how much these rooms have been altered.



9802.4 - 19 Southampton Place

Back Room - Ground Floor Level

Externals

To be carried out.

Floor Finish

The floor is timber, and presently covered in laminate. It is likely that historic floorboards remain beneath.

Ceilings / Walls

This room has been extended from its original historic plan form. The entire ceiling has been replaced with new plasterboard but the walls may retain some of their plaster finish.

Cornice / Ceiling Roses

The cornice is not original, but is authentically reproduced to the correct detail. There are two modern plaster roses on the ceiling.

Windows

The two eastern windows within the historic proportions of the room are original, with historic window joinery and correct timber panelling. These windows have been copied to the western windows, which are new, though the panelling was not reproduced.

Internal Doors

The door to the hall is a modern addition, though its architrave is likely to be 19th century.

Skirtings

The skirting is not historic, but is authentically reproduced to the correct detail for the room.

Dados & Joinery

The dado is not historic, but is authentically reproduced to the correct detail for the room. There appears to be some authentic below dado panelling. There is no other historic joinery.

Fireplaces

The fireplace is made of marble and dates to the mid-19th century, and has a cast iron insert..

Figure 127, Top - The rear of this room has been extended outward, which contains modern insertions.

Figure 128, Middle - Within the original proportions of the room are the original windows.

Figure 129, Bottom - The door to the hall has a likely 19th century architrave.



9802.4 - 19 Southampton Place

Front Room - 1st Floor Level

Externals

To be carried out.

Floor Finish

The floor is timber, and presently covered in laminate. It is likely that historic floorboards remain beneath.

Ceilings / Walls

The ceilings and walls appear to have some of their original plaster.

Cornice / Ceiling Roses

The cornice to this room is in good condition and appears to be historic. Whilst not original, there is a Victorian rose to the light fitting which is historic.

Windows

The windows are historic, though the sashes have been replaced, and the shutters have been removed.

Internal Doors

The door has been fireproofed, but is otherwise historic. The door architrave is also historic.

Skirtings

The high skirting appears to be historic, or else to an early 19th century historic design.

Dados

There is no dado.

Joinery

There is no other historic joinery.

Fireplaces

There is an impressive mid-19th century carved marble fireplace in this room which may be contemporaneous with the ceiling rose.



Figure 130, Top - A general view of the room.
Figure 131, Middle - The carved marble fireplace is a grand insertion to the room.
Figure 132, Bottom - The Victorian rose, whilst not original, is a historic addition to the room.

9802.4 - 19 Southampton Place

Back Room - 1st Floor Level

Externals

To be carried out.

Floor Finish

The floor is timber, and presently covered in laminate. It is likely that historic floorboards remain beneath.

Ceilings / Walls

The walls appear to retain their original plaster, but the ceiling looks as though it has been replaced, most likely in plasterboard.

Cornice / Ceiling Roses

The cornice appears to be original. There is a ceiling rose, though this a modern insertion and is inappropriate.

Windows

The windows are historic, and retain their original shutters and architraves, though the sashes have been replaced. This replacement, whilst overall a traditional design, is in a 3 on 3 pattern which skews the proportions, and should instead be a 6 on 6 pattern.

Internal Doors

Whilst the historic architrave survives, the door is a modern insertion.

Skirtings

The skirting appears historic.

Dados

The dado and dado panelling appears original in places.

Joinery

There is no other historic joinery.

Fireplaces

The fireplace has been removed from this room.



Figure 133, Top - Although the chimney breast remains to this room, the fireplace has been removed.
Figure 134, Bottom - The windows have a strange proportion with their current 3 on 3 pattern.

9802.4 - 19 Southampton Place

Front Rooms, North and South - 2nd Floor Level

Externals

To be carried out.

Floor Finish

The floor is timber, with the historic floorboards still in-situ.

Ceilings / Walls

The spine wall and the ceiling have been lined in plasterboard, but there is existing plaster elsewhere. The lobby between the rooms is also original.

Cornice / Ceiling Roses

The cornices appear historic.

Windows

The windows are historic, and have their original joinery including shutters.

Internal Doors

The architraves and door linings are historic, and the 6-panel raised and fielded doors are possibly original. The cupboard doors are modern and not of interest.

Skirtings

The skirtings appear to be historic in places

Dados & Joinery

Some of the Dado panelling and full height panelling is original and from the mid-18th century, though may have been re-run in places, such as to the re-built spine wall. Other joinery as per Dado.

Fireplaces

The southern room has an original fireplace with marble slips, marble hearth, and a modern mantle. The fireplace to the northern room has been removed.



Figure 135, Top - Whilst the cupboards are historic, the cupboard doors are very modern.
Figure 136, Middle - The doors and their joinery here are possibly historic.
Figure 137, Bottom - Whilst there is historic joinery, there have been extensive modern additions inserted into these rooms..

9802.4 - 19 Southampton Place

Back Room - 2nd Floor Level

Externals

To be carried out.

Floor Finish

The floor is timber, with the historic floorboards still in-situ.

Ceilings / Walls

The spine wall and the ceiling have been lined in plasterboard, but there appears to be existing original plaster elsewhere.

Cornice / Ceiling Roses

The cornice is not historic, though might have been based on a historic design.

Windows

The windows are historic, though not entirely original. The window shutters have been removed and the sashes replaced, and the panelling, although old, is not 18th century. The architrave is also historic.

Internal Doors

The door and door joinery is a modern addition. The cupboard doors however are historic.

Skirtings

The skirtings appear to be historic in part.

Dados & Joinery

Some of the Dado panelling and full height panelling is original and from the mid-18th century, though may have been re-run in places, such as to the re-built spine wall. Other joinery as per Dado.

Fireplaces

There is a very ornate high-status fireplace dating from the mid-18th century that has evidently been moved to this location from elsewhere. The original stone/marble hearth has also been in-filled with cement.



Figure 138, Top - A general view of the room, showing the historic cupboard doors, and the very ornate fireplace.
Figure 139, Middle - The interior of one of the cupboard voids
Figure 140, Bottom - Insensitive modern details are found throughout.

9802.4 - 19 Southampton Place

Front Rooms, North and South - 3rd Floor Level

Externals

To be carried out.

Floor Finish

The floor is timber, with modern floorboards.

Ceilings / Walls

The walls and ceiling have been lined in plasterboard.

Cornice / Ceiling Roses

There is no cornice.

Windows

The windows are modern.

Internal Doors

The doors here are modern, but the architraves appear historic, possibly moved from elsewhere.

Skirtings

The skirting to the southern front room is potentially historic. The northern front room has a modern skirting.

Dados

There is no dado.

Joinery

There is no historic joinery.

Fireplaces

There is no fireplace.



Figure 141., Top - A general view of the mansard level.

Figure 142, Bottom - The door architraves pre-date the extension, and are likely to have been moved from elsewhere.

9802.4 - 19 Southampton Place

Back Room - 3rd Floor Level

Externals

To be carried out.

Floor Finish

The floor is timber, with modern floorboards.

Ceilings / Walls

The walls and ceiling have been lined in plasterboard.

Cornice / Ceiling Roses

There is no cornice.

Windows

The windows are modern.

Internal Doors

The door is a modern, but the architrave might have been moved from elsewhere.

Skirtings

The skirting is modern.

Dados

There is no dado.

Joinery

There is no historic joinery.

Fireplaces

There is no fireplace.



Figure 143, Top - A general view of the mansard level that was added in the Edwardian period.

Figure 144, Bottom - The door architrave might have been moved from elsewhere.

