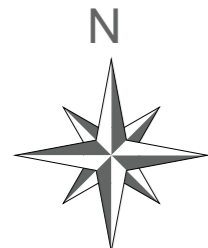
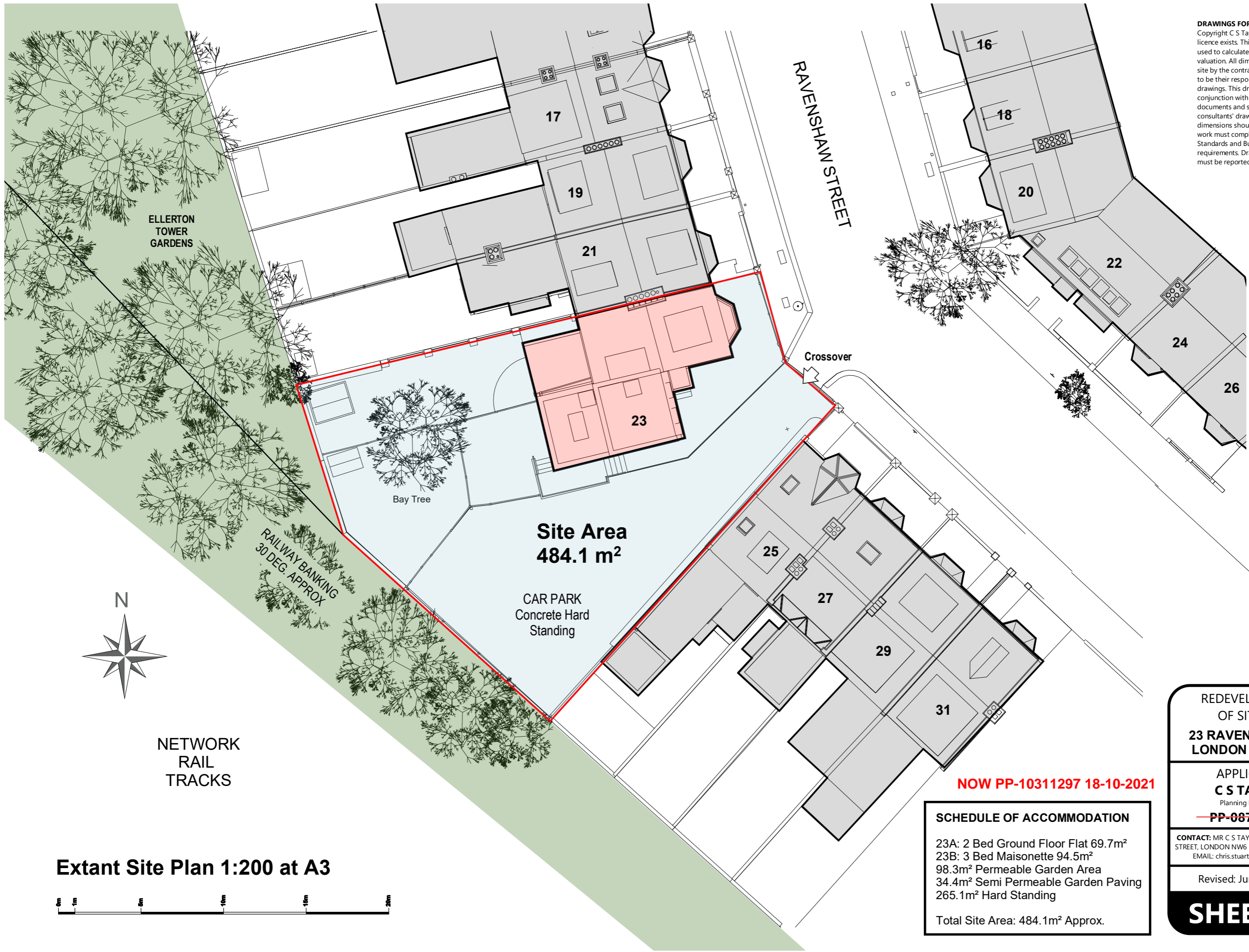


**DRAWINGS FOR PLANNING ONLY.**  
 Copyright C S Taylor 2020. No implied licence exists. This drawing should not be used to calculate areas for the purpose of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. This drawing is to be read in conjunction with all other contract documents and specifications and all other consultants' drawings. All levels and dimensions should be checked on site. All work must comply with relevant British Standards and Building Regulation requirements. Drawing errors and omissions must be reported to the designer.



NETWORK  
RAIL  
TRACKS

ELLERTON  
TOWER  
GARDENS

RAILWAY BANKING  
30 DEG. APPROX

Bay Tree

RAVENSHAW STREET

Crossover

Site Area  
484.1 m<sup>2</sup>

CAR PARK  
Concrete Hard  
Standing

**NOW PP-10311297 18-10-2021**

SCHEDULE OF ACCOMMODATION
23A: 2 Bed Ground Floor Flat 69.7m <sup>2</sup>
23B: 3 Bed Maisonette 94.5m <sup>2</sup>
98.3m <sup>2</sup> Permeable Garden Area
34.4m <sup>2</sup> Semi Permeable Garden Paving
265.1m <sup>2</sup> Hard Standing
<b>Total Site Area: 484.1m<sup>2</sup> Approx.</b>

REDEVELOPMENT  
OF SITE AT:  
**23 RAVENSHAW ST  
LONDON NW6 1NP**

---

APPLICANT:  
**C S TAYLOR**  
Planning Reference:  
~~PP-08706682~~

---

**CONTACT:** MR C S TAYLOR, 23A RAVENSHAW  
STREET, LONDON NW6 1NP | TEL: 07739108695  
EMAIL: chris.stuart.taylor@gmail.com

---

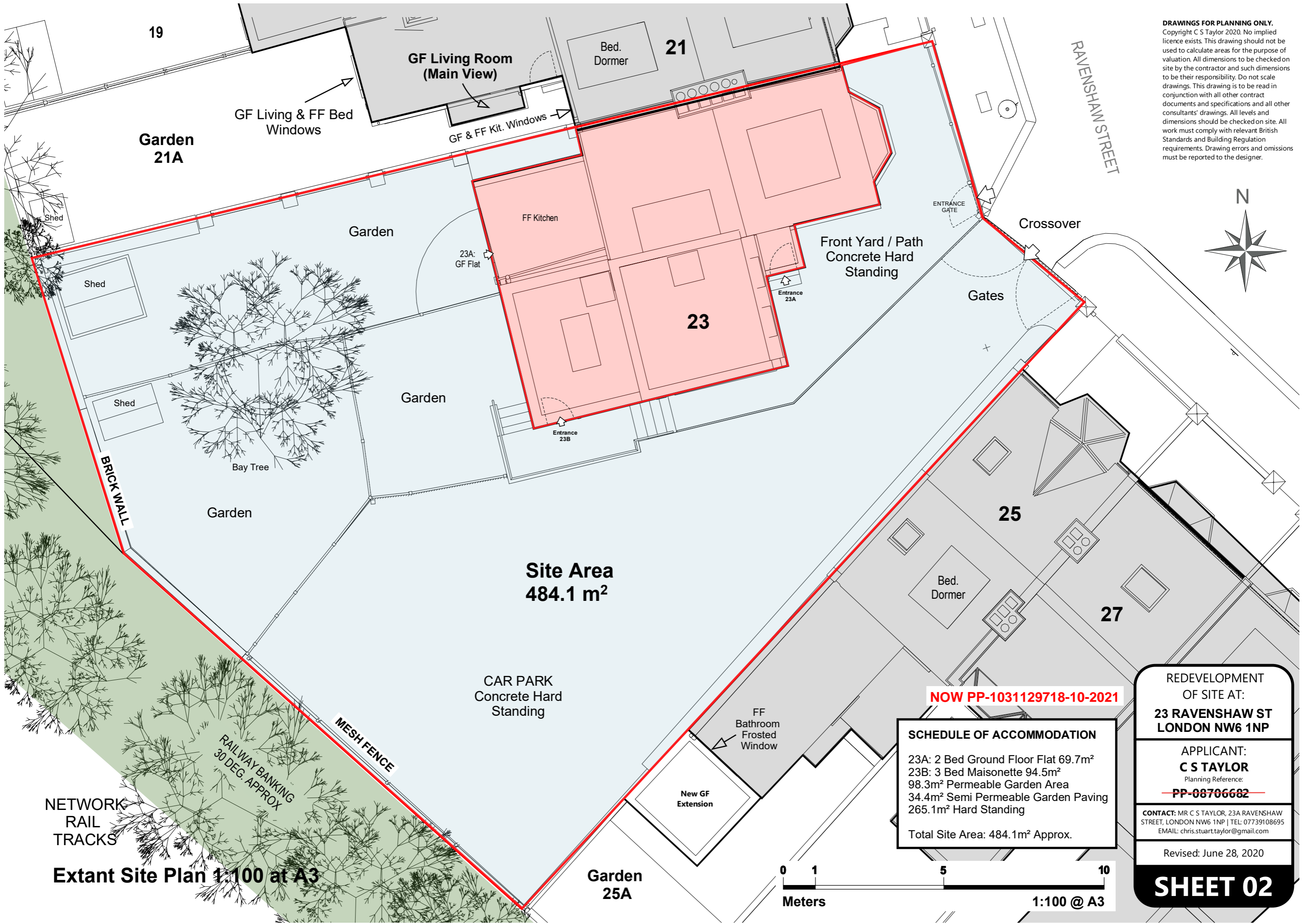
Revised: June 28, 2020

SHEET 01

**Extant Site Plan 1:200 at A3**



**DRAWINGS FOR PLANNING ONLY.**  
 Copyright C S Taylor 2020. No implied licence exists. This drawing should not be used to calculate areas for the purpose of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. This drawing is to be read in conjunction with all other contract documents and specifications and all other consultants' drawings. All levels and dimensions should be checked on site. All work must comply with relevant British Standards and Building Regulation requirements. Drawing errors and omissions must be reported to the designer.



**Site Area  
484.1 m<sup>2</sup>**

**NOW PP-1031129718-10-2021**

SCHEDULE OF ACCOMMODATION	
23A:	2 Bed Ground Floor Flat 69.7m <sup>2</sup>
23B:	3 Bed Maisonette 94.5m <sup>2</sup>
	98.3m <sup>2</sup> Permeable Garden Area
	34.4m <sup>2</sup> Semi Permeable Garden Paving
	265.1m <sup>2</sup> Hard Standing
Total Site Area: 484.1m <sup>2</sup> Approx.	

**REDEVELOPMENT  
OF SITE AT:  
23 RAVENSHAW ST  
LONDON NW6 1NP**

**APPLICANT:  
C S TAYLOR**  
 Planning Reference:  
~~PP-08706682~~

**CONTACT:** MR C S TAYLOR, 23A RAVENSHAW STREET, LONDON NW6 1NP | TEL: 07739108695  
 EMAIL: chris.stuart.taylor@gmail.com

Revised: June 28, 2020

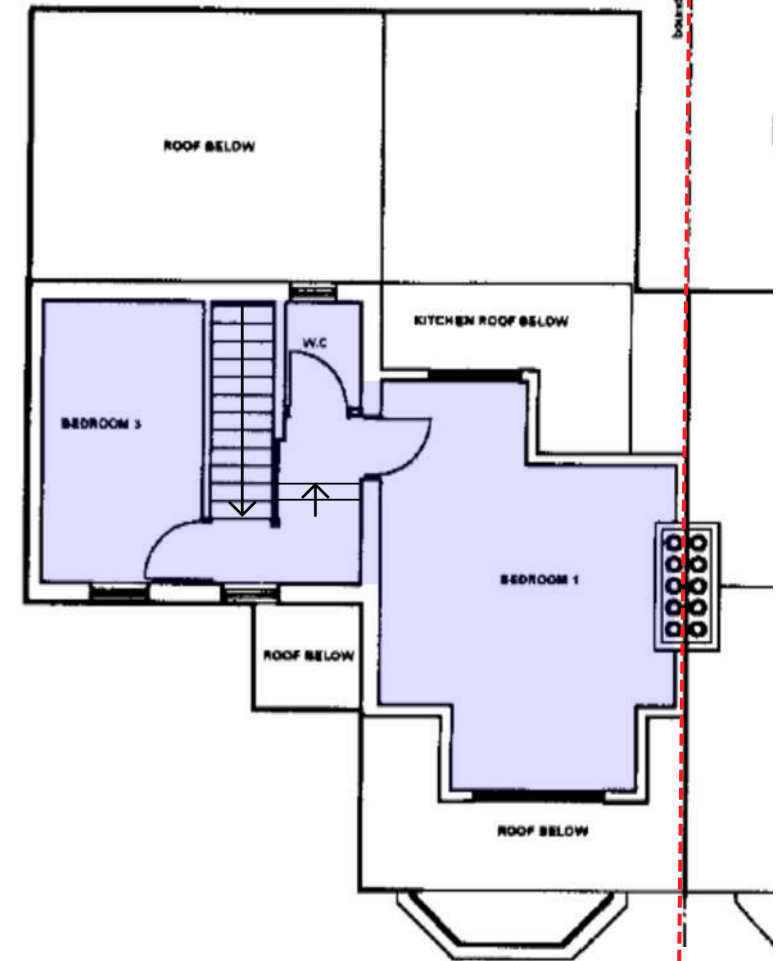
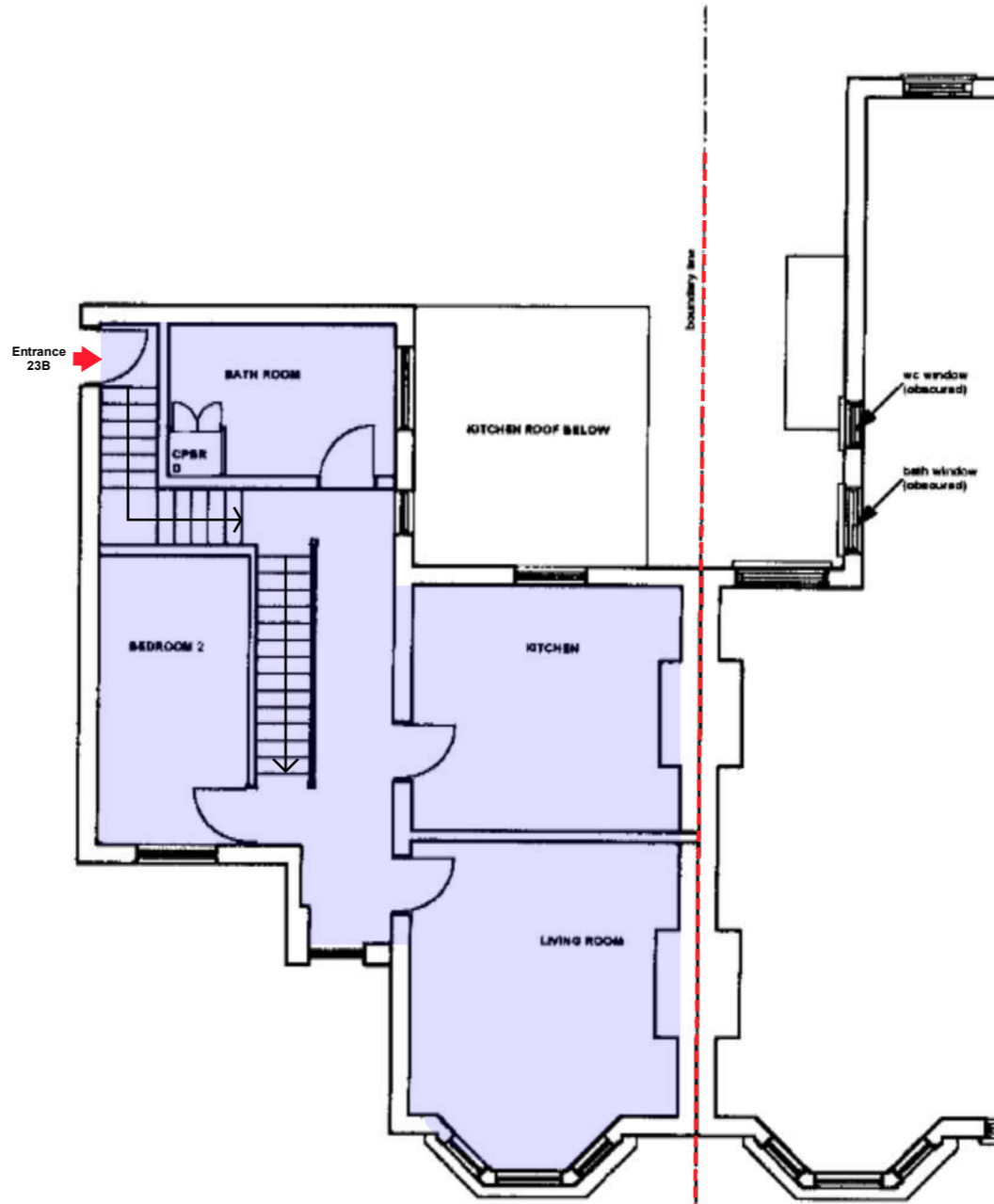
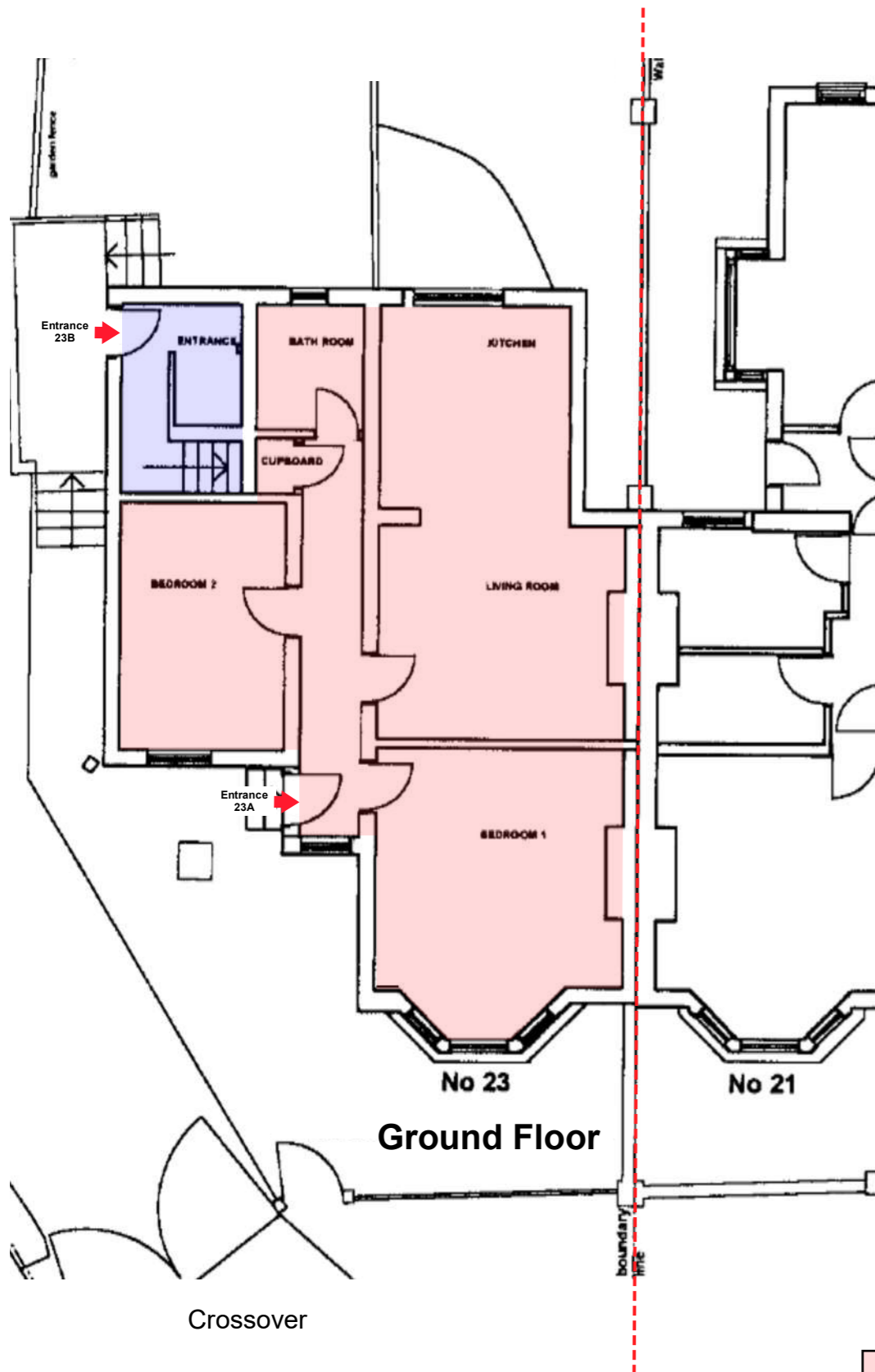
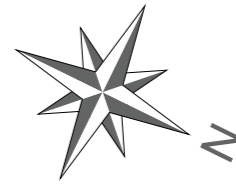
**SHEET 02**

**Extant Site Plan 1:100 at A3**

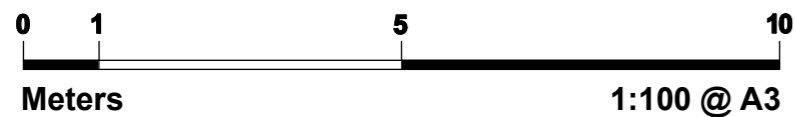
0 1 5 10  
Meters  
1:100 @ A3

# Floor Plans of Extant Flats 23A and 23B

**DRAWINGS FOR PLANNING ONLY.**  
 Copyright C S Taylor 2020. No implied licence exists. This drawing should not be used to calculate areas for the purpose of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. This drawing is to be read in conjunction with all other contract documents and specifications and all other consultants' drawings. All levels and dimensions should be checked on site. All work must comply with relevant British Standards and Building Regulation requirements. Drawing errors and omissions must be reported to the designer.



- 23A 2 BED 69.7 m<sup>2</sup>
- 23B 3 BED 94.5 m<sup>2</sup>



**First Floor**

**No 23**

**No 21**

**Second Floor**

**No 23**

**NOW PP-1031129718-10-2021**

**SCHEDULE OF ACCOMMODATION**

23A: 2 Bed Ground Floor Flat 69.7m<sup>2</sup>  
 23B: 3 Bed Maisonette 94.5m<sup>2</sup>  
 98.3m<sup>2</sup> Permeable Garden Area  
 34.4m<sup>2</sup> Semi Permeable Garden Paving  
 265.1m<sup>2</sup> Hard Standing

Total Site Area: 484.1m<sup>2</sup> Approx.

REDEVELOPMENT  
 OF SITE AT:  
**23 RAVENSHAW ST  
 LONDON NW6 1NP**

---

APPLICANT:  
**C S TAYLOR**  
 Planning Reference:  
~~PP-08706682~~

---

CONTACT: MR C S TAYLOR, 23A RAVENSHAW  
 STREET, LONDON NW6 1NP | TEL: 07739108695  
 EMAIL: chris.stuart.taylor@gmail.com

---

Revised: June 28, 2020

**SHEET 03**

# Extant Front Elevation View 1

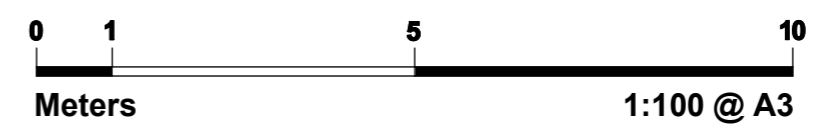


**DRAWINGS FOR PLANNING ONLY.**  
 Copyright C S Taylor 2020. No implied licence exists. This drawing should not be used to calculate areas for the purpose of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. This drawing is to be read in conjunction with all other contract documents and specifications and all other consultants' drawings. All levels and dimensions should be checked on site. All work must comply with relevant British Standards and Building Regulation requirements. Drawing errors and omissions must be reported to the designer.

# Extant Front Elevation View 2



SCHEDULE OF ACCOMMODATION	
23A:	2 Bed Ground Floor Flat 69.7m <sup>2</sup>
23B:	3 Bed Maisonette 94.5m <sup>2</sup>
	98.3m <sup>2</sup> Permeable Garden Area
	34.4m <sup>2</sup> Semi Permeable Garden Paving
	265.1m <sup>2</sup> Hard Standing
Total Site Area: 484.1m <sup>2</sup> Approx.	



**REDEVELOPMENT  
OF SITE AT:**

**23 RAVENSHAW ST  
LONDON NW6 1NP**

---

**APPLICANT:**  
**C S TAYLOR**  
Planning Reference:  
~~PP-08706682~~

---

**CONTACT:** MR C S TAYLOR, 23A RAVENSHAW  
STREET, LONDON NW6 1NP | TEL: 07739108695  
EMAIL: chris.stuart.taylor@gmail.com

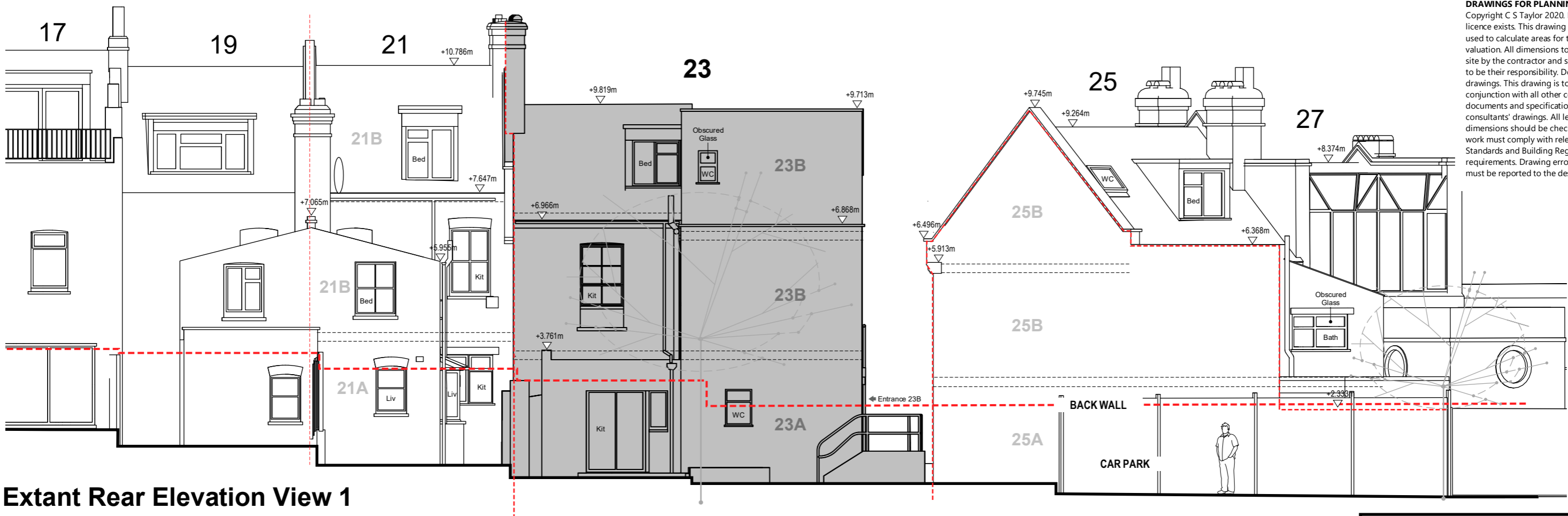
---

Revised: June 28, 2020

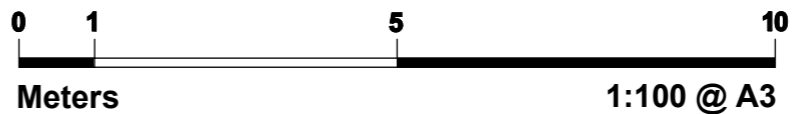
SHEET 04

**RAVENSHAW STREET**  
**NOW PP-1031129718-10-2021**

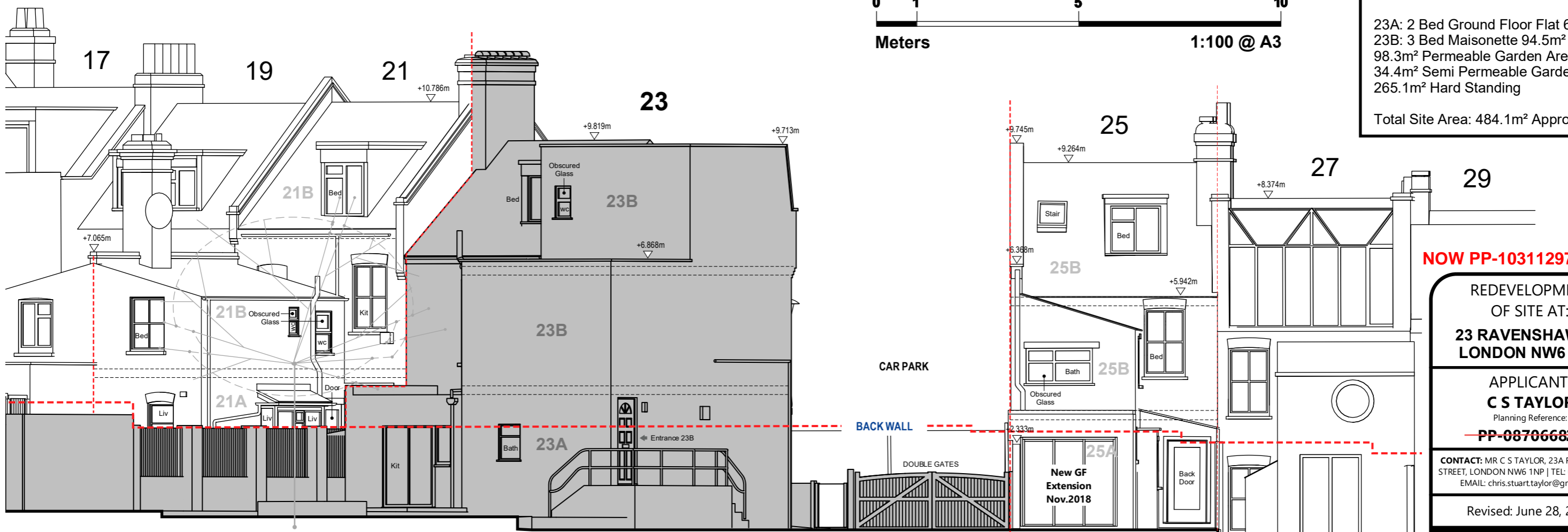
**DRAWINGS FOR PLANNING ONLY.**  
 Copyright C S Taylor 2020. No implied licence exists. This drawing should not be used to calculate areas for the purpose of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. This drawing is to be read in conjunction with all other contract documents and specifications and all other consultants' drawings. All levels and dimensions should be checked on site. All work must comply with relevant British Standards and Building Regulation requirements. Drawing errors and omissions must be reported to the designer.



**Extant Rear Elevation View 1**



SCHEDULE OF ACCOMMODATION	
23A:	2 Bed Ground Floor Flat 69.7m <sup>2</sup>
23B:	3 Bed Maisonette 94.5m <sup>2</sup>
	98.3m <sup>2</sup> Permeable Garden Area
	34.4m <sup>2</sup> Semi Permeable Garden Paving
	265.1m <sup>2</sup> Hard Standing
Total Site Area: 484.1m <sup>2</sup> Approx.	



**Extant Rear Elevation View 2**

**NOW PP-1031129718-10-2021**

**REDEVELOPMENT OF SITE AT:**  
**23 RAVENSHAW ST LONDON NW6 1NP**

**APPLICANT:**  
**C S TAYLOR**  
 Planning Reference:  
~~PP-08706682~~

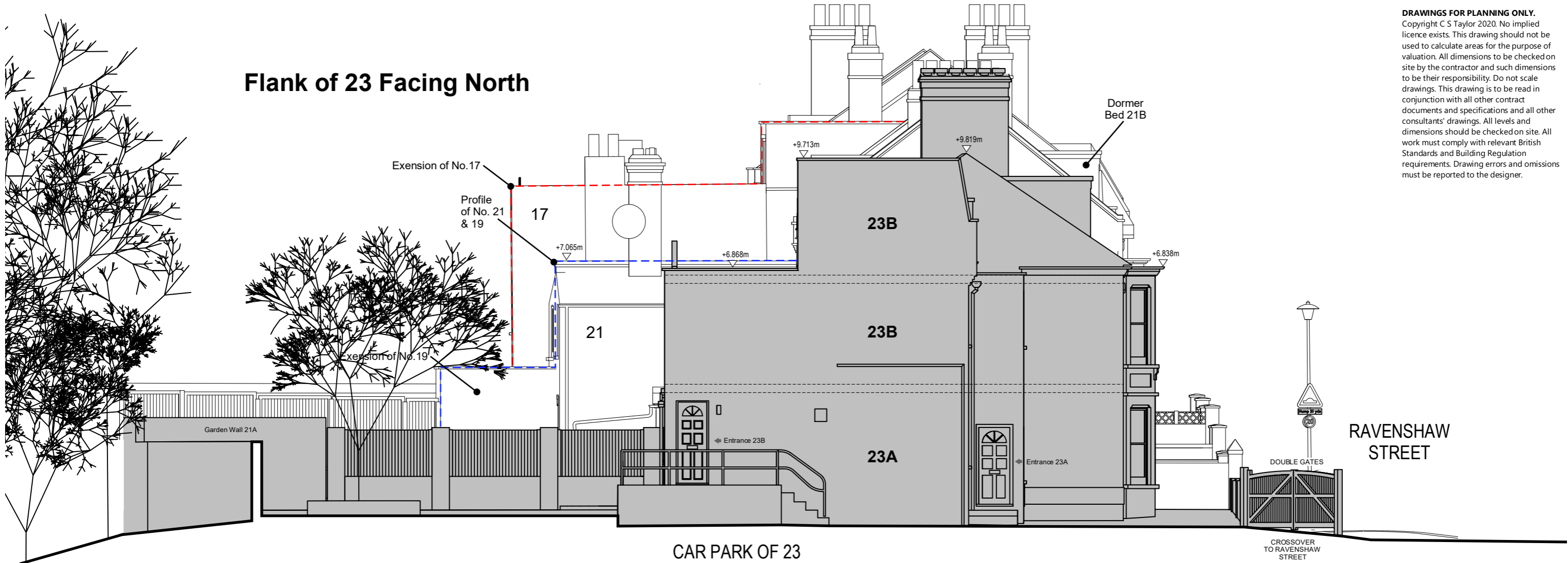
**CONTACT:** MR C S TAYLOR, 23A RAVENSHAW STREET, LONDON NW6 1NP | TEL: 07739108695  
 EMAIL: chris.stuart.taylor@gmail.com

Revised: June 28, 2020

**SHEET 05**

**DRAWINGS FOR PLANNING ONLY.**  
 Copyright C S Taylor 2020. No implied licence exists. This drawing should not be used to calculate areas for the purpose of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. This drawing is to be read in conjunction with all other contract documents and specifications and all other consultants' drawings. All levels and dimensions should be checked on site. All work must comply with relevant British Standards and Building Regulation requirements. Drawing errors and omissions must be reported to the designer.

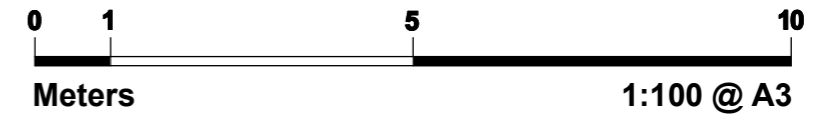
## Flank of 23 Facing North



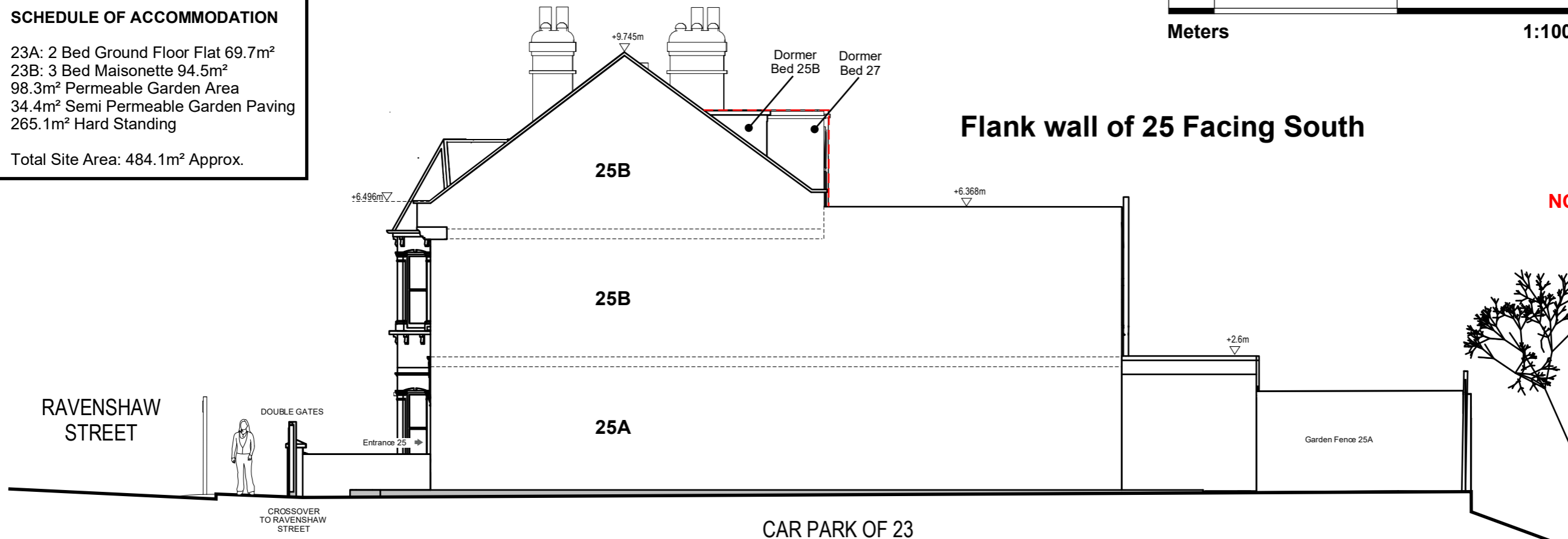
### SCHEDULE OF ACCOMMODATION

23A: 2 Bed Ground Floor Flat 69.7m<sup>2</sup>  
 23B: 3 Bed Maisonette 94.5m<sup>2</sup>  
 98.3m<sup>2</sup> Permeable Garden Area  
 34.4m<sup>2</sup> Semi Permeable Garden Paving  
 265.1m<sup>2</sup> Hard Standing

Total Site Area: 484.1m<sup>2</sup> Approx.



## Flank wall of 25 Facing South



**NOW PP-1031129718-10-2021**

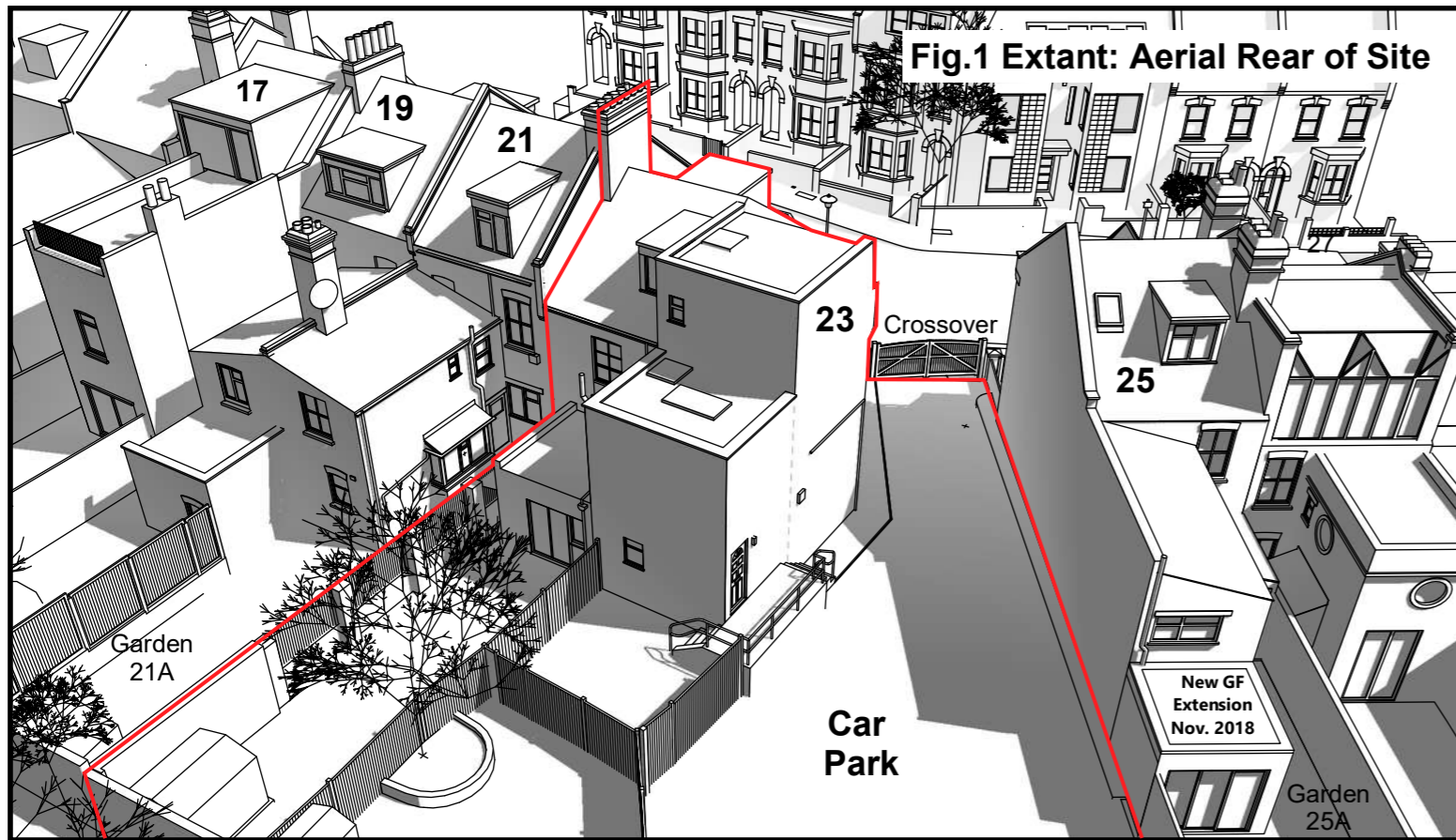
REDEVELOPMENT  
 OF SITE AT:  
**23 RAVENSHAW ST  
 LONDON NW6 1NP**

APPLICANT:  
**C S TAYLOR**  
 Planning Reference:  
~~PP-08706682~~

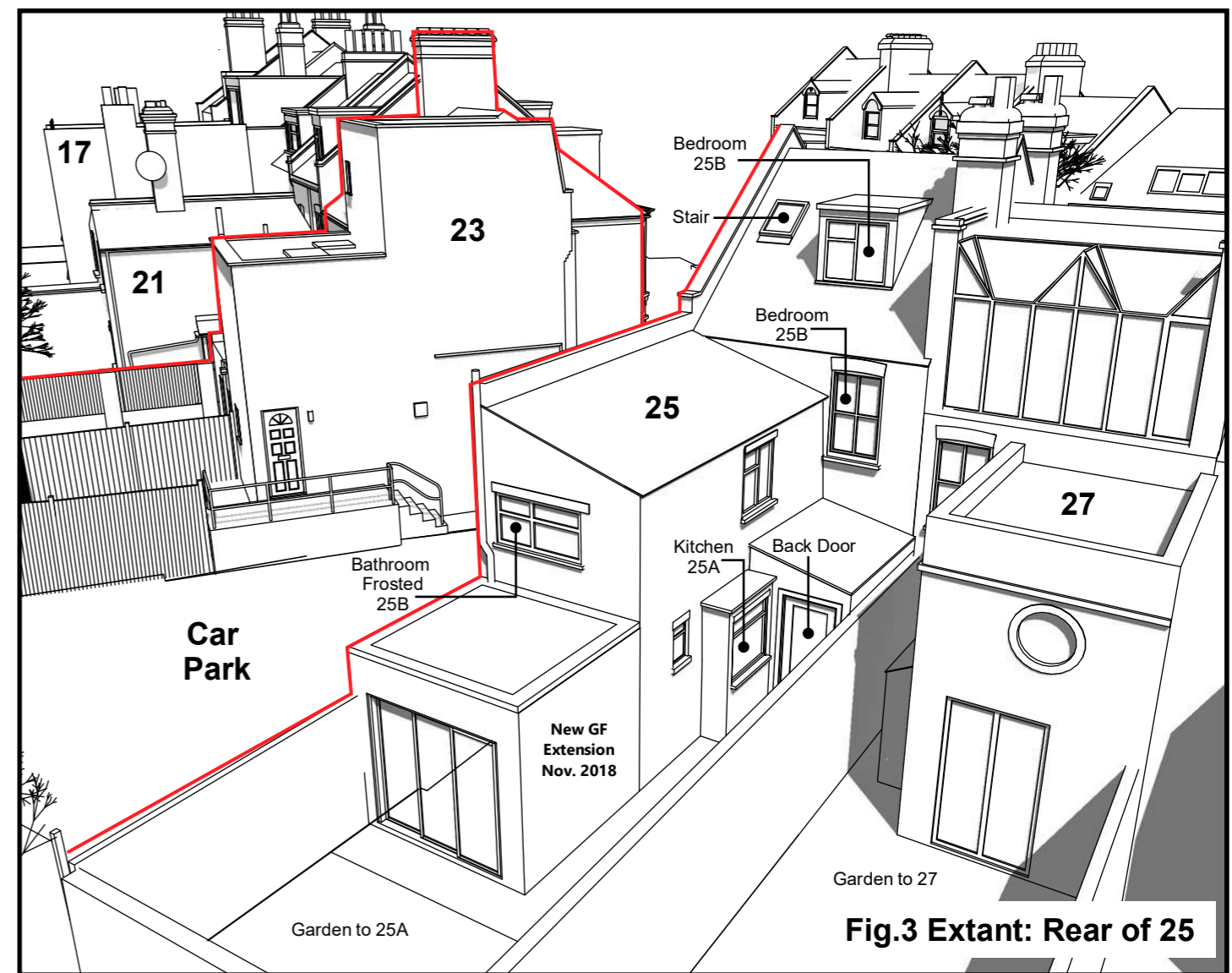
CONTACT: MR C S TAYLOR, 23A RAVENSHAW  
 STREET, LONDON NW6 1NP | TEL: 07739108695  
 EMAIL: chris.stuart.taylor@gmail.com

Revised: June 28, 2020

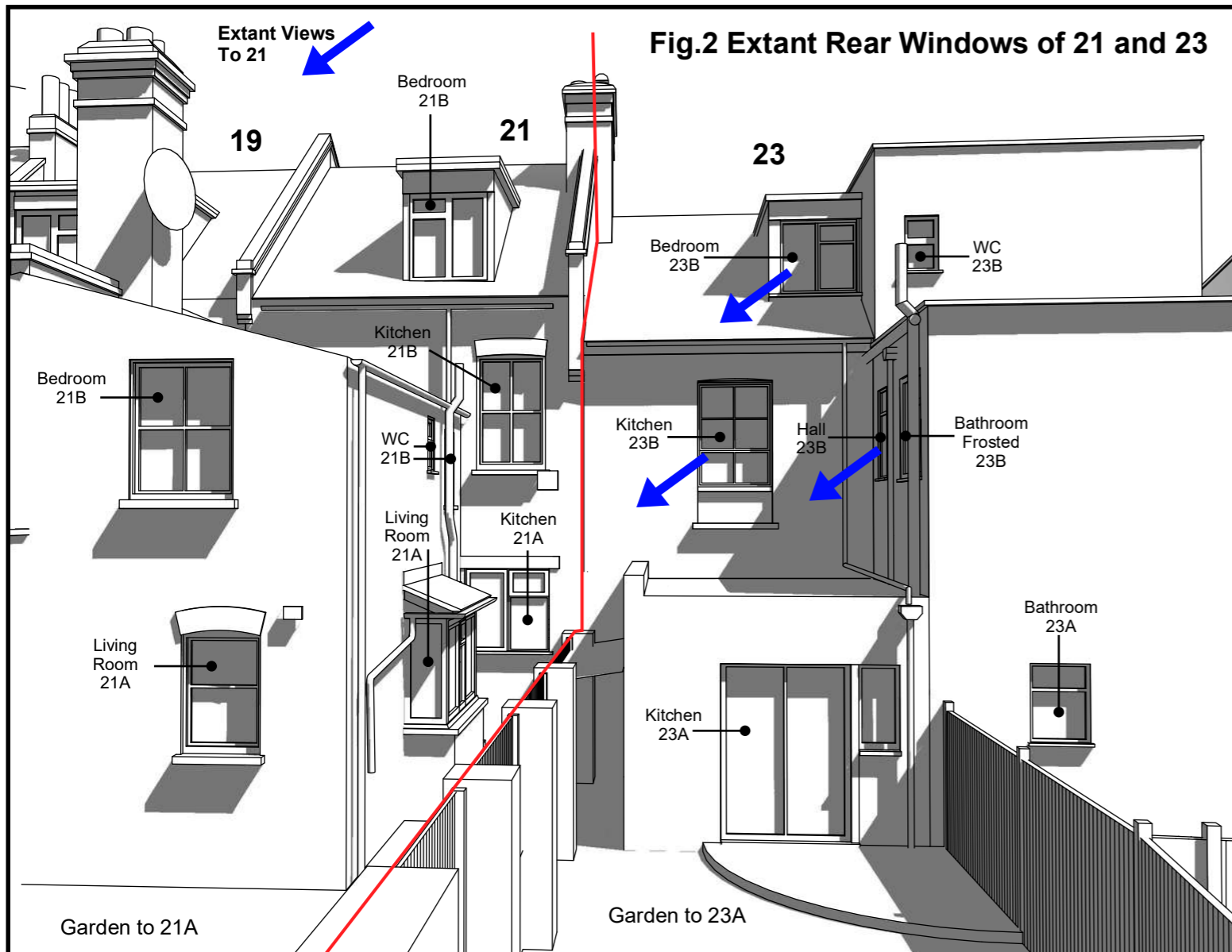
**SHEET 06**



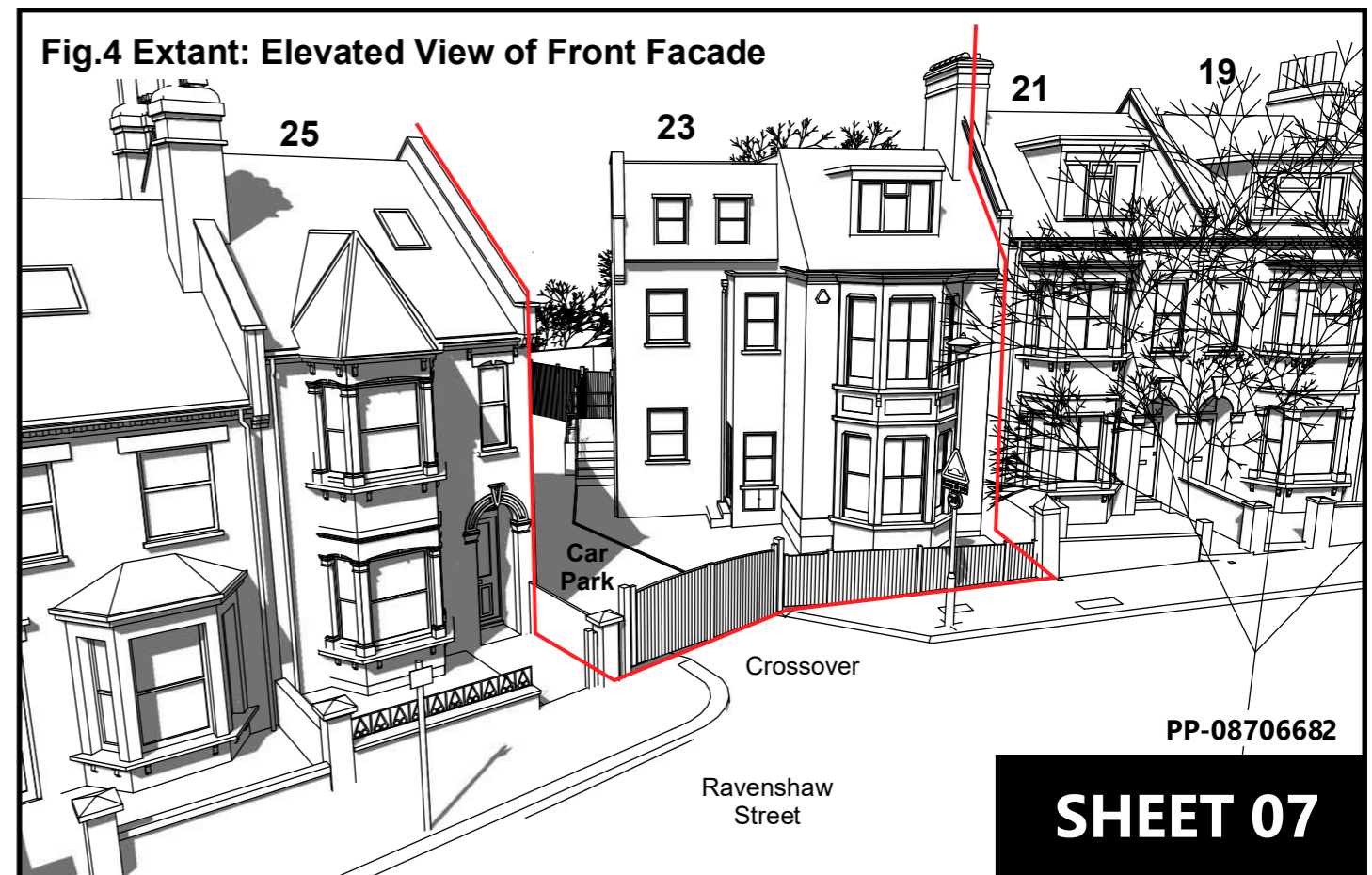
**Fig.1 Extant: Aerial Rear of Site**



**Fig.3 Extant: Rear of 25**



**Fig.2 Extant Rear Windows of 21 and 23**



**Fig.4 Extant: Elevated View of Front Facade**

PP-08706682