

18 & 19 SOUTHAMPTON PLACE, HOLBORN
DESIGN AND ACCESS STATEMENT - NOVEMBER 2021

&

PS

18 - 19 SOUTHAMPTON PL.
HOLBORN
DESIGN AND ACCESS
STATEMENT - NOVEMBER 2021

CONTENTS

1.0	INTRODUCTION	1	4.8	ACCESS	35
			4.9	SUSTAINABILITY	36
2.0	CONTEXT	2			
2.1	ESTATE SUMMARY	3	5.0	CONCLUSION	37
2.2	18 & 19 SOUTHAMPTON PLACE	4			
2.3	SITE HISTORY - LISTING	12			
2.4	SITE HISTORY - PLANNING HISTORY	13			
3.0	EXISTING GENERAL ARRANGEMENT	14			
3.1	LOWER GROUND FLOOR	15			
3.2	GROUND FLOOR	17			
3.3	FIRST FLOOR	19			
3.4	SECOND FLOOR	21			
3.5	THIRD FLOOR	23			
3.6	FOURTH FLOOR	25			
4.0	PROPOSALS	27			
4.1	LOWER GROUND FLOOR	28			
4.2	GROUND FLOOR	29			
4.3	FIRST FLOOR	30			
4.4	SECOND FLOOR	31			
4.5	THIRD FLOOR	32			
4.6	FOURTH FLOOR	33			
4.7	ROOF PLAN	34			

This document has been produced to support the planning application for the refurbishment works of the buildings at 18-19 Southampton Place. The information contained within this document should be read in conjunction with the covering letter by WS, heritage impact assessment by Giles Quarme Architects, Structural Strategy by HTS and the MEP strategy by Thornton Reynolds.

The buildings are part of the wider Holborn Links Estate, managed by Edmond De Rothschild, and are part of a wider vision of revitalizing and refurbishing the estate. The details of this vision are set out in the following pages.

Numbers 14-22 Southampton Place make up the entirety of this estate. The buildings referred to in this application are 18 - 19 Southampton Place which are grade II* listed. All of the buildings within the estate have been heavily altered and over the years and have largely been in office use for a number of decades. Mansard roofs and lift cores were added to the buildings in the 1970s alongside extensive internal refurbishments.

These proposals aim to provide significant investment in the buildings to create high quality, desirable office accommodation whilst retaining and repairing the historic fabric.



Numbers 18 - 19 are part of a wider estate around Bloomsbury Way and Southampton Place. These two properties are located off of Southampton Place and beneath number 19 there is a cut through arch way that leads to Barter Street and is wide enough for vehicular access.

Numbers 18 & 19 were combined at some point in the early 1970's to form one property. In order to join the properties new openings through the party wall were formed and this has created some convoluted spaces within the building. As such, one of the aims of this proposal is to renovate the existing layout whilst maintaining respect for the historic building fabric and improve the usability and way finding.

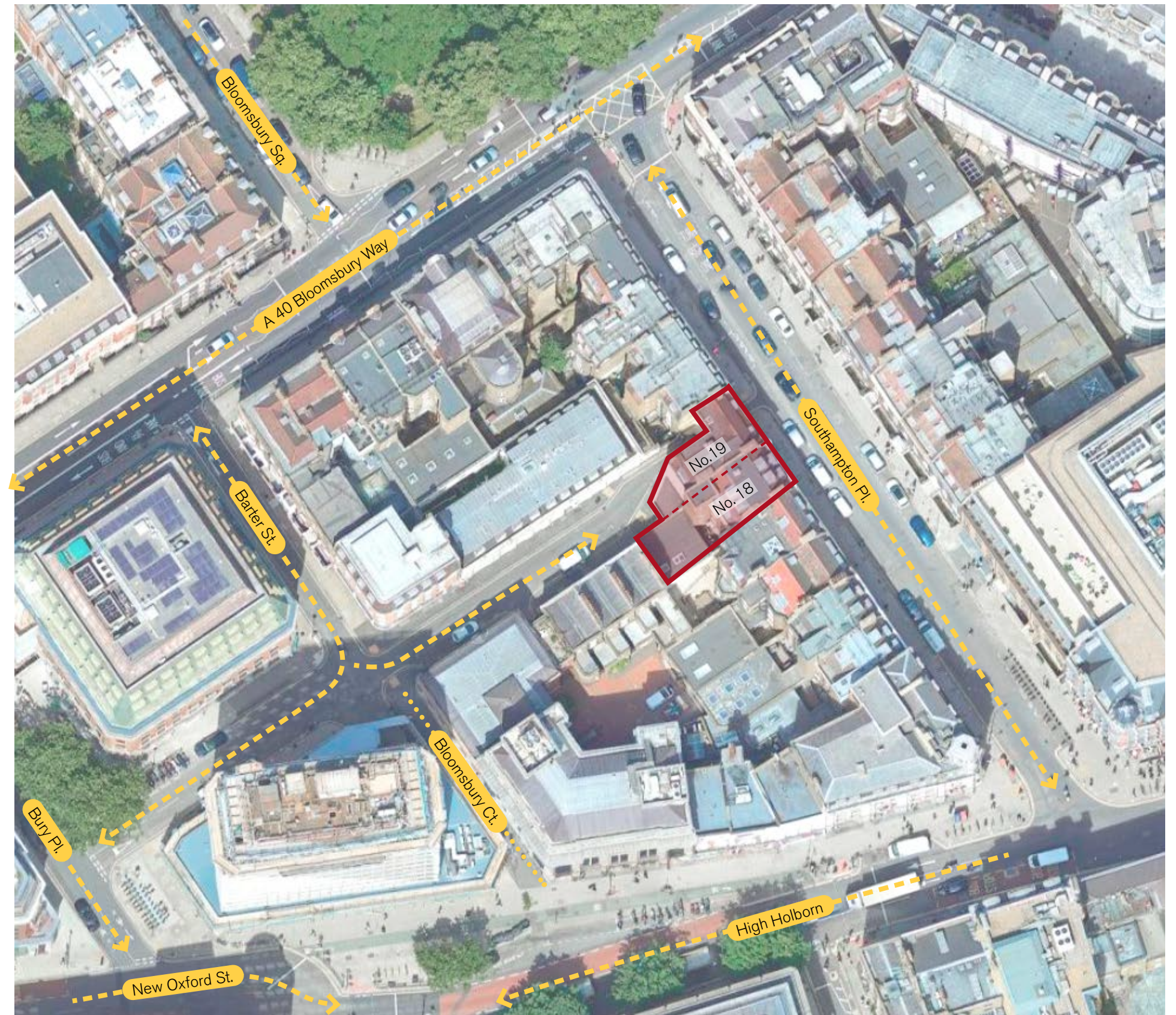


Figure 1. Site location

ESTATE SUMMARY

This project forms part of the Holborn Links Estate. Holborn Links is strategically located between the City and London's West End, at the heart of Midtown.

Holborn Links is a 2.5-acre freehold estate. The Estate includes a large number of Grade II and Grade II* listed buildings. The most prominent of these is the famous Sicilian Avenue. It sits within the Central Activity Zone (CAZ) and the Bloomsbury Conservation Area.

The Estate is located close to two Crossrail stations on the Elizabeth line, Tottenham Court Road and Farringdon, both of which are due to open soon and is a short walk from Holborn tube station.

Holborn Links was acquired by CCP 5 Long Life (CCP 5 LL), in March 2020 and is managed by Edmond de Rothschild. The Estate presents an opportunity to revitalise the commercial and office space, enhance the appearance of the landmark Listed Buildings and create a high performing quarter that sits as the jewel within the heart of Central London.



18 & 19 SOUTHAMPTON PL.

18 - 19 Southampton Place have been linked through previous alterations and refurbishments. Each building retains its own staircase between basement and third floor, however only the staircase in No. 19 extends to fourth floor within the mansard roof space. These stair cores have been linked via corridors and rooms through the original party wall.

Extensive refurbishments were carried out in the early 1970s and 2010-2012. It is not documented on the local authorities planning portal when the mansard roofs were added however GOA believe these mansards roofs and the interiors at fourth floor are of modern construction, as are the roof coverings and gutter linings.

The initial heritage assessment has at a high level outlined features within the property that are of historic significance and of modern construction. Where possible, these proposals aim to protect and preserve the items of historic significance and where necessary sensitively remove and replace the tired modern construction elements that require intervention.

A small passenger lift serves basement to third floor and the lift sits at half landing level on the first, second and third floor located within a tall modern rear extension built in the early 1970's. There is one WC located on the first, second and third floors. There is no WC provided on the ground floor although a shower room and sink is situated here. In the basement a separate women's wash room and men's wash room has been provided with 4no. cubicles and sinks provided in each. No WC exists on the fourth floor.

Floors are generally arranged with a single room fronting the street and another facing the rear of the building. On the ground floor within number 18 an inner light well containing plant at basement level has been provided. Windows on ground and first floor look out into this

courtyard/light well.

The basement of the building containing the original brick vaulted coal cellar survives however much of the basement level containing further office accommodation and the WC blocks has been converted and much of the original features removed during this renovation. The basement contains light wells at the front from ground down to the lower ground floor with door access into each which allow for some natural lighting.

18 & 19 are Grade II* Listed as part of "Numbers 14-22 and attached railings" listing. Further details are set out in section 2.4.



Figure 2. Frontage of No. 20 - 22 Southampton Pl.



Figure 3. Existing photo of no. 19 Southampton Place viewed from Barter Street showing condition of render.



Figure 4. Existing photo of 18 & 19 Southampton Place.



Figure 5. Rear of 18 & 19 Southampton Place showing facade condition and 1970s lift and WC core.



Figure 6. Existing front room on fourth floor within no. 18



Figure 7. View of existing lift shaft from half landing in 18 SP.



Figure 10. Stairs at ground within 18 SP.



Figure 8. Light well at basement level containing plant within number 18 SP.



Figure 9. Example of existing WC's located within rear modern extension.



Figure 11. Example of existing original retained windows.



Figure 12. Example of existing fireplace. Possible historic.



Figure 13. Existing stair from fourth floor looking down.



Figure 14. Ladder stair to existing escape window on fourth floor.



Figure 15. Lift shaft and WC located on half landing of 3rd floor.



Figure 16. Escape window located on fourth floor.



Figure 17. Plant room located on fourth floor.



Figure 18. Modern construction floor located on fourth floor.



Figure 19. Door located in original party wall connecting stair cores of number 18 & 19 SP.



Figure 20. Third floor rear dormer window of number 19 SP.



Figure 21. Existing roof lights located on flat roof above ground floor in 18 SP.



Figure 22. View from flat roof looking onto Barter Street.



Figure 23. Entrance to number 19. SP located off of Barter Street



Figure 24. View of roof accessed from fourth floor in no. 18 SP.



Figure 25. View of flat roof above ground floor of no. 18 SP



Figure 26. Double doors blocked up on otherwise located on 2nd floor of no. 18 SP.



Figure 27. Server cupboard located in front room of 2nd floor.



Figure 28. WC located on second floor within modern extension.



Figure 29. Existing view South down Southampton Place



Figure 30. Existing view North down Southampton Place



Figure 31. Existing view from Barter Street towards 18 & 19 Southampton Place

The listed status of each respective group of buildings is outlined below. An extract of the List Entry is also provided.

18 & 19 SOUTHAMPTON PL.

18 & 19 Southampton Place are Grade II* statutory listed (as part of "Numbers 14-22 and attached railings"). A number of adjacent buildings are also statutory listed, both as group and individual listings. Its significance mainly relates to its exterior and frontage. It appears from the historical planning records that the internal layouts and plan forms of these buildings have been significantly altered since at least the 1970s, whereby it is likely that the internal elements of the buildings generally make a limited contribution to their special significance, acknowledging that there are some sensitive areas where the original plan form and historic features remain. The listing specifically against No. 18 & 19 states:

No. 18: Nos 17 and 18 with round-arched doorways with patterned fanlights, sidelights and panelled doors.

No. 19: 'No.19: mid C19 stucco front with rusticated ground floor and archway to Barter Street. Facade flanked by rusticated Ionic pilasters rising through 1st and 2nd floors carrying entablature with bracketed cornice and balustraded parapet. Original wooden C18 doorcase with attached Doric columns carrying entablature with triglyphs, mutule pediment and panelled reveals. Architraved sash windows with keystones; 1st floor with pulvinated frieze and dentilled, pedimented cornice. Balustraded balconies. INTERIOR: not inspected but noted to retain staircase with turned balusters and twin column newels and good C18 fireplace. SUBSIDIARY FEATURES: attached C19 cast-iron railings to areas.



Figure 33. Southampton Place no. 18 & 19 taken in c. 1970 - London Picture Archive



Figure 32. No. 18 Southampton Place first floor, front room c. 1970 - London Picture Archive



Figure 34. 18 & 19 Southampton Place, rear view c. 1970 - London Picture Archive

SITE HISTORY - PLANNING HISTORY

2.4.1 PLANNING HISTORY OVERVIEW

Application no.	Address	Development Description	Decision & Date
18 & 19 Southampton Pl.			
HB162/R	18	Alterations and extension at 18 Southampton Place	Granted – 15.06.1970
9134R	18-19	Internal and external alterations and extensions for existing use as office at 18 & 19 Southampton Place	Granted – 09.10.1970
HB522	17-18	Amalgamation of 17-18 Southampton Place through inter-connecting doors at basement, ground and second floors.	Granted – 15.05.1973
8770339	18-19	Repair works and minor internal alterations.	Granted – 16.03.1989
2010/4693/P	16-19	Change of use from B1a office to flexible B1a office and D1 non-residential institutional uses.	Planning Permission Granted – 08.12.2010
2011/1073/P	16-19	External alterations including erection of rear infill extension to existing ground floor extension to No 16, new doors, replacement of existing A/C units and associated repairs/ refurbishment to windows, elevations and roof area.	Planning Permission Granted – 28.04.2011
2011/1075/L	16-19	External and internal alterations including erection of rear infill extension to existing ground floor extension to No 16, new doors, removal of non-historic partitions, new partitions and doors, new A/C units and associated repairs/refurbishment to services provision, windows, elevations and roof area.	Listed Building Consent Granted – 28.04.2011
2012/0500/L	16-19	Minor internal alterations to previously approved consent (ref:2011/1075/L) including alterations to the WC area with the omission of new door to basement of No 19, internal modification of WC and removal of partition at ground floor of No 16, additional WC area at basement floor of No 17 and repositioning of a/c units at ground and first floor levels.	Listed Building Consent Granted – 16.03.2012

EXISTING GENERAL ARRANGEMENT

The following section shows the current general arrangement of the three buildings and outlines the existing fabric in relation to the heritage assessment undertaken. This analysis will influence the proposed level of intervention and accommodate the retention and restoration of important historical fabric.

In order to propose a sensitive and practical proposal for the interventions the following common constraints and opportunities between the buildings are outlined below:

CONSTRAINTS

- Stepped access into buildings.
- No accessible WCs.
- WCs and lifts on half landings from office floors preventing accessible access internally.
- Lift is not of an accessible size.
- Historical plan forms are of significant heritage interest
- Poor natural ventilation and mechanical strategy.
- Awkward arrangement of rooms and space planning

OPPORTUNITIES

- Create high quality workspace with suitable amenity provision.
- Make the most of available external space.
- Provide an efficient heating and cooling strategy.
- Refurbish buildings internally and externally to give a new lease of life while keeping historic features and replacing poor modern features with more appropriate alternatives.

KEY

- 1

Existing W/C's
- 2

Existing light well where condensers and plant is located.
- 3

Existing office's
- 4

Existing opening between 18 & 19 SP
- 5

Original Staircases.
- 6

1970s Lift addition
- 7

Access to light wells at front of buildings

CONSTRAINTS

- A

Small outdated lift
- B

Restricted light levels
- C

Unsightly outlooks onto light wells located at the front and back of the buildings

OPPORTUNITIES

- A

Refurbish female WC's
- B

Refurbish male WC's
- C

Refurbish vault storage areas
- D

Retained and redecorate existing doors
- E

Redecorate generally keeping historic features and replacing poor modern features with in keeping alternatives.

KEY - HISTORIC FABRIC

Categorisation based on Giles Quarme Architects' appraisal 01.03.2021. 9802 - Holborn Link. Walls not appraised.

- Element

Historic
- Element

Maybe of historic interest
- Dashed lines indicate ceiling level features (cornice/ceiling roses)

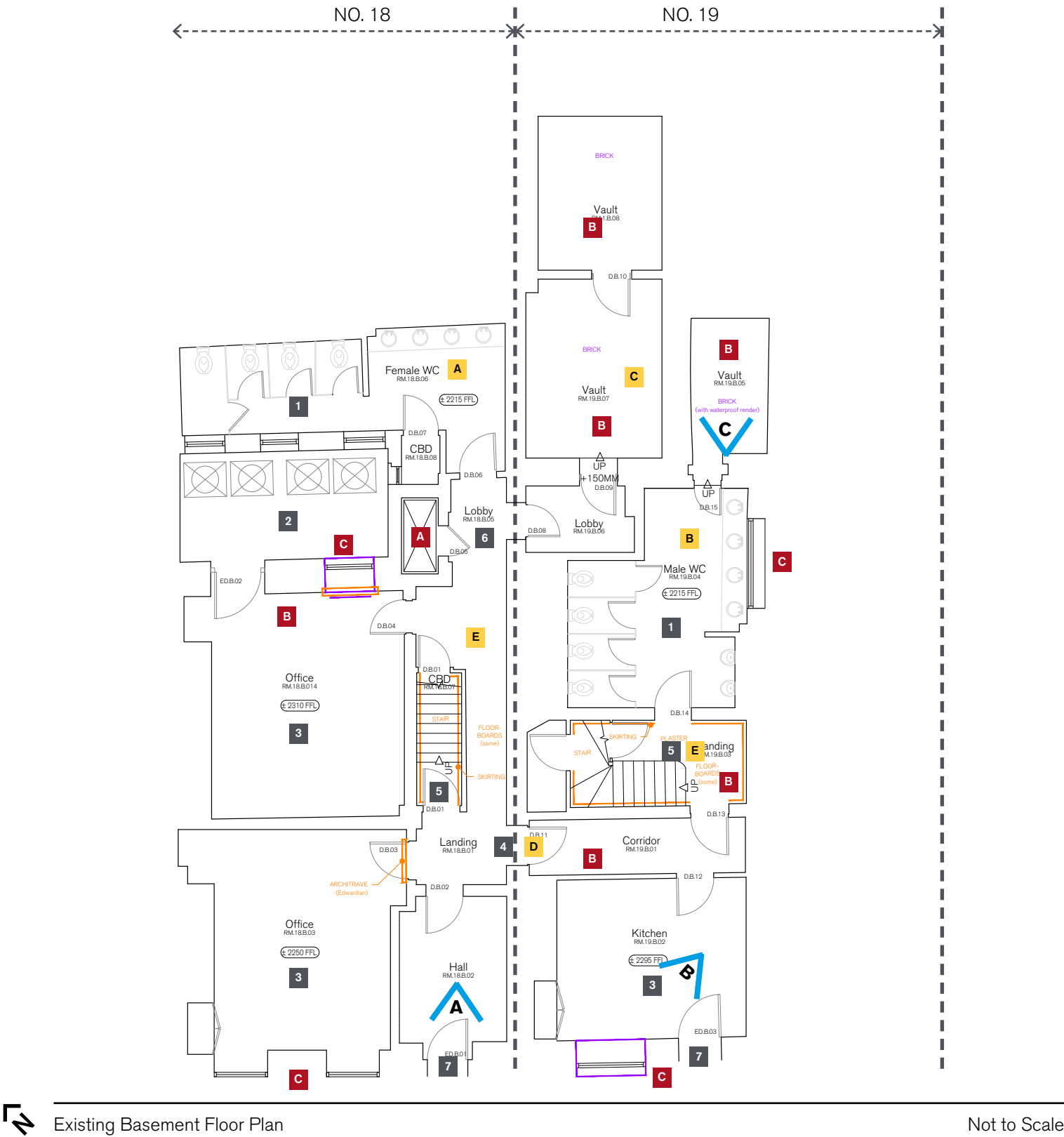




Figure 35. View A - Existing external door and broken glazing



Figure 36. View B - Historical sash windows



Figure 37. View C - Modern construction rendered vault in basement.

3.2

GROUND FLOOR

KEY

- 1

Main entrance
- 2

Windows into light well
- 3

Ground Floor Extensions
- 4

External door to Barter Street
- 5

External access off of Barter Street

CONSTRAINTS

- A

Stepped access
- B

Small outdated lift
- C

Steels above supporting roof

OPPORTUNITIES

- A

Refurbish existing rear rooms
- B

Refresh underutilised light well to create a better outlook
- C

Refurbish and redecorate existing doors
- E

Redecorate generally keeping historic features and replacing poor modern features with in keeping alternatives.

KEY - HISTORIC FABRIC

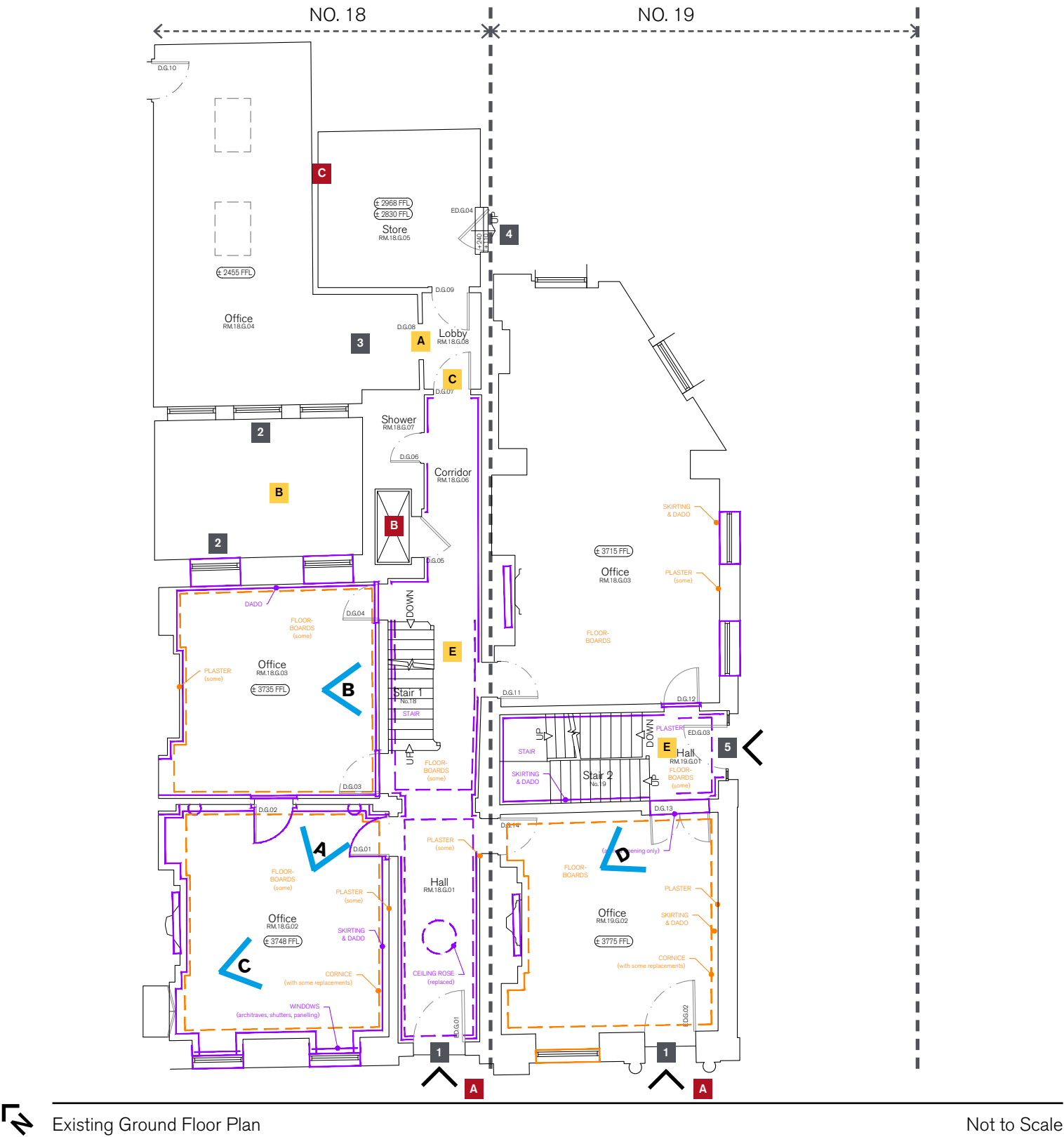
Categorisation based on Giles Quarme Architects' appraisal
01.03.2021. 9802 - Holborn Link. Walls not appraised.

- Element

Historic
- Element

Maybe of historic interest

Dashed lines indicate ceiling level features (cornice/
ceiling roses



Existing Ground Floor Plan

Not to Scale



Figure 38. View A - Existing external door and broken glazing



Figure 39. View B - Existing Lath and Plaster



Figure 40. View D- Existing Lath and Plaster



Figure 41. Existing wall light



Figure 42. Existing historic cornice detail



Figure 43. Existing historic ceiling rose

3.3

FIRST FLOOR

KEY

- 1

Link between 18 & 19 SP.
- 2

1970s extension with lift and WC provision.

CONSTRAINTS

- A

Restricted floor plan in consideration to the significant historic plan of the building
- B

Restricted space within the WC.
- C

No accessible access to upper floors
- D

Small outdated lift.

OPPORTUNITIES

- A

Refurbish existing fire places.
- B

Refurbish and redecorate façades and windows generally.
- C

Refurbish and redecorate existing doors
- D

Redecorate generally keeping historic features and replacing poor modern features with in keeping alternatives.
- E

Clean and make good existing flat roofs

KEY - HISTORIC FABRIC

Categorisation based on Giles Quarme Architects' appraisal 01.03.2021. 9802 - Holborn Link. Walls not appraised.

- Element

Historic
- Element

Maybe of historic interest
- Dashed lines indicate ceiling level features (cornice/ceiling roses

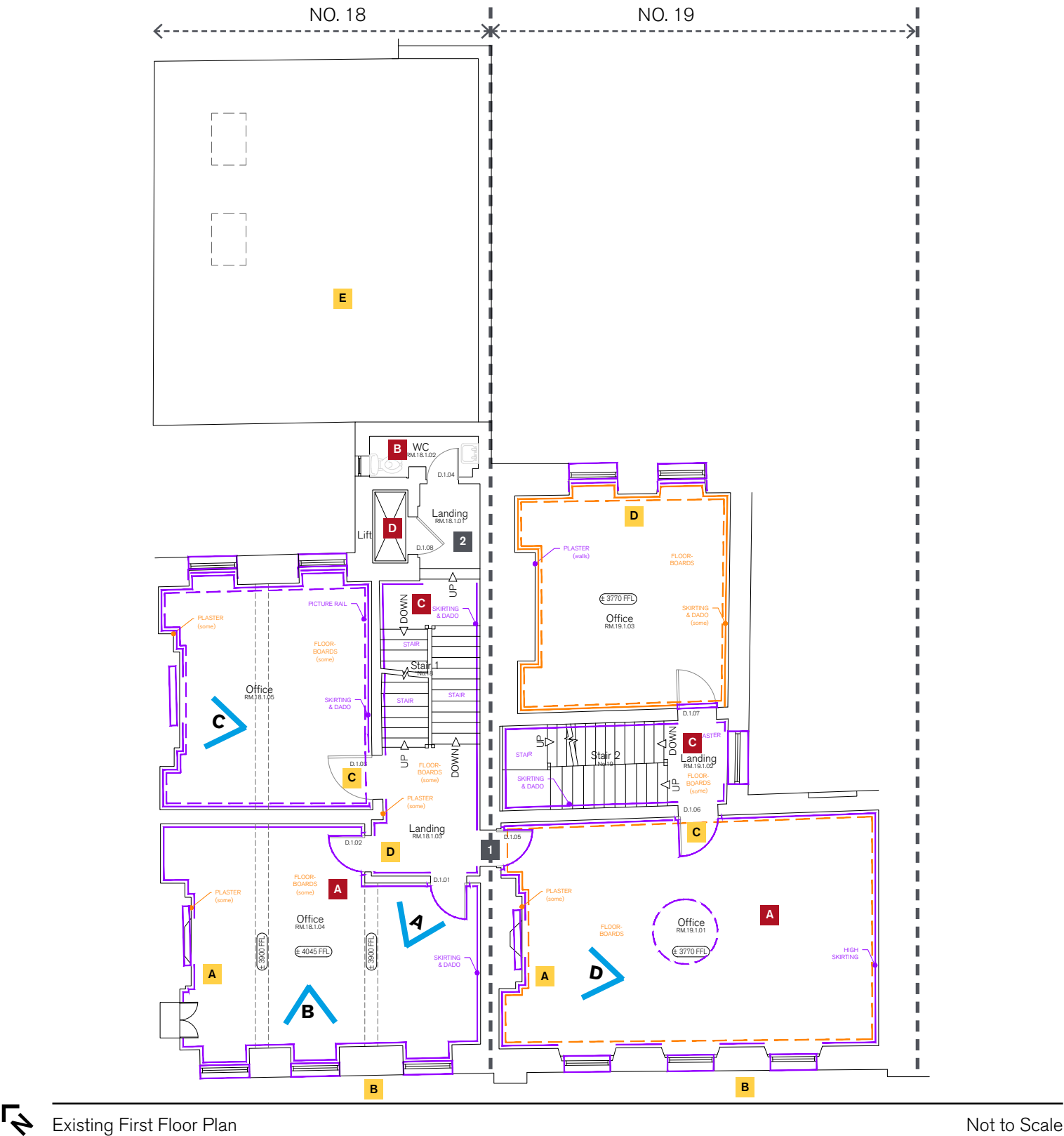




Figure 44. View A - View towards original staircase



Figure 45. Historic lath and plaster



Figure 46. View B - Historic sash windows



Figure 47. Historical dado rail



Figure 48. View C - Blocked up fireplace historical status unknown



Figure 49. Historical ceiling rose



Figure 50. View D - Historical marble fireplace

3.4

SECOND FLOOR

KEY

- 1

Link between 18 & 19 SP.
- 2

1970s extension with lift and WC provision.

CONSTRAINTS

- A

Restricted floor plan in consideration to the significant historic plan of the building
- B

Restricted space within the WC.
- C

No accessible access to upper floors
- D

Small outdated lift.

OPPORTUNITIES

- A

Refurbish existing fire places.
- B

Refurbish and redecorate façades and windows generally.
- C

Refurbish and redecorate existing doors
- D

Redecorate generally keeping historic features and replacing poor modern features with in keeping alternatives.

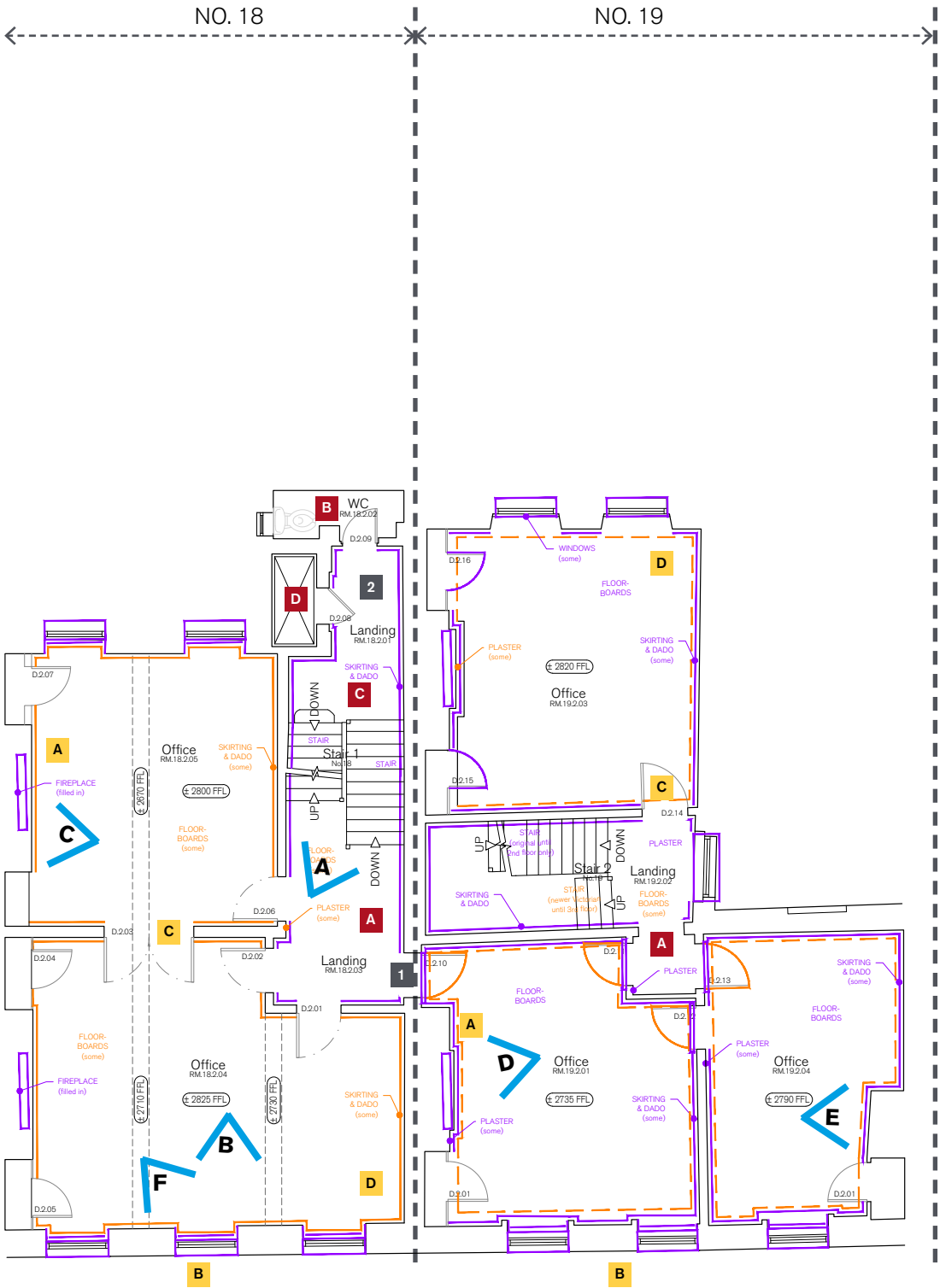
KEY - HISTORIC FABRIC

Categorisation based on Giles Quarme Architects' appraisal 01.03.2021. 9802 - Holborn Link. Walls not appraised.

- Element

Historic
- Element

Maybe of historic interest
- Dashed lines indicate ceiling level features (cornice/ceiling roses



Existing Second Floor Plan

Not to Scale



Figure 51. View A - View of original staircase detailing



Figure 52. View B- View of historical sash windows



Figure 53. View C - View of panelling and timber mantle. Historic status unknown



Figure 54. View D - View towards historic fireplace



Figure 55. View E - View of missing timber panelling showing historic brickwork behind



Figure 56. View F- View of historic timber panelling around window reveals.

3.5

THIRD FLOOR

KEY

- 1

Link between 18 & 19 SP.
- 2

1970s extension with lift and WC provision.

CONSTRAINTS

- A

Restricted floor plan in consideration to the significant historic plan of the building
- B

Restricted space within the WC.
- C

No accessible access to upper floors
- D

Small outdated lift.

OPPORTUNITIES

- A

Refurbish existing fire places.
- B

Refurbish and redecorate façades and windows generally.
- C

Refurbish and redecorate existing doors
- D

Redecorate generally keeping historic features and replacing poor modern features with in keeping alternatives.

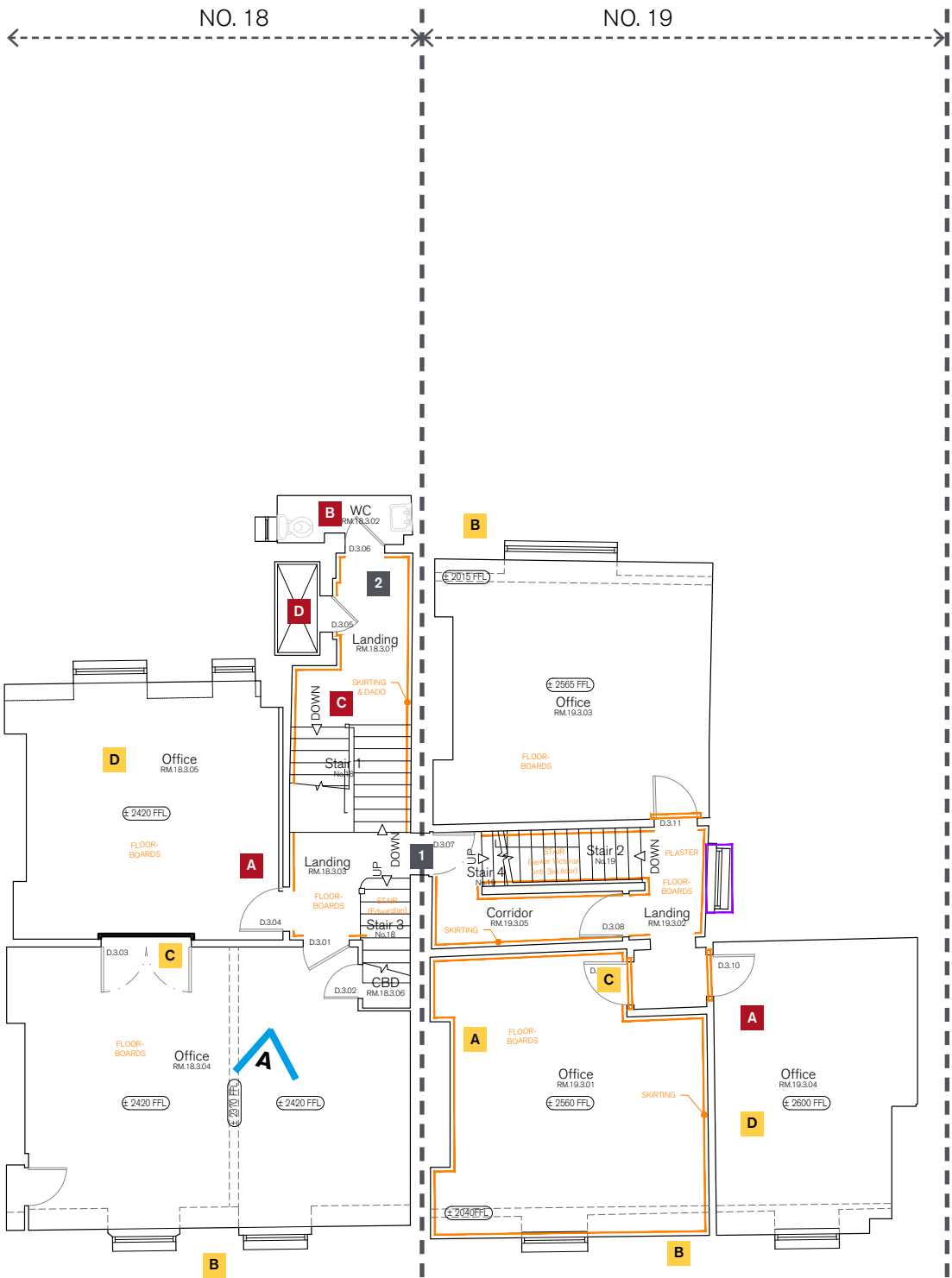
KEY - HISTORIC FABRIC

Categorisation based on Giles Quarme Architects' appraisal 01.03.2021. 9802 - Holborn Link. Walls not appraised.

- Element

Historic
- Element

Maybe of historic interest
- Dashed lines indicate ceiling level features (cornice/ceiling roses



Existing Third Floor Plan

Not to Scale



Figure 57. Detail of historic sash window



Figure 58. View A - View of sash windows. Historic status unknown



Figure 59. Historic lath and plaster



Figure 60. Historic lath and plaster

KEY

- 1 Existing staircase to roof escape window
- 2 Existing plant room on fourth floor
- 3 Existing ladder to roof fire escape
- 4 Window onto adjacent property roof as fire escape

CONSTRAINTS

- A No access to lift
- B Restricted headroom
- C Narrow landing at top of stair
- D Escape route between buildings
- E No edge protection for maintenance of roof outside of escape route

OPPORTUNITIES

- A Retain existing plant
- B Carry out localised repairs to roof where appropriate
- C Refurbish and redecorate windows.
- D Redecorate generally keeping historic features and replacing poor modern features with in keeping alternatives.

KEY - HISTORIC FABRIC

Categorisation based on Giles Quarme Architects' appraisal 01.03.2021. 9802 - Holborn Link. Walls not appraised. .

- Element Historic
- Element Maybe of historic interest
- Dashed lines indicate ceiling level features (cornice/ ceiling roses

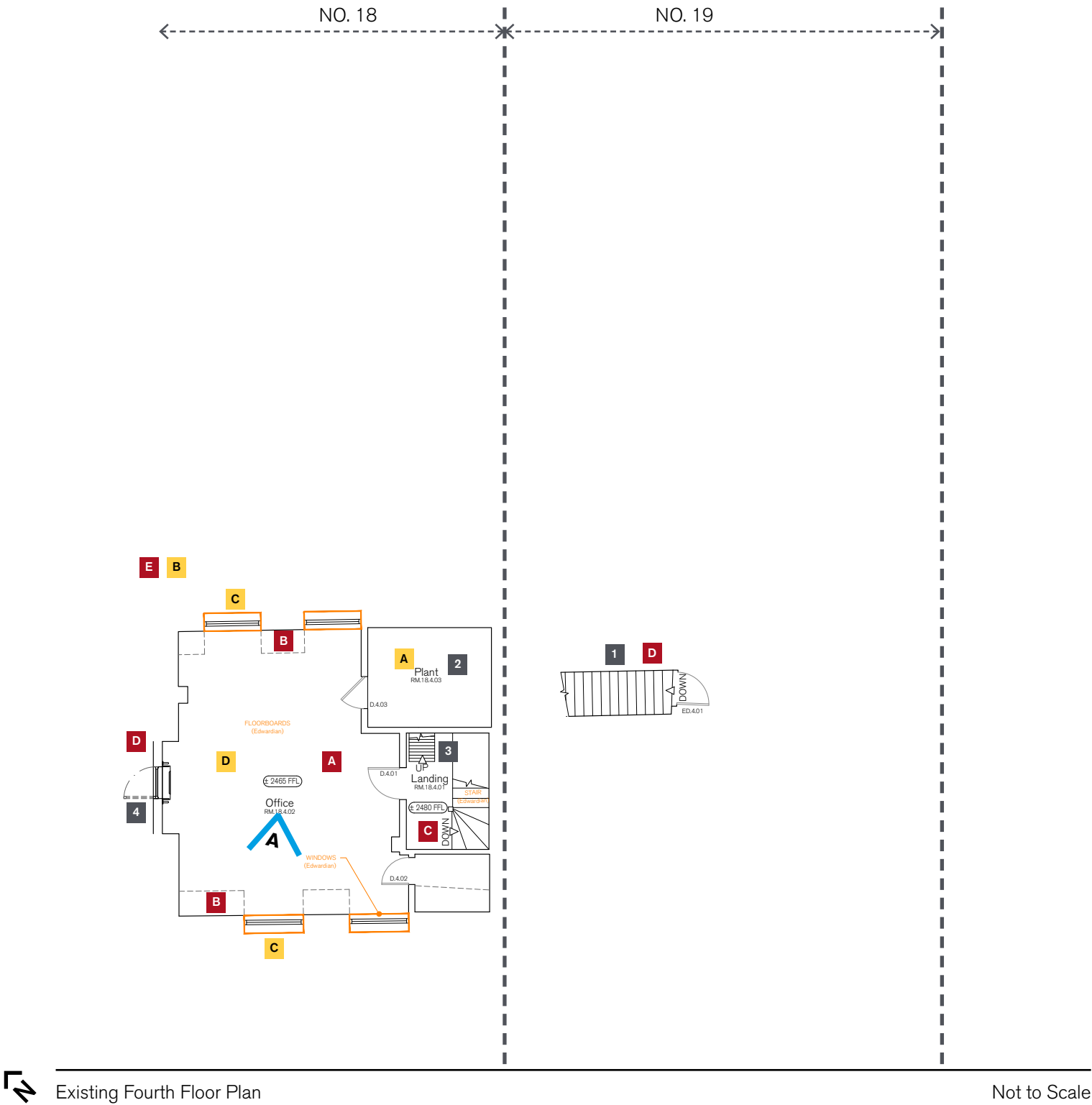




Figure 61. View A - View of sash windows. Historic status unknown



Figure 62. View A - View of roof access



Figure 63. View A - View of historic lath and plaster

PROPOSALS

This proposals in this document focus on the internal modifications. The aim of these proposals is to return the building to a full state of repair and to deliver high quality office accommodation that is returned to market swiftly. In that manner the proposals seek to minimise interventions that would prove contentious from a heritage aspect in order to streamline the process.

All the proposals are based on maintaining historic features where present and complimenting these with sympathetic proposals where heritage elements have previously been removed. A high level of finish is proposed throughout in order to create attractive and quality accommodation.

The proposed development is detailed on subsequent pages through annotated plans, precedent images and 3D visualisations.

The images adjacent illustrate the potential upgrade for the new spaces following refurbishment. The colours and fixtures may vary.



PROPOSED FEATURES

18/19 SP KEY

- 1

Lift finishes to be refurbished.
- 2

Existing WCs refurbished
- 3

All non-historic features refurbished
- 4

Existing windows refurbished and re decorated.
- 5

New proposed kitchen and appliances with communal seating area
- 6

Refurbished historic and non historic external and internal doors
- 7

Refurbished historic staircase in both 18 & 19 SP.
- 8

Existing condensers to be replaced
- 9

Existing WC's refurbished
- 10

Area of water ingress to be repaired
- 11

Vaults to receive new waterproofing
- 12

New additional plant storage area
- 13

Wall to be retained
- 14

Existing fireplaces to be refurbished any historic fabric to be sensitively retained and refurbished.
- 15

Proposed light refurbishment to lightwell
- 16

Proposed light refurbishment to roof lights
- 17

Proposed shower to be refurbished
- 18

Existing external doors to be refurbished
- 19

Proposed access onto roof terrace
- 20

Existing blocked up double doors to be opened up and refurbished
- 21

Removal of existing door to allow for AOV to be installed on fourth floor



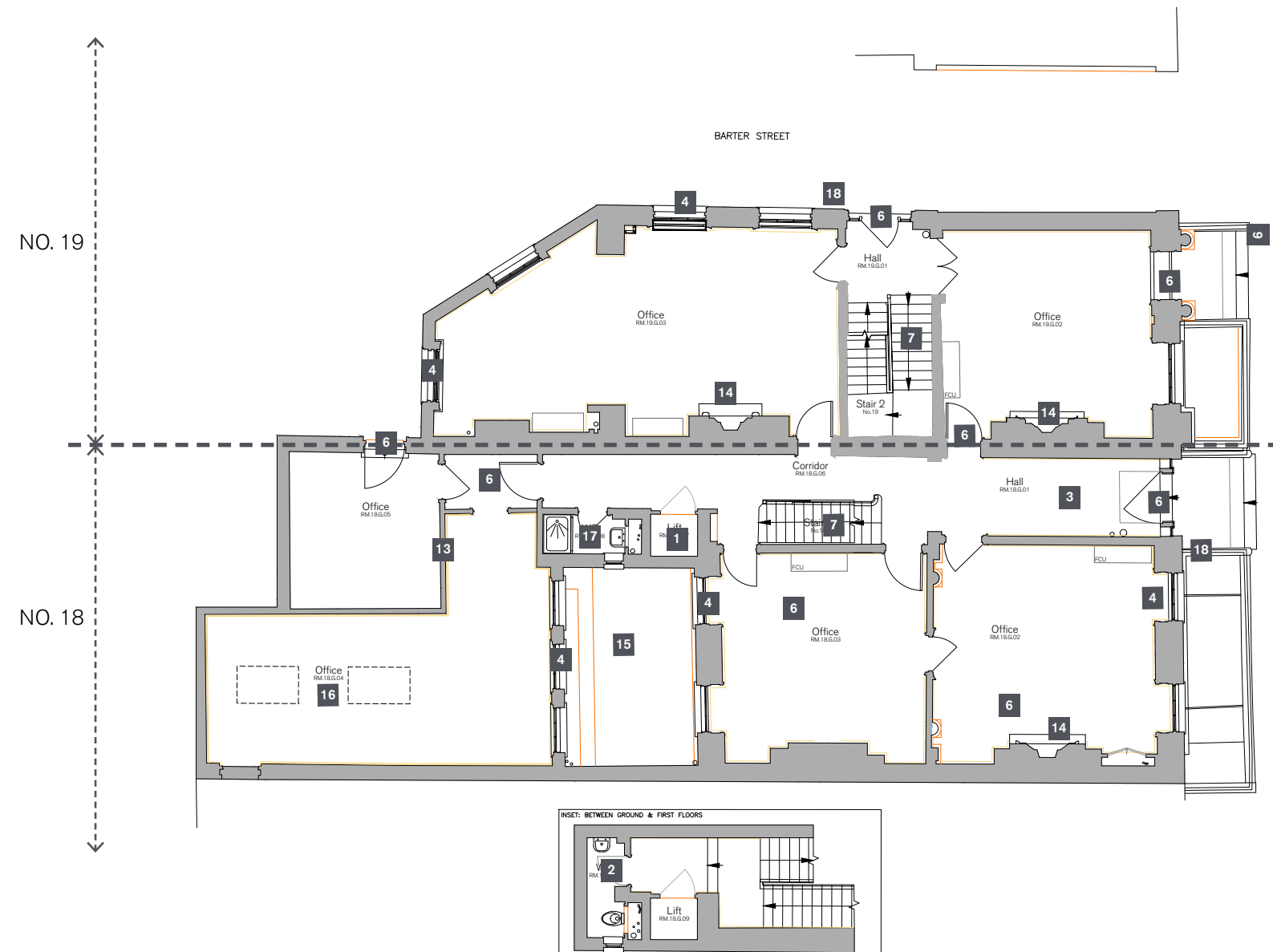
Proposed Lower Ground Floor Plan

NTS

PROPOSED FEATURES

18/19 SP KEY

- 1 Lift finishes to be refurbished.
- 2 Existing WCs refurbished
- 3 All non-historic features refurbished
- 4 Existing windows refurbished and re decorated.
- 5 New proposed kitchen and appliances with communal seating area
- 6 Refurbished historic and non historic external and internal doors
- 7 Refurbished historic staircase in both 18 & 19 SP.
- 8 Existing condensers to be replaced
- 9 Existing WC's refurbished
- 10 Area of water ingress to be repaired
- 11 Vaults to receive new waterproofing
- 12 New additional plant storage area
- 13 Wall to be retained
- 14 Existing fireplaces to be refurbished any historic fabric to be sensitively retained and refurbished.
- 15 Proposed light refurbishment to lightwell
- 16 Proposed light refurbishment to roof lights
- 17 Proposed shower to be refurbished
- 18 Existing external doors to be refurbished
- 19 Proposed access onto roof terrace
- 20 Existing blocked up double doors to be opened up and refurbished
- 21 Removal of existing door to allow for AOV to be installed on fourth floor



Proposed Lower Ground Floor Plan

NTS

PROPOSED FEATURES

- 1

Lift finishes to be refurbished.
- 2

Existing WCs refurbished
- 3

All non-historic features refurbished
- 4

Existing windows refurbished and re decorated.
- 5

New proposed kitchen and appliances with communal seating area
- 6

Refurbished historic and non historic external and internal doors
- 7

Refurbished historic staircase in both 18 & 19 SP.
- 8

Existing condensers to be replaced
- 9

Existing WC's refurbished
- 10

Area of water ingress to be repaired
- 11

Vaults to receive new waterproofing
- 12

New additional plant storage area
- 13

Wall to be retained
- 14

Existing fireplaces to be refurbished any historic fabric to be sensitively retained and refurbished.
- 15

Proposed light refurbishment to lightwell
- 16

Proposed light refurbishment to roof lights
- 17

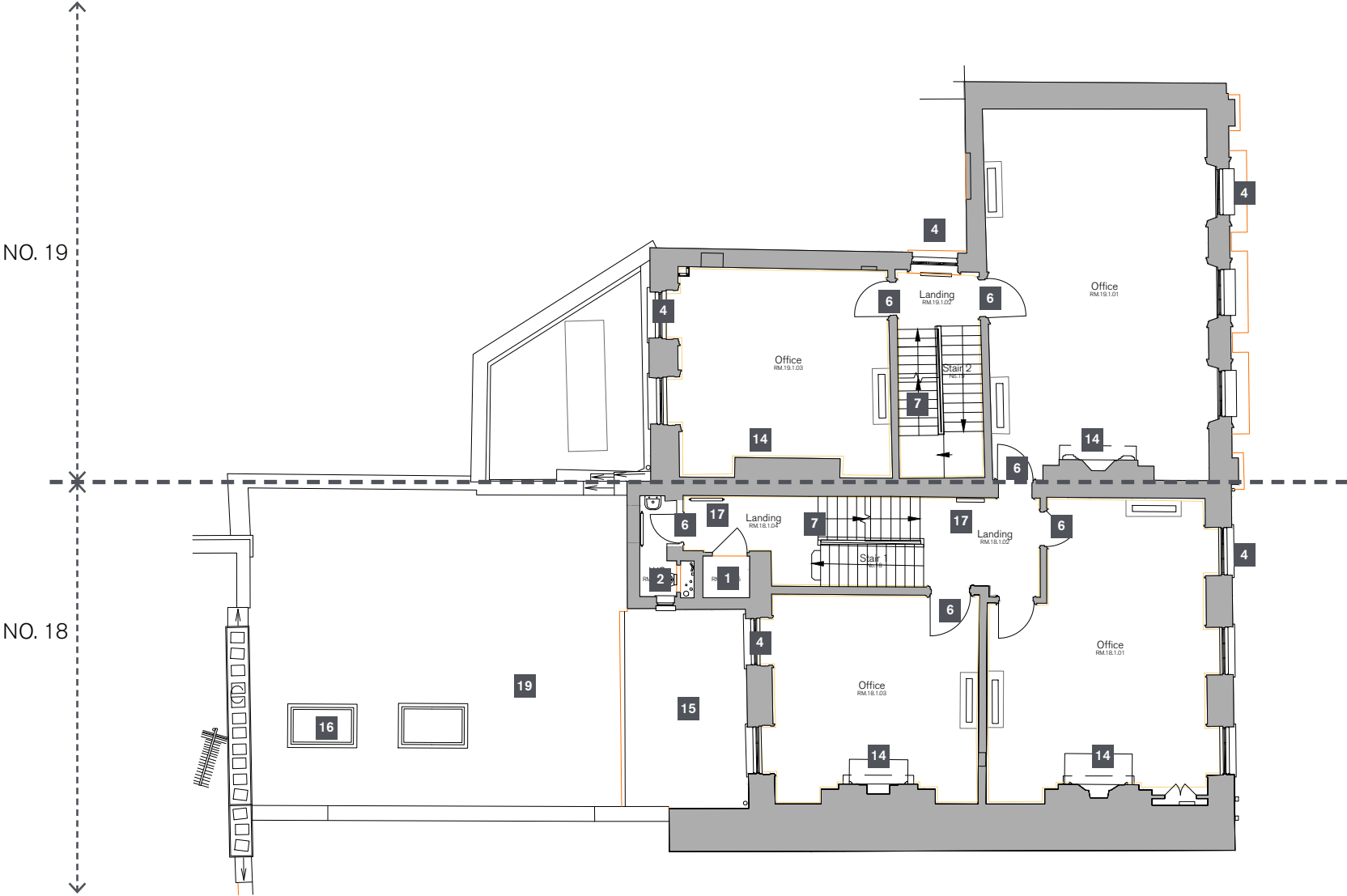
Proposed shower to be refurbished
- 18

Existing external doors to be refurbished
- 19

Proposed access onto roof terrace
- 20

Existing blocked up double doors to be opened up and refurbished
- 21

Removal of existing door to allow for AOV to be installed on fourth floor



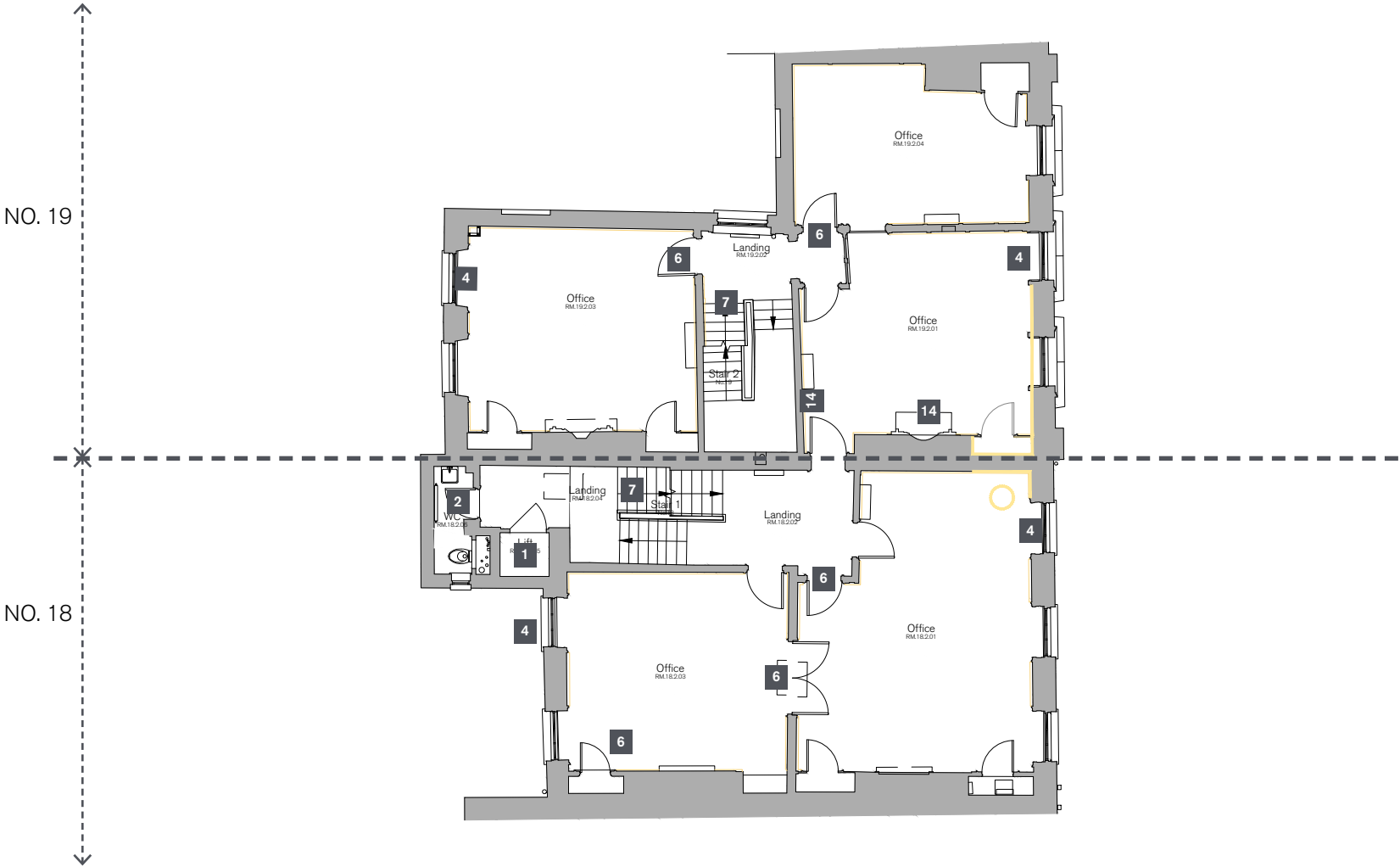
Proposed First Floor Plan

NTS

PROPOSED FEATURES

18/19 SP KEY

- 1 Lift finishes to be refurbished.
- 2 Existing WCs refurbished
- 3 All non-historic features refurbished
- 4 Existing windows refurbished and re decorated.
- 5 New proposed kitchen and appliances with communal seating area
- 6 Refurbished historic and non historic external and internal doors
- 7 Refurbished historic staircase in both 18 & 19 SP.
- 8 Existing condensers to be replaced
- 9 Existing WC's refurbished
- 10 Area of water ingress to be repaired
- 11 Vaults to receive new waterproofing
- 12 New additional plant storage area
- 13 Wall to be retained
- 14 Existing fireplaces to be refurbished any historic fabric to be sensitively retained and refurbished.
- 15 Proposed light refurbishment to lightwell
- 16 Proposed light refurbishment to roof lights
- 17 Proposed shower to be refurbished
- 18 Existing external doors to be refurbished
- 19 Proposed access onto roof terrace
- 20 Existing blocked up double doors to be opened up and refurbished
- 21 Removal of existing door to allow for AOV to be installed on fourth floor



Proposed Second Floor Plan

NTS

PROPOSED FEATURES

18/19 SP KEY

- 1

Lift finishes to be refurbished.
- 2

Existing WCs refurbished
- 3

All non-historic features refurbished
- 4

Existing windows refurbished and re decorated.
- 5

New proposed kitchen and appliances with communal seating area
- 6

Refurbished historic and non historic external and internal doors
- 7

Refurbished historic staircase in both 18 & 19 SP.
- 8

Existing condensers to be replaced
- 9

Existing WC's refurbished
- 10

Area of water ingress to be repaired
- 11

Vaults to receive new waterproofing
- 12

New additional plant storage area
- 13

Wall to be retained
- 14

Existing fireplaces to be refurbished any historic fabric to be sensitively retained and refurbished.
- 15

Proposed light refurbishment to lightwell
- 16

Proposed light refurbishment to roof lights
- 17

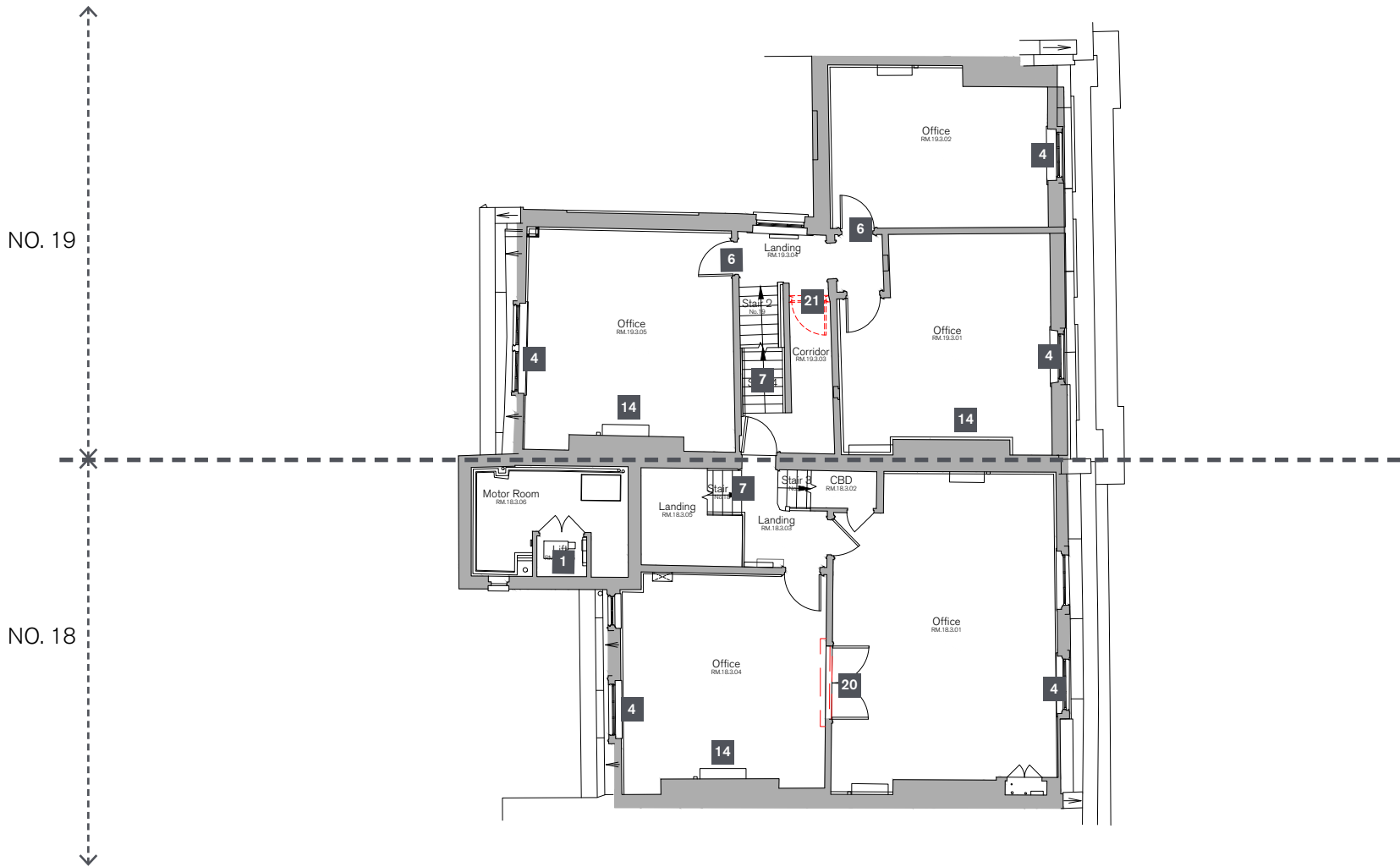
Proposed shower to be refurbished
- 18

Existing external doors to be refurbished
- 19

Proposed access onto roof terrace
- 20

Existing blocked up double doors to be opened up and refurbished
- 21

Removal of existing door to allow for AOV to be installed on fourth floor



Proposed Third Floor Plan

NTS

PROPOSED FEATURES

18/19 SP KEY

- 1

Lift finishes to be refurbished.
- 2

Existing WCs refurbished
- 3

All non-historic features refurbished
- 4

Existing windows refurbished and re decorated.
- 5

New proposed kitchen and appliances with communal seating area
- 6

Refurbished historic and non historic external and internal doors
- 7

Refurbished historic staircase in both 18 & 19 SP.
- 8

Existing condensers to be replaced
- 9

Existing WC's refurbished
- 10

Area of water ingress to be repaired
- 11

Vaults to receive new waterproofing
- 12

New additional plant storage area
- 13

Wall to be retained
- 14

Existing fireplaces to be refurbished any historic fabric to be sensitively retained and refurbished.
- 15

Proposed light refurbishment to lightwell
- 16

Proposed light refurbishment to roof lights
- 17

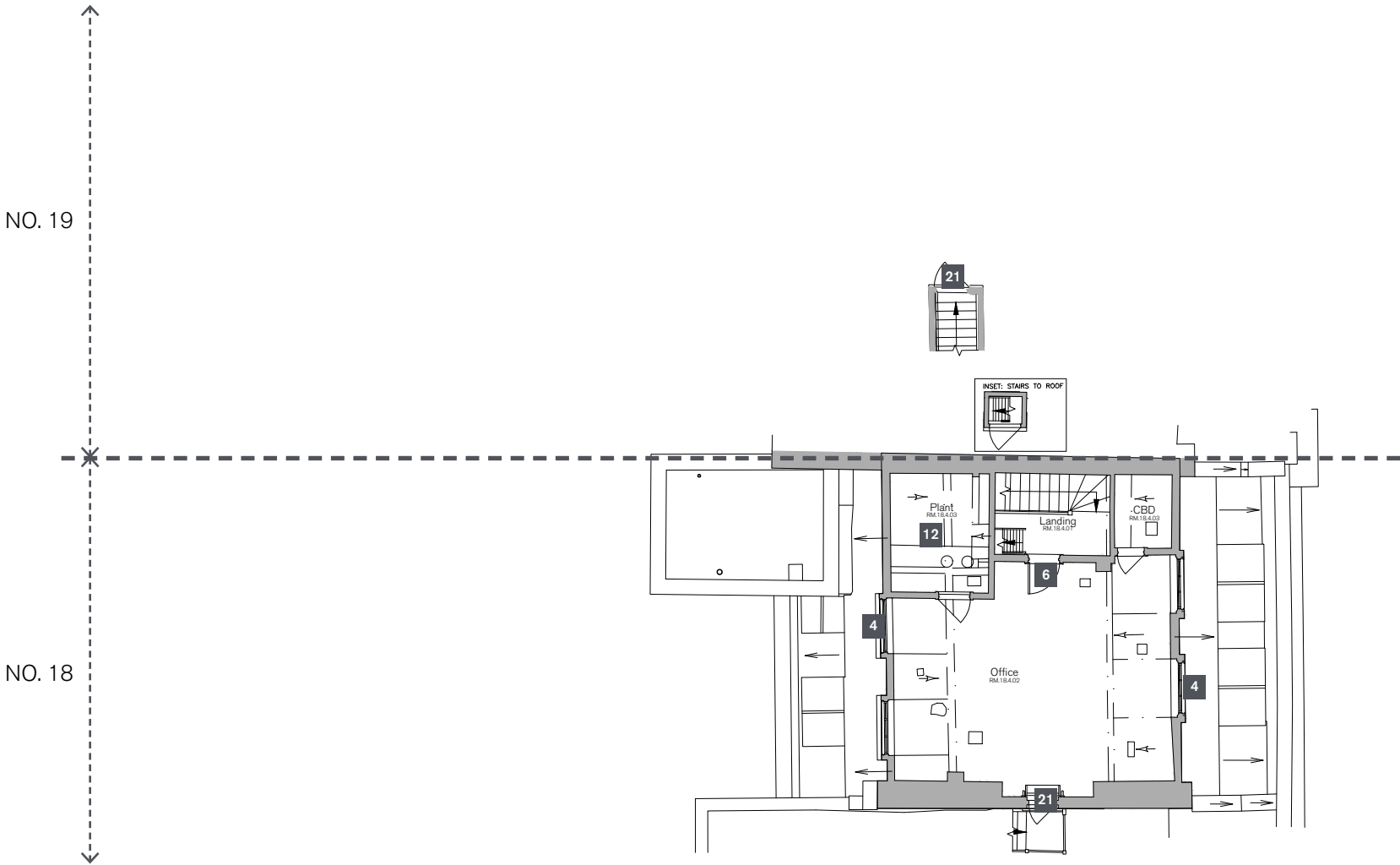
Proposed shower to be refurbished
- 18

Existing external doors to be refurbished
- 19

Proposed access onto roof terrace
- 20

Existing blocked up double doors to be opened up and refurbished
- 21

Removal of existing door to allow for AOV to be installed on fourth floor



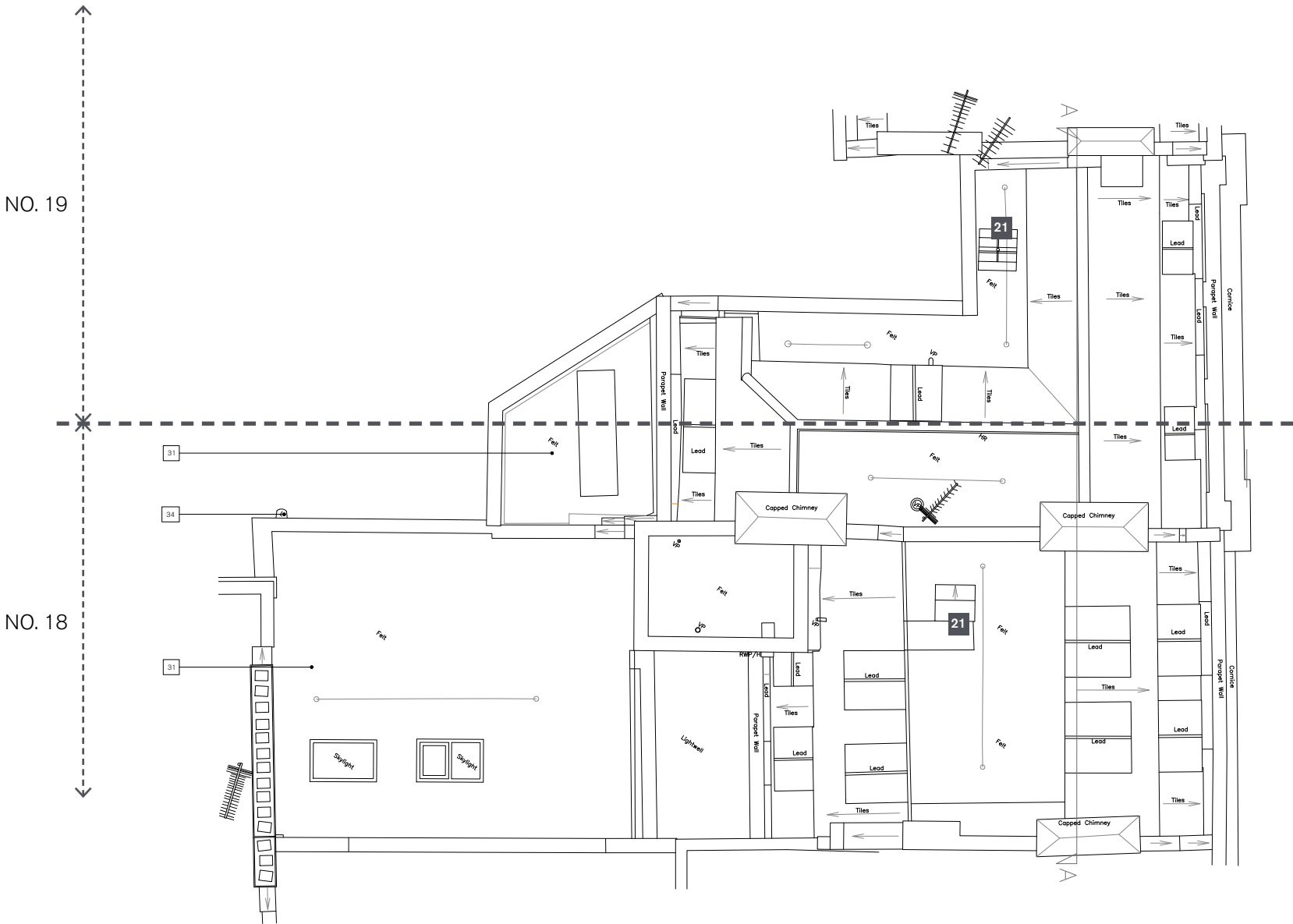
Proposed Fourth Floor Plan

NTS

PROPOSED FEATURES

18/19 SP KEY

- 1 Lift finishes to be refurbished.
- 2 Existing WCs refurbished
- 3 All non-historic features refurbished
- 4 Existing windows refurbished and re decorated.
- 5 New proposed kitchen and appliances with communal seating area
- 6 Refurbished historic and non historic external and internal doors
- 7 Refurbished historic staircase in both 18 & 19 SP.
- 8 Existing condensers to be replaced
- 9 Existing WC's refurbished
- 10 Area of water ingress to be repaired
- 11 Vaults to receive new waterproofing
- 12 New additional plant storage area
- 13 Wall to be retained
- 14 Existing fireplaces to be refurbished any historic fabric to be sensitively retained and refurbished.
- 15 Proposed light refurbishment to lightwell
- 16 Proposed light refurbishment to roof lights
- 17 Proposed shower to be refurbished
- 18 Existing external doors to be refurbished
- 19 Proposed access onto roof terrace
- 20 Existing blocked up double doors to be opened up and refurbished
- 21 Removal of existing door to allow for AOV to be installed on fourth floor



Proposed Fourth Floor Plan

NTS

The existing buildings are all somewhat compromised in their arrangement in terms of accessibility:

- All buildings contain lifts which are mostly located at half landing levels requiring users to navigate steps in order to get to/from the lift landings.
- The existing lifts are not sized to current regulations for accessibility.
- 18 & 19 Southampton Place have steps up to the entrance from the street level.
- Stair widths and landings are limited due to the historical staircases.

Due to the historic nature of the buildings, there are limited interventions that are possible within the listed fabric.

The refurbishment of these buildings will aim to, where possible, reuse the existing services and fittings to reduce the amount of intervention on the existing and historic building fabric. In turn this will reduce the amount of waste material produced whilst the building is under going refurbishment.

Whilst these are Listed Buildings, building regulation Approved Document L2B will be applied where suitable whilst maintaining the conservation of the buildings.

Due to the historic nature of the buildings, there are limited interventions that are possible within the listed fabric. However it is proposed that the existing access arrangement is aesthetically improved to upgrade the look and feel of the buildings as well as improve the fire strategy for the occupants with the addition of AOV smoke vents at the top of both stair cases. The refurbishment of the windows will also improve the ambient ventilation system in the building and provide better quality office space.

CONCLUSION

The proposals as outlined in the document above aim to repair and restore the grade II* listed buildings to create attractive and well serviced offices for future use. The proposals have been carefully considered to make minimal intervention into the existing historic building fabric with consideration to preserving the function of the building and proposing a contemporary office building that is commensurate with modern office standards.

With reference to the historic plan form of the buildings, the proposal will retain the existing layout. All historic features are proposed to be retained and made good where damaged including the restoration of the original staircases.

Overall the proposed development at 18 & 19 Southampton Place will have a positive contribution on the Holborn Links estate as well as securing the future longevity of the grade II* listed building through the repair and restoration work of these tired buildings.

S P R A T L E Y
& P A R T N E R S