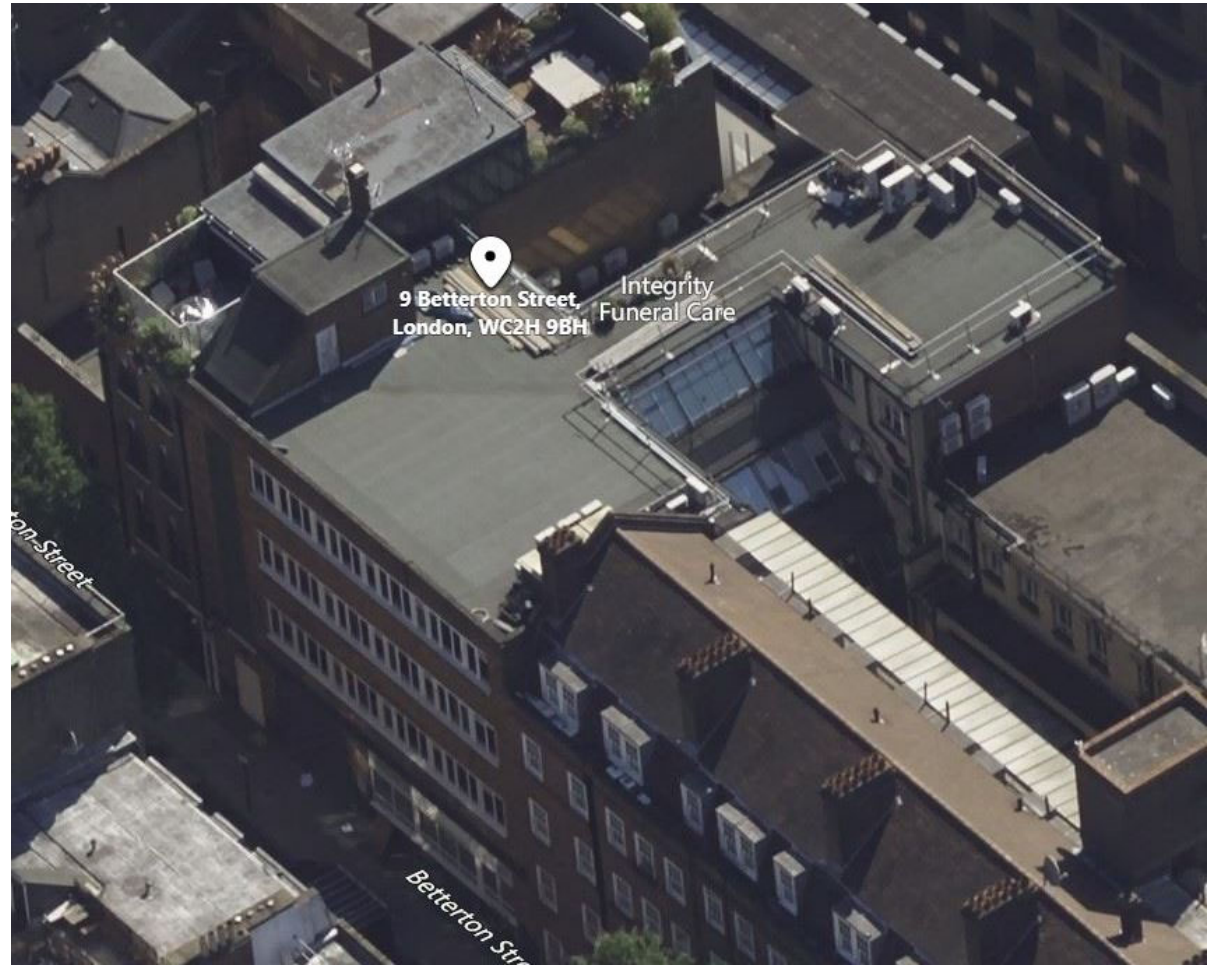


**ROOF TERRACE  
GARDEN STUDIOS  
71-75 SHELTON STREET WC2H 9JQ**

**November 2021**

**DESIGN & ACCESS STATEMENT**

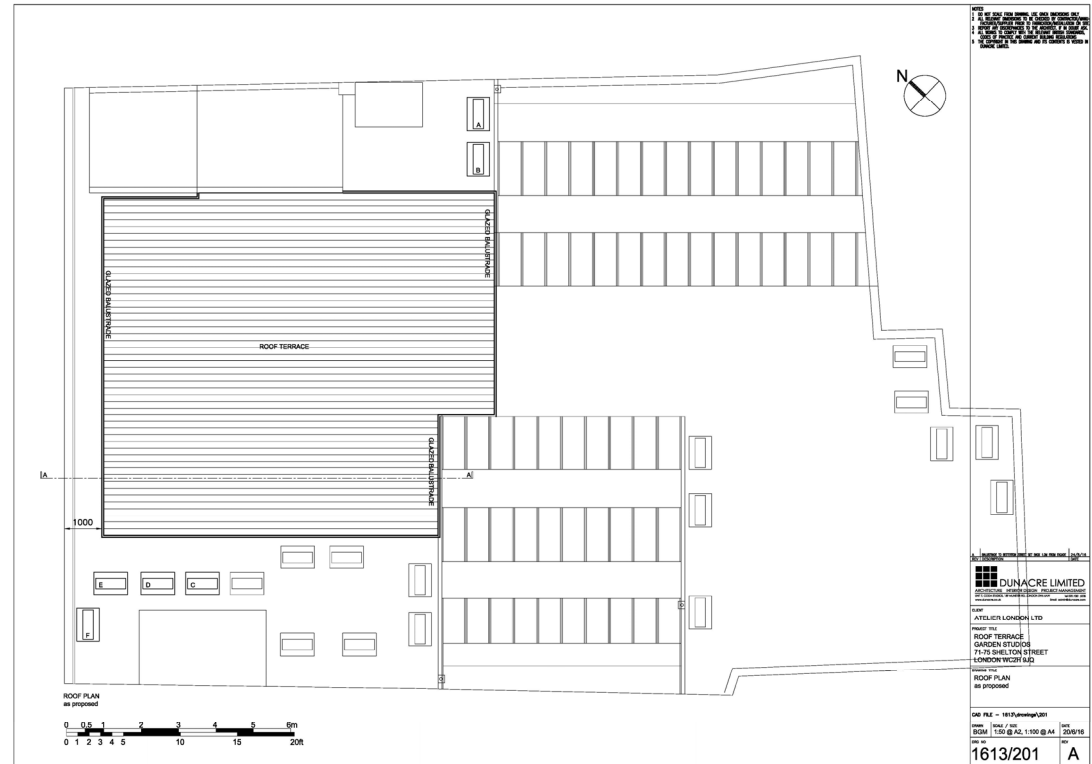
Geoff Watkins Architects Ltd



## Planning History

An application was approved by Camden in 2016 ref 2016/3433/P for a roof terrace with timber decking and glass balustrade panels for recreational use in connection with the work units at Garden Studios, 71-75 Shelton St., subject to conditions. The area was designated for use by the occupants of the building for private enjoyment, controlled by hours of opening and only accessible from within the building. The roof terrace area extends over half the area of the flat roof to what is referred to as Building B at 4<sup>th</sup> floor level fronting Betterton Street. The works have since been carried out, however the area of terrace has been enlarged, the perimeter screens changed in design, and additional structures containing a bar and store building and a small toilet facility added to the layout. Objection has been raised and enforcement notice served by the council.

This application seeks approval to the enlarged area, a change to the perimeter screening, and the additional structures. No changes are proposed to the hours of use.



2016 Approved scheme layout

## Current Built Status

### Area of terrace

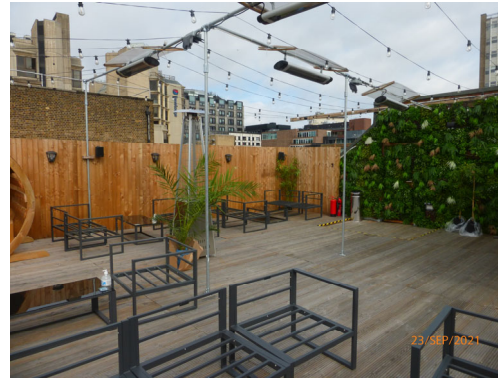
The decked and screened area has been extended beyond the approved area across the 'bridge link' over the sloping glazed atriums onto the portion of flat roof fronting Shelton Street, all at the same level and a continuous open space. The decking is timber boarding on battens as described in the approved scheme.

### Perimeter screening

Instead of the proposed glass balustrades the screens have been constructed as solid with vertical stained timber featheredge boarding on timber framing.

### Additional Structures

A single storey bar and store structure with canopy, and a small 2-WC toilet block have been built onto the original approved terrace area. Various seating islands have been created but these are considered to be 'street furniture'.



*View to Betterton St*



*Small toilet block*



*Bar and bridge link*



*Terrace area onto Shelton St*

## Proposed Amendments and Additions to the previous consent

### 1) Extended terrace area

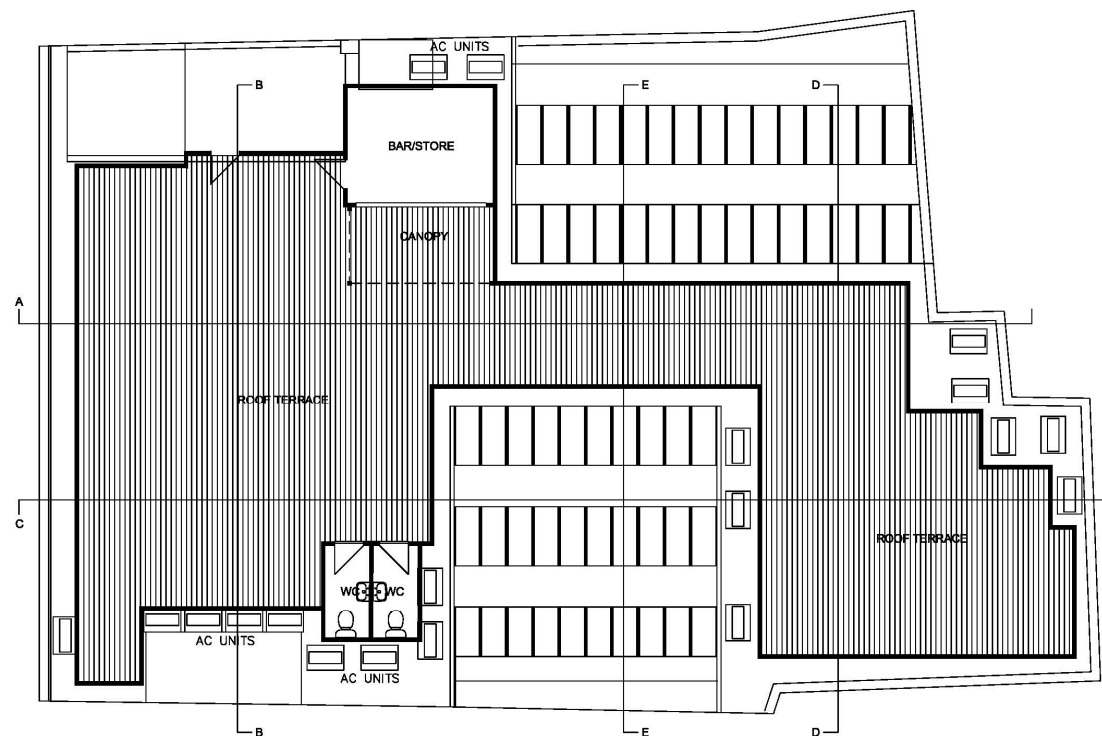
It is proposed to extend the terrace area onto the adjoining flat roof area linked by a 'bridge' walkway. The roof fronting Shelton Street is in a less residential and more commercial setting and the building is one of the taller blocks in the immediate neighbourhood. The area creates a smaller intimate seating area for staff rest and recreation and social mingling, as well as quiet individual work, study or meeting spaces.

### 2) Bar and store structure

A single storey timber structure is proposed for use as a drinks preparation and dispensing facility, with storage space for coffee/tea, soft drinks, snacks, sundry maintenance items, covers and accessories for recreation etc. An opening hatch will face the seating area under a sheltered canopy, with a side slit window for natural light for users.

### 3) Toilet structure

A small single storey timber toilet structure is proposed with 2no separate WC cubicles. This provides facilities to avoid having to visit a lower floor for convenience and mobility support, and is sited above toilets below for services access.



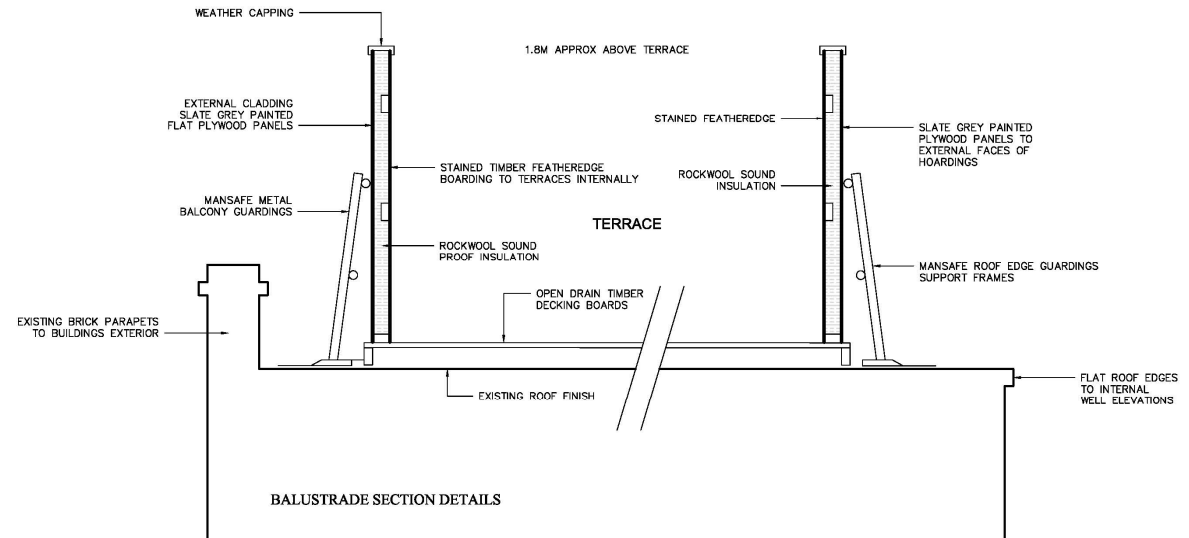
ROOF PLAN

*Proposed extended terrace area with bar and toilet structures*

#### 4) Solid perimeter screening

The previous approved application incorporated glass balustrade panels above the decking level fixed to stainless steel support brackets cantilevered from the existing parapets. This was always going to be difficult to achieve as glass panels adequate for external use of this size are heavy and the fixing method proposed was unlikely to be supportable from the parapet structure. In addition, glass panels do not restrict light, vision or sound and can have an echoing effect. It is considered to be a much more practical, sustainable and neighbourly proposal to enclose the terrace areas with solid boarding that can provide screening and privacy. The works already carried out using featheredge boarding are, however, less attractive on the outside face where the framing is left exposed.

It is proposed, therefore, that the hoardings constructed are clad on the external face with flat exterior grade plywood panels painted in slate grey to give a mansard roof effect in sympathy with slate or metal roofs to adjoining properties. The outer cladding will also provide a cavity to be filled with sound insulation for the further benefit of neighbours. The result will be attractive, in keeping, protective to the environment and more in sympathy with the conservation area.



*Proposed cladding of perimeter screens*



*Outer cladding mansard effect to Betterton Street*

### **General operating restrictions**

The facility will only be used for private use by the tenants and occupants of Garden Studios, 71-75 Shelton Street.

The hours of use will be restricted to 0730 to 2100 and not at all on Saturdays, Sundays and Bank Holidays. The terms of the conditions of use of the previous consent will be complied with.

All aspects of Building Regulations relevant to the development will be complied with.

### **ACCESS**

Access to the development will be via an existing staircase to the roof from the internal common staircase landing on the floor below.

Refuse disposal and other servicing access will be via existing building facilities.