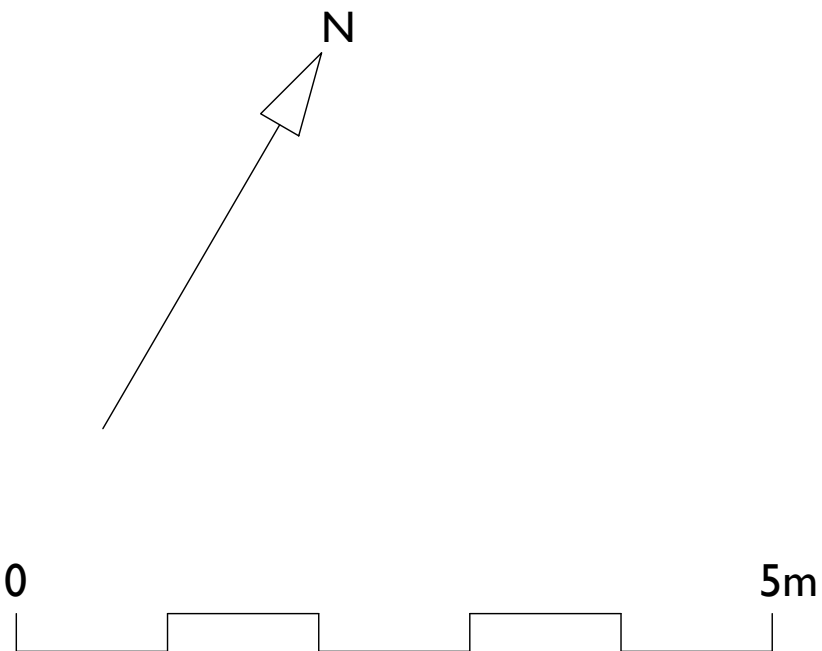


GROUND FLOOR

FIRST FLOOR

SECOND FLOOR

INTERNAL DEMOLITIONS
IN RELATION TO
RENOVATION ONLY
HAD BEEN UNDERTAKEN
AT TIME OF SURVEY



- Notes:
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 - 2. Any discrepancies between this and any other relevant drawing must be brought to the attention of the Format project coordinator immediately.
 - 3. This drawing is to be used for its intended purpose only. Only written dimensions are to be used BUILDERS/MANUFACTURERS MUST NOT SCALE FROM ANY PART OF THIS DRAWING.
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FOR TOWN PLANNING PURPOSES
ONLY

Revisions:	
A	
B	
C	
D	

Dwg Title: As Existing Plans
-

Address:

10 Regency Lawn,
Croftdown Road,
London,
NW5 1HF

Scale: 1:100@A3 1:50@A1

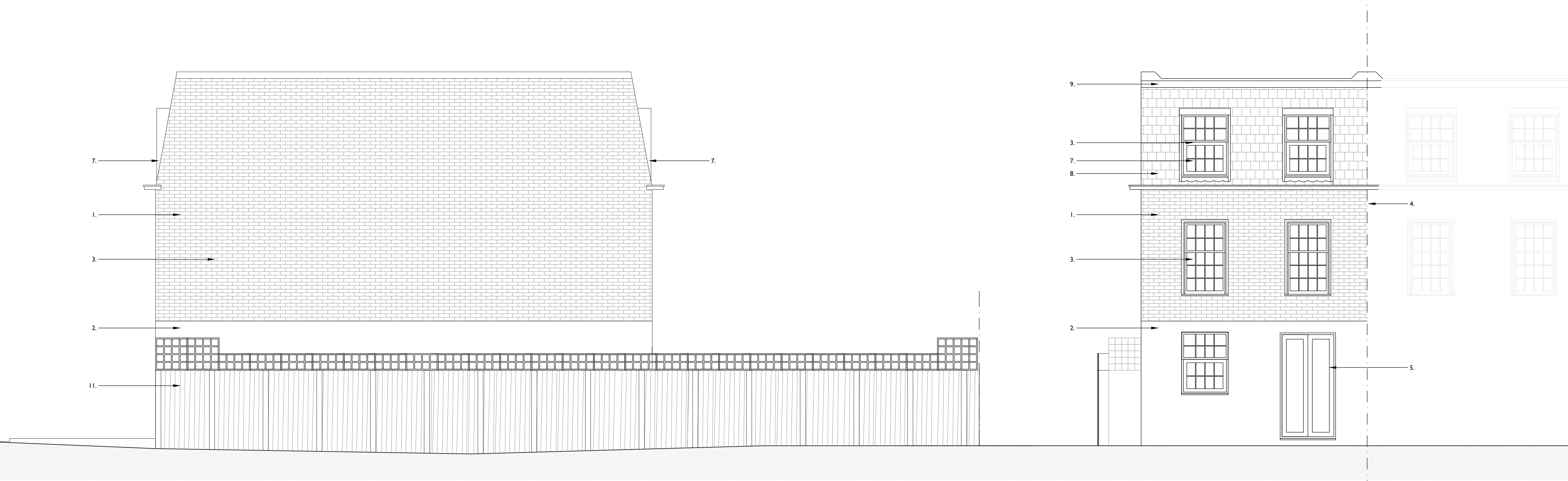
Job No: 21007

Drawing No: E100	Rev:
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Drawn by: JOH	Checked: ROH
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23B Montpelier Grove
London
NW5 2XD
Tel: 0207 372 7576
E: info@formatextend.com





SIDE ELEVATION

REAR ELEVATION

- Existing Materials:
- 1. Brown/black brick.
 - 2. White render to ground floor facade.
 - 3. uPVC framed, double glazed, fixed and top hung casement windows in white.
 - 4. Black plastic rainwater goods.
 - 5. uPVC framed double glazed french windows.
 - 6. uPVC front door in white
 - 7. Lead dormer windows.
 - 8. Slate hung mansard roof.
 - 9. Lead flashing.
 - 10. Faded green painted garage door.
 - 11. Close boarded timber fence with trellis over.



SECTION A-A



SECTION B-B



- Notes:
- 1. This drawing to be read in conjunction with all other relevant architectural structural and other consultants drawings and specifications.
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Revisions:	
A	
B	
C	
D	

Dwg Title: As Existing Sections and Elevation

Address:

10 Regency Lawn,
Croftdown Road,
London,
NW5 1HF

Scale: 1:100@A3 1:50@A1

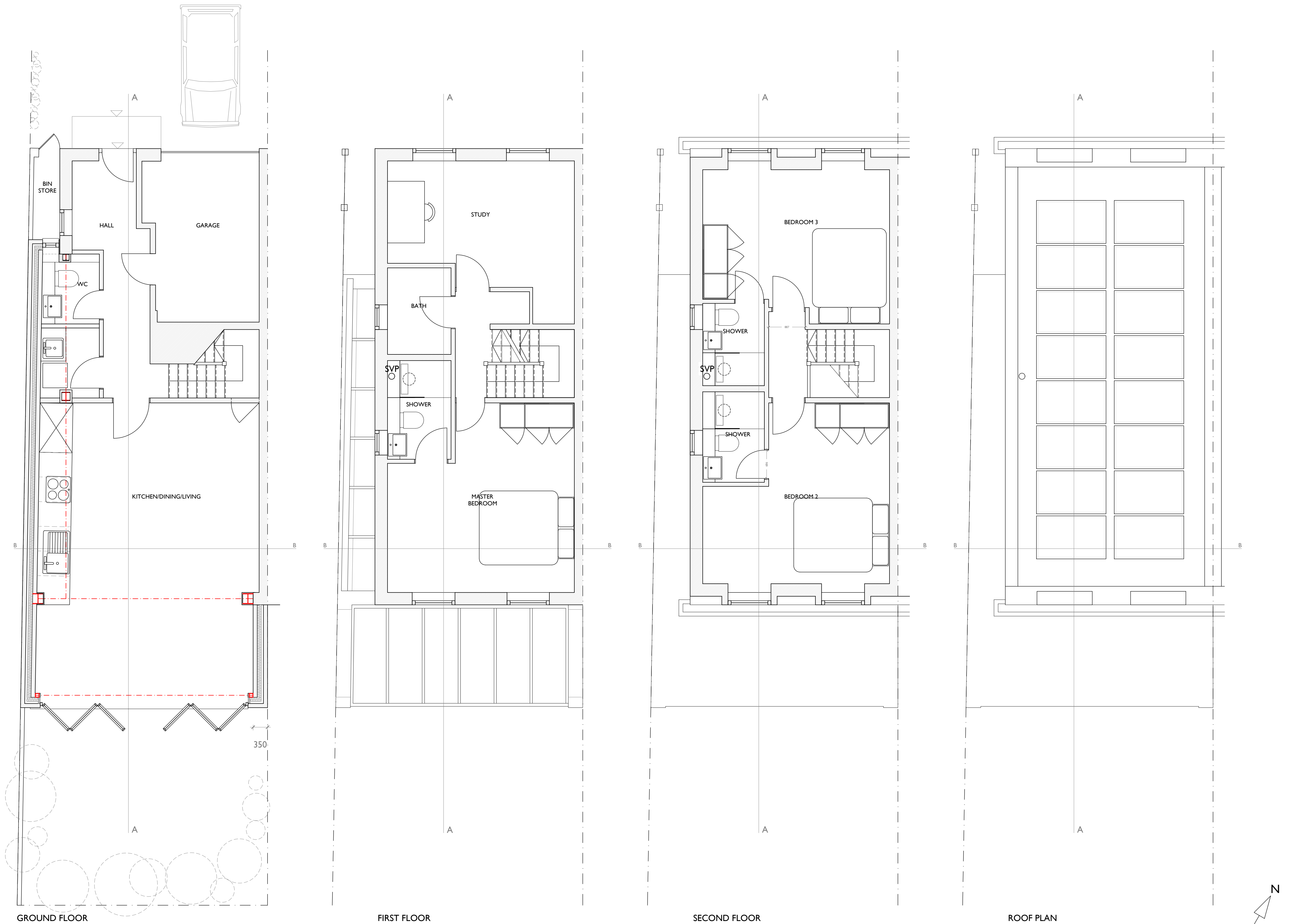
Job No: 21007

Drawing No: E200	Rev:
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- Notes:
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 4. This drawing remains the property of Format Extend Limited and is protected by copyright.
 5. All works to be carried out in accordance with all relevant sections of building regulations, British and European Standards.
 6. Cavity Wall Construction generally: 102.5mm brick external leaf with 50mm clear cavity, 100mm Kingspan Kooltherm K8 cavity board against inner leaf and inner leaf of either London stocks brick (exposed internally) or 100mm dense concrete block with 15mm plaster finish.
 7. Cavity wall to be joined to retained structure with ancon wall starter ties and movement joint as specified in construction details.
 8. Stud walls to be 70x50mm timber or 70mm metal 'C' studs at 600mm cc with full fill Rockwool batts between studs with 12.5mm plaster board and 3mm skim to both sides
 9. Damp proof course to be minimum of 150mm above adjacent ground level and have damp proof membrane lapped in. Engineering brick to be used below DPC level.
 10. All structural members (footings, beams, padstones, joists, rafters etc.) to be to engineer's specification.
 11. Concealed structural members to be provided with 60minutes fire protection e.g 1x 15mm Fireline plasterboard or 2 x 12.5mm plasterboard and skim.
 12. Exposed structural steelwork to be painted with intumescent paint to provide 60 minutes protection.
 13. All stud walls to provide minimum 30min fire protection e.g. 12.5mm plasterboard and 3mm skim to both sides upto 2500mm height, 15mm PB and skim upto 2800mm and 2 x 12.5mm PB and skim upto 3000mm.
 14. Trickle vents to all windows to provide whole dwelling ventilation rate of not less than that shown in table 5.1b of Approved Document F.
 15. All bath and shower rooms to be ventilated with intermittent extract to a minimum rate of 15l/s. Kitchens to be ventilated with intermittent extract to minimum 30l/s.

FOR TOWN PLANNING PURPOSES ONLY

Revisions:
A For Planning Application
B
C
D

Dwg Title: As Proposed Plans

Address:

10 Regency Lawn,
Croftdown Road,
London,
NW5 1HF

Scale: 1:100@A3 1:50@A1

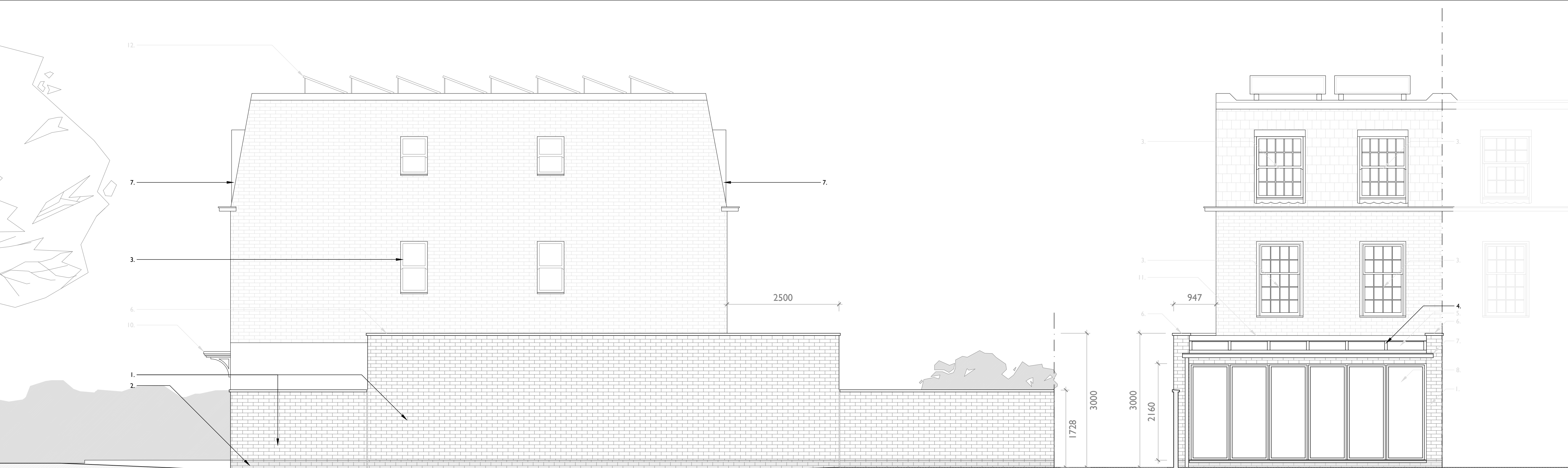
Job No: 21007

Drawing No: P100	Rev: A
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Drawn by: JOH Checked: ROH

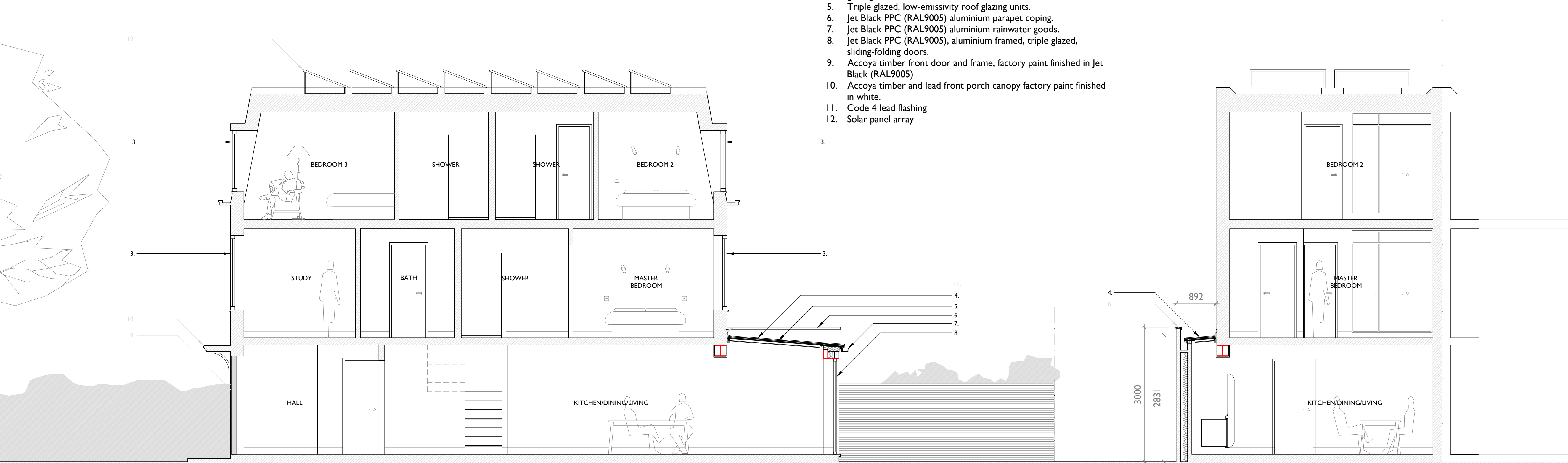
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London
NW5 2XD
Tel: 0207 372 7576
E: info@formatextend.com





SIDE ELEVATION

REAR ELEVATION



SECTION A-A

SECTION B-B



- Proposed Materials:
1. Brown/black brick to match existing.
 2. Contrasting brick plinth below DPC level.
 3. Accoya timber framed, double glazed vertical sliding sash windows factory paint finished in white.
 4. Jet Black PPC (RAL9005) structural section aluminium roof glazing bars.
 5. Triple glazed, low-emissivity roof glazing units.
 6. Jet Black PPC (RAL9005) aluminium parapet coping.
 7. Jet Black PPC (RAL9005) aluminium rainwater goods.
 8. Jet Black PPC (RAL9005), aluminium framed, triple glazed, sliding-folding doors.
 9. Accoya timber front door and frame, factory paint finished in Jet Black (RAL9005)
 10. Accoya timber and lead front porch canopy factory paint finished in white.
 11. Code 4 lead flashing
 12. Solar panel array

- Notes:
1. This drawing to be read in conjunction with all other relevant architectural structural and other consultants drawings and specifications.
 2. Any discrepancies between this and any other relevant drawing must be brought to the attention of the Format project coordinator immediately.
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 7. Cavity wall to be joined to retained structure with ancon wall starter ties and movement joint as specified in construction details.
 8. Stud walls to be 70x50mm timber or 70mm metal 'C' studs at 600mm cc with full fill Rockwool batts between studs with 12.5mm plaster board and 3mm skim to both sides
 9. Damp proof course to be minimum of 150mm above adjacent ground level and have damp proof membrane lapped in. Engineering brick to be used below DPC level.
 10. All structural members (footings, beams, padstones, joists, rafters etc.) to be to engineer's specification.
 11. Concealed structural members to be provided with 60minutes fire protection e.g 1x 15mm Fireline plasterboard or 2 x 12.5mm plasterboard and skim.
 12. Exposed structural steelwork to be painted with intumescent paint to provide 60 minutes protection.
 13. All stud walls to provide minimum 30min fire protection e.g. 12.5mm plasterboard and 3mm skim to both sides upto 2500mm height, 15mm PB and skim upto 2800mm and 2 x 12.5mm PB and skim upto 3000mm.
 14. Trickle vents to all windows to provide whole dwelling ventilation rate of not less than that shown in table 5.1b of Approved Document F.
 15. All bath and shower rooms to be ventilated with intermittent extract to a minimum rate of 15l/s. Kitchens to be ventilated with intermittent extract to minimum 30l/s.

FOR TOWN PLANNING PURPOSES ONLY

Revisions:	
A	For Planning Application
B	
C	
D	

Dwg Title: As Proposed Sections and Elevations

Address:

10 Regency Lawn,
Croftdown Road,
London,
NW5 1HF

Scale: 1:100@A3 1:50@A1

Job No: 21007

Drawing No: P200	Rev: A
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Drawn by: JOH Checked: ROH

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London
NW5 2XD
Tel: 0207 372 7576
E: info@formatextend.com





FRONT ELEVATION - Existing

- Existing Materials:
- 1. Brown/black brick.
 - 2. White render to ground floor facade.
 - 3. uPVC framed, double glazed, fixed and top hung casement windows in white.
 - 4. Black plastic rainwater goods.
 - 5. uPVC framed double glazed french windows.
 - 6. uPVC front door in white
 - 7. Lead dormer windows.
 - 8. Slate hung mansard roof.
 - 9. Lead flashing.
 - 10. Faded green painted garage door.
 - 11. Close boarded timber fence with trellis over.

FRONT ELEVATION - Proposed

- Proposed Materials:
- 1. Brown/black brick to match existing.
 - 2. Contrasting brick plinth below DPC level.
 - 3. Accoya timber framed, double glazed vertical sliding sash windows factory paint finished in white.
 - 4. Jet Black PPC (RAL9005) structural section aluminium roof glazing bars.
 - 5. Triple glazed, low-emissivity roof glazing units.
 - 6. Jet Black PPC (RAL9005) aluminium parapet coping.
 - 7. Jet Black PPC (RAL9005) aluminium rainwater goods.
 - 8. Jet Black PPC (RAL9005), aluminium framed, triple glazed, sliding-folding doors.
 - 9. Accoya timber front door and frame, factory paint finished in Jet Black (RAL9005)
 - 10. Accoya timber and lead front porch canopy factory paint finished in white.
 - 11. Code 4 lead flashing
 - 12. Solar panel array

- Notes:
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 9. Damp proof course to be minimum of 150mm above adjacent ground level and have damp proof membrane lapped in. Engineering brick to be used below DPC level.
 10. All structural members (footings, beams, padstones, joists, rafters etc.) to be to engineer's specification.
 11. Concealed structural members to be provided with 60minutes fire protection e.g 1x 15mm Fireline plasterboard or 2 x 12.5mm plasterboard and skim.
 12. Exposed structural steelwork to be painted with intumescent paint to provide 60 minutes protection.
 13. All stud walls to provide minimum 30min fire protection e.g. 12.5mm plasterboard and 3mm skim to both sides upto 2500mm height, 15mm PB and skim upto 2800mm and 2 x 12.5mm PB and skim upto 3000mm.
 14. Trickle vents to all windows to provide whole dwelling ventilation rate of not less than that shown in table 5.1b of Approved Document F.
 15. All bath and shower rooms to be ventilated with intermittent extract to a minimum rate of 15l/s. Kitchens to be ventilated with intermittent extract to minimum 30l/s.

FOR TOWN PLANNING PURPOSES ONLY

Revisions:	
A	For Planning Application
B	
C	
D	

Dwg Title: As Existing and Proposed Front Elevations

Address:

10 Regency Lawn,
Croftdown Road,
London,
NW5 1HF

Scale: 1:100@A3 1:50@A1

Job No: 21007

Drawing No: P300	Rev: A
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Drawn by: JOH Checked: ROH

Format Extend Ltd
23B Montpelier Grove
London
NW5 2XD
Tel: 0207 372 7576
E: info@formatextend.com

