



Key:

Existing structure / earth	New Structure
----------------------------	---------------

Legend: Proposed Finishes

Existing floor boards	Carpet
Reclaimed floor boards	Natural stone
Engineered timber floor	Tile
External paving	Mosaic tile

General Notes:

- Existing brickwork to be re-pointed and repaired throughout.
- Retain and refurbish all existing window boxes, architraves and shutters.
- All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer, to drawing A6900
- All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
- All existing walls and ceilings to be locally re-skimmed and painted where required.
- Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

Floor Build-ups

FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.

FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.

FLOOR 3: Specified floor finish on existing levelled floor joists.

FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.

FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.

FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

- Proposed Notes:
- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
  - 02 Proposed metal handrail
  - 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 06 Existing timber staircase and balustrade to be refurbished and redecorated.
  - 07 Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.
  - 08 Proposed minimal frame fixed aluminium window
  - 09 Proposed minimal frame aluminium casement window (operable)
  - 10 Proposed built in joinery
  - 11 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
  - 12 Proposed column radiator
  - 13 Replace existing mosaic floor finish
  - 14 Existing metal railings to be refurbished and redecorated
  - 15 Proposed metal balustrade
  - 16 Proposed service riser
  - 17 Proposed glass link with slim profile zinc roof
  - 18 Contemporary timber staircase
  - 19 In-fill partition. Wall build up to match adjacent wall
  - 20 Glazed volume providing access to roof terrace, with black zinc roof
  - 21 Proposed chimney piece and hearth
  - 22 Proposed shower tray over existing floor boards
  - 23 Replacement partition wall
  - 24 New partition wall
  - 25 Proposed bi-folding frosted glass screen to window
  - 26 Existing dormer windows to be refurbished
  - 27 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing
  - 28 All roof flashings to be replaced
  - 29 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration
  - 30 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
  - 31 Reinstatement of sash window in original opening, six over six configuration
  - 32 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
  - 33 Replacement conservation rooflight
  - 34 Green roof with loose/potted planting
  - 35 Intensive planting zone
  - 36 Metal frame window within "Coach House" style opening with steel listel above.
  - 37 Acoustic plant enclosure for condenser units.
  - 38 FCU-concealed within existing joinery.
  - 39 FCU-concealed within new proposed joinery unit.

Rev. A	24.08.2021	Issued for Planning
		1. Air conditioning and associated equipment removed from proposals
Rev. -	04.12.2020	Issued for Planning

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date August 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 7 Great James Street

Drawing Title:

Proposed Lower Ground Floor Plan

Drawing No.

Rev.

A1999

A

Drawn

Approved

Signed

CT

PB

AA



66 - 68 Margaret Street W1W 8SR T. 020 7580 9336 www.mw-a.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.







Key Site Plan 1:1000

Key:

Existing structure / earth

New Structure

Legend: Proposed Finishes

Existing floor boards

Reclaimed floor boards

Engineered timber floor

External paving

Carpet

Natural stone

Tile

Mosaic tile

General Notes:

1. Existing brickwork to be re-pointed and repaired throughout.

2. Retain and refurbish all existing window boxes, architraves and shutters.

3. All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer. to drawing A6900

4. All cornices to be refurbished and repaired where necessary. Where new cornices are proposed. refer to drawing A6900

5. All existing walls and ceilings to be locally re-skimmed and painted where required.

6. Where new partitions are shown, skirting/cornice will be to match the adjacent original profile. to be carefully placed in.

Floor Build-ups

FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.

FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.

FLOOR 3: Specified floor finish on existing levelled floor joists.

FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.

FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.

FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

Proposed Notes:

01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.

02 Proposed metal handrail

03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.

04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.

05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.

06 Existing timber staircase and balustrade to be refurbished and redecorated.

07 Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.

08 Proposed minimal frame fixed aluminium casement window

09 Proposed minimal frame aluminium casement window (operable)

10 Proposed built in joinery

11 Existing chimney piece and hearth to be refurbished and redecorated where necessary.

12 Proposed column radiator

13 Replace existing mosaic floor finish

14 Existing metal railings to be refurbished and redecorated

15 Proposed metal balustrade

16 Proposed service riser

17 Proposed glass link with slim profile zinc roof

18 Contemporary timber staircase

19 In-fill partition. Wall build up to match adjacent wall

20 Glazed volume providing access to roof terrace, with black zinc roof

21 Proposed chimney piece and hearth

22 Proposed shower tray over existing floor boards

23 Replacement partition wall

24 New partition wall

25 Proposed bi-folding frosted glass screen to window

26 Existing dormer windows to be refurbished

27 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing

28 All roof flashings to be replaced

29 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration

30 Rainwater pipes and gutters to be replaced with heritage cast iron fittings

31 Reinstatement of sash window in original opening, six over six configuration

32 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.

33 Replacement conservation rooflight

34 Green roof with loose/potted planting

35 Intensive planting zone

36 Metal frame window within "Coach House" style opening with steel listel above.

37 Acoustic plant enclosure for condenser units.

38 FCU concealed within existing joinery.

39 FCU concealed within new proposed joinery unit.

Rev. A	24.08.2021	Issued for Planning
Rev. -	04.12.2020	Issued for Planning

PLANNING

Project No.

20042

Client

GFZ Investments LTD.

Date

August 2021

Scale

1:50 @ A1 / 1:100 @ A3

Project

7 Great James Street

Drawing Title:

Proposed Ground Floor Plan

Drawing No.

A2000

Rev.

A

Drawn

CT

Approved

PB

Signed

AA

Marek Wojciechowski Architects Ltd.

66 - 68 Margaret Street W1W 8SR

T. 020 7580 9336

www.mw-a.co.uk

Copyright Marek Wojciechowski Architects.

No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

N

0

10

20

30

40

50

60

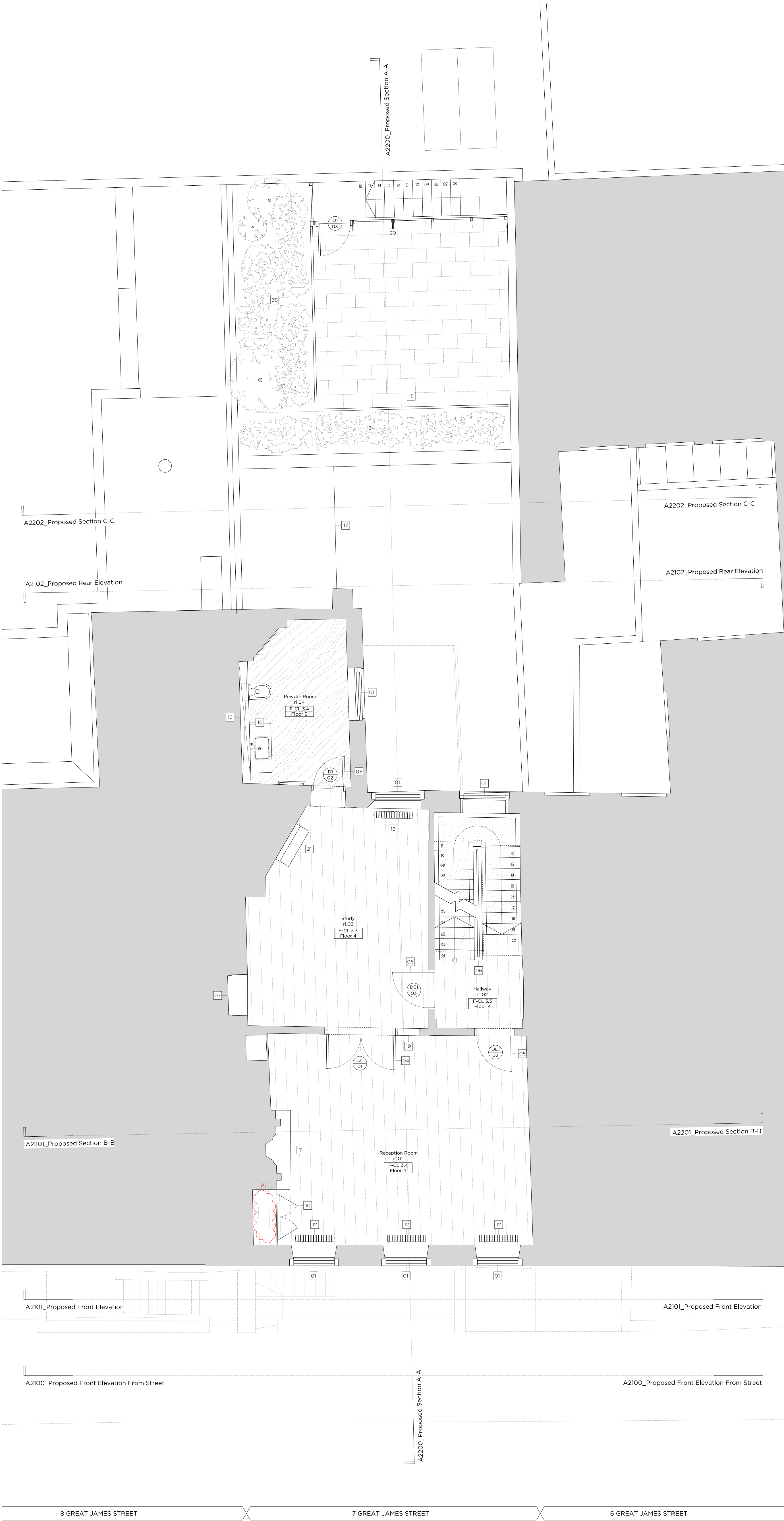
70

80

90

100





Key:

Existing structure / earth	New Structure
----------------------------	---------------

Legend: Proposed Finishes

Existing floor boards	Carpet
Reclaimed floor boards	Natural stone
Engineered timber floor	Tile
External paving	Mosaic tile

- General Notes:
- Existing brickwork to be re-pointed and repaired throughout.
  - Retain and refurbish all existing window boxes, architraves and shutters.
  - All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing A6900
  - All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
  - All existing walls and ceilings to be locally re-skimmed and painted where required.
  - Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

- Floor Build-ups
- FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.
- FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.
- FLOOR 3: Specified floor finish on existing levelled floor joists.
- FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.
- FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.
- FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

- Proposed Notes:
- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
  - 02 Proposed metal handrail
  - 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 06 Existing timber staircase and balustrade to be refurbished and redecorated.
  - 07 Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.
  - 08 Proposed minimal frame fixed aluminium casement window
  - 09 Proposed minimal frame aluminium casement window (operable)
  - 10 Proposed built in joinery
  - 11 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
  - 12 Proposed column radiator
  - 13 Replace existing mosaic floor finish
  - 14 Existing metal railings to be refurbished and redecorated
  - 15 Proposed metal balustrade
  - 16 Proposed service riser
  - 17 Proposed glass link with slim profile zinc roof
  - 18 Contemporary timber staircase
  - 19 Infill partition. Wall build up to match adjacent wall
  - 20 Glazed volume providing access to roof terrace, with black zinc roof
  - 21 Proposed chimney piece and hearth
  - 22 Proposed shower tray over existing floor boards
  - 23 Replacement partition wall
  - 24 New partition wall
  - 25 Proposed bi-folding frosted glass screen to window
  - 26 Existing dormer windows to be refurbished
  - 27 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing
  - 28 All roof flashings to be replaced
  - 29 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration
  - 30 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
  - 31 Reinstatement of sash window in original opening, six over six configuration
  - 32 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
  - 33 Replacement conservation rooflight
  - 34 Green roof with loose/potted planting
  - 35 Intensive planting zone
  - 36 Metal frame window within "Coach House" style opening with steel listel above.
  - 37 Acoustic plant enclosure for condenser units.
  - 38 FCU concealed within existing joinery.
  - 39 FCU concealed within new proposed joinery unit.

Rev. A	24.08.2021	Issued for Planning
Rev. -	04.12.2020	Issued for Planning

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date August 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 7 Great James Street

Drawing Title: Proposed First Floor Plan

Drawing No. A2001 Rev. A

Drawn CT	Approved PB	Signed AA
----------	-------------	-----------

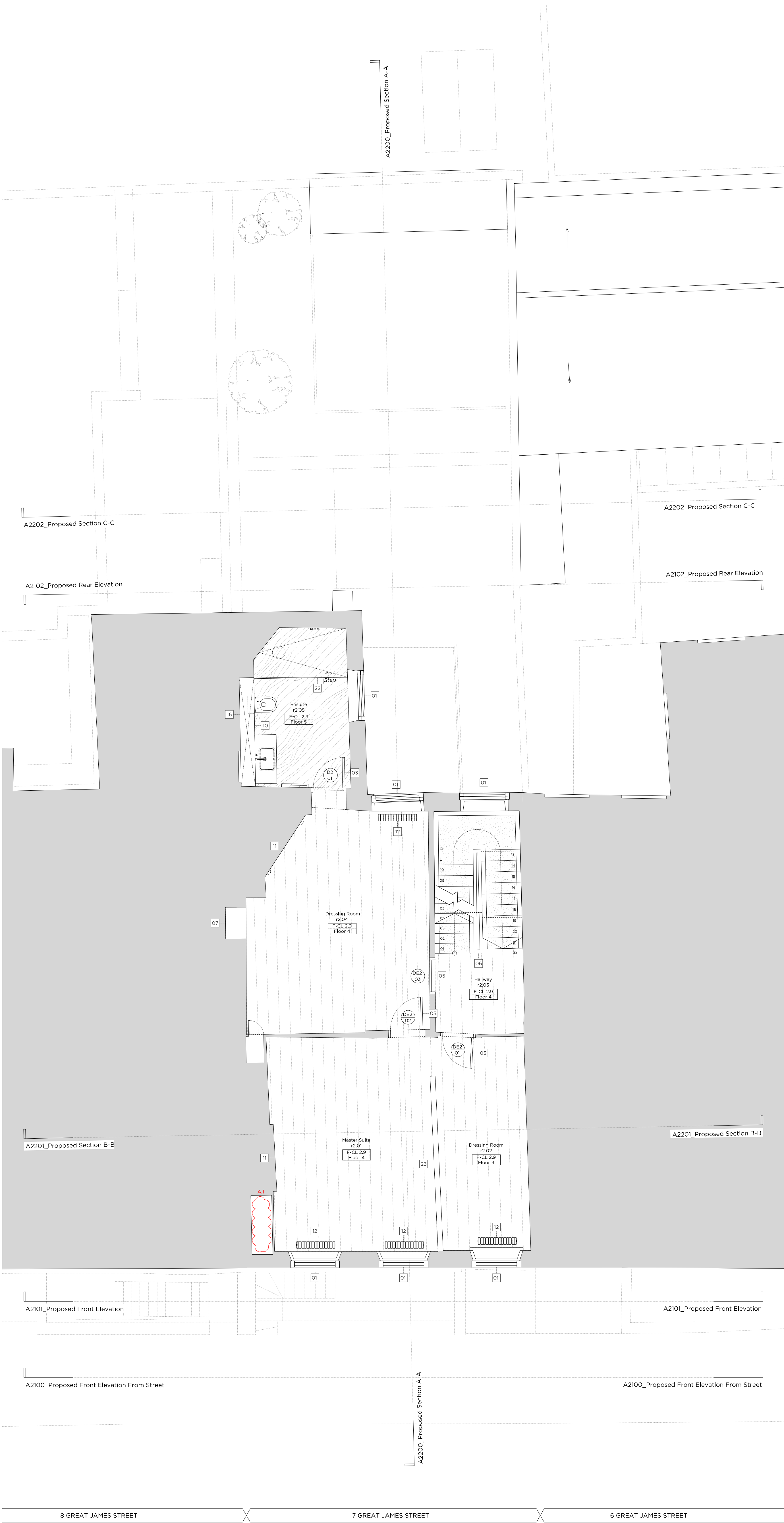


66 - 68 Margaret Street W1W 8SR T. 020 7580 9336 www.mw-a.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.







Key:

Existing structure / earth	New Structure
----------------------------	---------------

Legend: Proposed Finishes

Existing floor boards	Carpet
Reclaimed floor boards	Natural stone
Engineered timber floor	Tile
External paving	Mosaic tile

- General Notes:
- Existing brickwork to be re-pointed and repaired throughout.
  - Retain and refurbish all existing window boxes, architraves and shutters.
  - All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing A6900
  - All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
  - All existing walls and ceilings to be locally re-skimmed and painted where required.
  - Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully pieced in.

- Floor Build-ups
- FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.
- FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.
- FLOOR 3: Specified floor finish on existing levelled floor joists.
- FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.
- FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.
- FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

- Proposed Notes:
- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
  - 02 Proposed metal handrail
  - 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 06 Existing timber staircase and balustrade to be refurbished and redecorated.
  - 07 Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.
  - 08 Proposed minimal frame fixed aluminium casement window
  - 09 Proposed minimal frame aluminium casement window (operable)
  - 10 Proposed built in joinery
  - 11 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
  - 12 Proposed column radiator
  - 13 Replace existing mosaic floor finish
  - 14 Existing metal railings to be refurbished and redecorated
  - 15 Proposed metal balustrade
  - 16 Proposed service riser
  - 17 Proposed glass link with slim profile zinc roof
  - 18 Contemporary timber staircase
  - 19 In-fill partition. Wall build up to match adjacent wall
  - 20 Glazed volume providing access to roof terrace, with black zinc roof
  - 21 Proposed chimney piece and hearth
  - 22 Proposed shower tray over existing floor boards
  - 23 Replacement partition wall
  - 24 New partition wall
  - 25 Proposed bi-folding frosted glass screen to window
  - 26 Existing dormer windows to be refurbished
  - 27 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing
  - 28 All roof flashings to be replaced
  - 29 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration
  - 30 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
  - 31 Reinstatement of sash window in original opening, six over six configuration
  - 32 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
  - 33 Replacement conservation rooflight
  - 34 Green roof with loose/potted planting
  - 35 Intensive planting zone
  - 36 Metal frame window within "Coach House" style opening with steel listel above.
  - 37 Acoustic plant enclosure for condenser units.
  - 38 FCU-concealed within existing joinery.
  - 39 FCU-concealed within new proposed joinery unit.

Rev. A	24.08.2021	Issued for Planning
Rev. -	04.12.2020	Issued for Planning

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date August 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 7 Great James Street

Drawing Title: Proposed Second Floor Plan

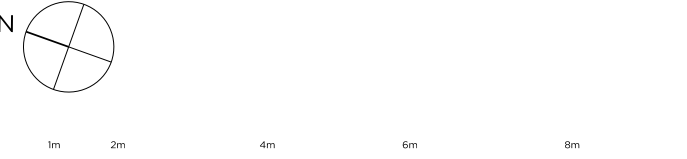
Drawing No. A2002 Rev. A

Drawn CT Approved PB Signed AA

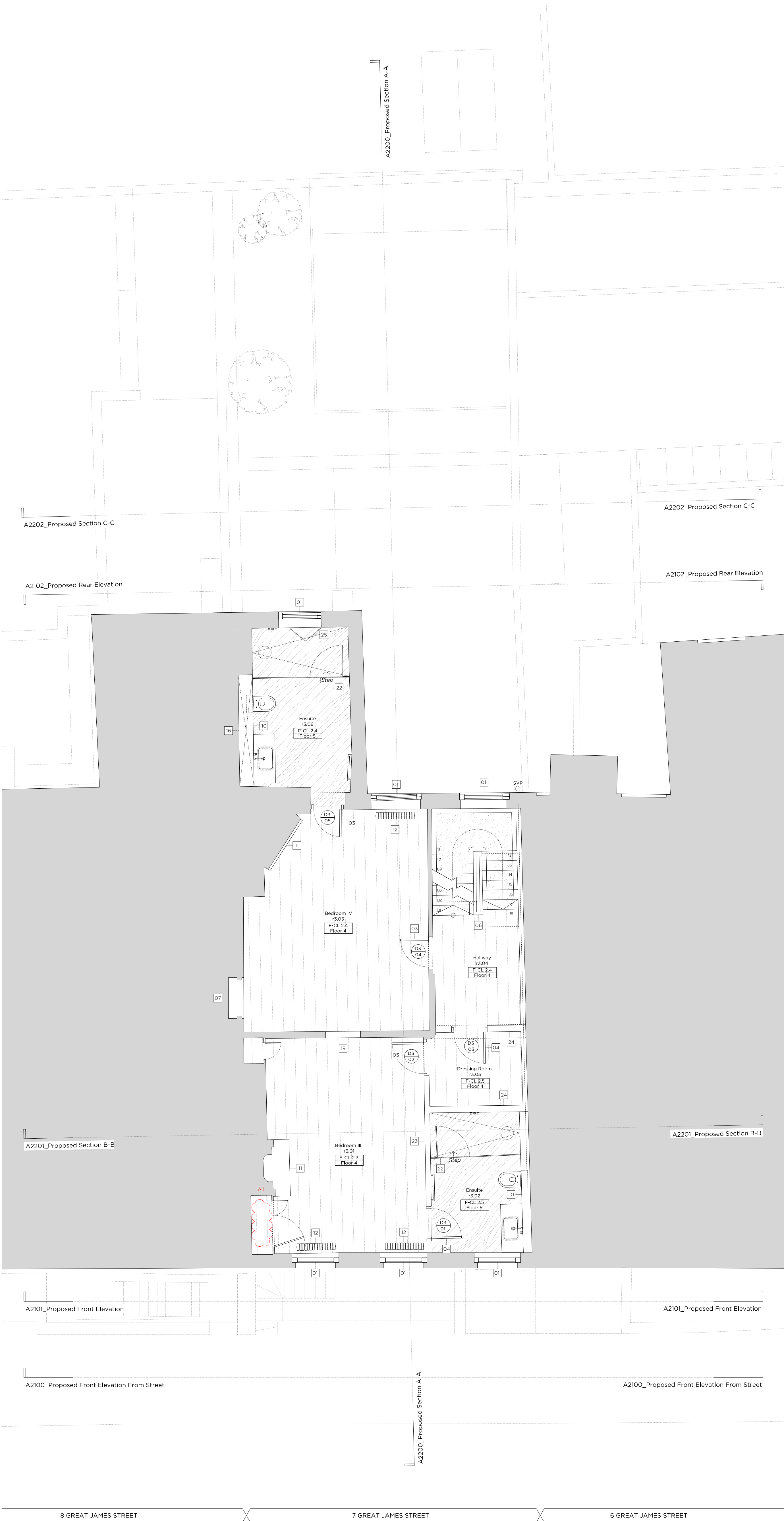


66 - 68 Margaret Street W1W 8SR T. 020 7580 9336 www.mw-a.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.







Key:

Existing structure / earth	New Structure
----------------------------	---------------

Legend: Proposed Finishes

Existing floor boards	Carpet
Reclaimed floor boards	Natural stone
Engineered timber floor	Tile
External paving	Mosaic tile

General Notes:

- Existing brickwork to be re-pointed and repaired throughout.
- Retain and refurbish all existing window boxes, architraves and shutters.
- All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing A6900
- All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
- All existing walls and ceilings to be locally re-skimmed and painted where required.
- Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

Floor Build-ups

FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.

FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.

FLOOR 3: Specified floor finish on existing levelled floor joists.

FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.

FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.

FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

Proposed Notes:

01	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
02	Proposed metal handrail
03	Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
04	Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
05	Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
06	Existing timber staircase and balustrade to be refurbished and redecorated.
07	Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.
08	Proposed minimal frame fixed aluminium casement window
09	Proposed minimal frame aluminium casement window (operable)
10	Proposed built in joinery
11	Existing chimney piece and hearth to be refurbished and redecorated where necessary.
12	Proposed column radiator
13	Replace existing mosaic floor finish
14	Existing metal railings to be refurbished and redecorated
15	Proposed metal balustrade
16	Proposed service riser
17	Proposed glass link with slim profile zinc roof
18	Contemporary timber staircase
19	In-fill partition. Wall build up to match adjacent wall
20	Glazed volume providing access to roof terrace, with black zinc roof
21	Proposed chimney piece and hearth
22	Proposed shower tray over existing floor boards
23	Replacement partition wall
24	New partition wall
25	Proposed bi-folding frosted glass screen to window
26	Existing dormer windows to be refurbished
27	Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing
28	All roof flashings to be replaced
29	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration
30	Rainwater pipes and gutters to be replaced with heritage cast iron fittings
31	Reinstatement of sash window in original opening, six over six configuration
32	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
33	Replacement conservation rooflight
34	Green roof with loose/potted planting
35	Intensive planting zone
36	Metal frame window within "Coach House" style opening with steel listel above.
37	Acoustic plant enclosure for condenser units.
38	FCU concealed within existing joinery.
39	FCU concealed within new proposed joinery unit.

Rev. A	24.08.2021	Issued for Planning
		1. Air conditioning and associated equipment removed from proposals.
Rev. -	04.12.2020	Issued for Planning

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date August 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 7 Great James Street

Drawing Title: Proposed Third Floor Plan

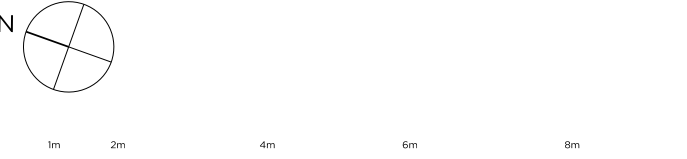
Drawing No. A2003 Rev. A

Drawn CT Approved PB Signed AA

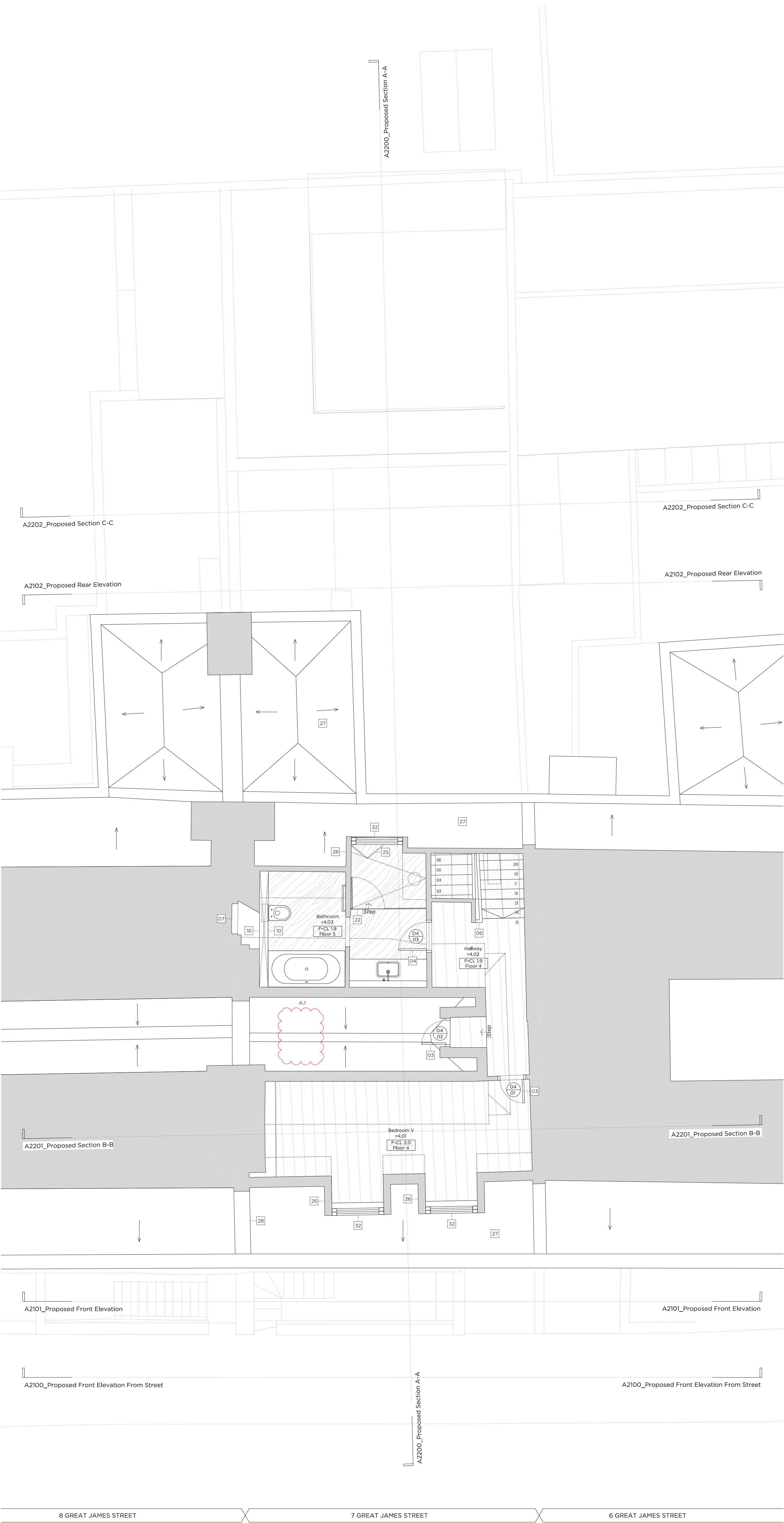


66 - 68 Margaret Street W1W 8SR T. 020 7580 9336 www.mw-a.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.







Key:

Existing structure / earth	New Structure
----------------------------	---------------

Legend: Proposed Finishes

Existing floor boards	Carpet
Reclaimed floor boards	Natural stone
Engineered timber floor	Tile
External paving	Mosaic tile

- General Notes:
- Existing brickwork to be re-pointed and repaired throughout.
  - Retain and refurbish all existing window boxes, architraves and shutters.
  - All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing A6900
  - All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
  - All existing walls and ceilings to be locally re-skimmed and painted where required.
  - Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully pieced in.

- Floor Build-ups
- FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.
- FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.
- FLOOR 3: Specified floor finish on existing levelled floor joists.
- FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.
- FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.
- FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

- Proposed Notes:
- Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
  - Proposed metal handrail
  - Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - Existing timber staircase and balustrade to be refurbished and redecorated.
  - Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.
  - Proposed minimal frame fixed aluminium window
  - Proposed minimal frame aluminium casement window (operable)
  - Proposed built in joinery
  - Existing chimney piece and hearth to be refurbished and redecorated where necessary.
  - Proposed column radiator
  - Replace existing mosaic floor finish
  - Existing metal railings to be refurbished and redecorated
  - Proposed metal balustrade
  - Proposed service riser
  - Proposed glass link with slim profile zinc roof
  - Contemporary timber staircase
  - In-fill partition. Wall build up to match adjacent wall
  - Glazed volume providing access to roof terrace, with black zinc roof
  - Proposed chimney piece and hearth
  - Proposed shower tray over existing floor boards
  - Replacement partition wall
  - New partition wall
  - Proposed bi-folding frosted glass screen to window
  - Existing dormer windows to be refurbished
  - Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing
  - All roof flashings to be replaced
  - Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration
  - Rainwater pipes and gutters to be replaced with heritage cast iron fittings
  - Reinstatement of sash window in original opening, six over six configuration
  - Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
  - Replacement conservation rooflight
  - Green roof with loose/potted planting
  - Intensive planting zone
  - Metal frame window within "Coach House" style opening with steel listel above.
  - Acoustic plant enclosure for condenser units.
  - F-CU concealed within existing joinery.
  - F-CU concealed within new proposed joinery unit.

Rev. A	24.08.2021	Issued for Planning
Rev. -	04.12.2020	Issued for Planning

# PLANNING

Project No.	20042				
Client	GFZ Investments LTD.				
Date	August 2021				
Scale	1:50 @ A1 / 1:100 @ A3				
Project	7 Great James Street				
Drawing Title:	Proposed Fourth Floor Plan				
Drawing No.	A2004	Rev. A			
Drawn	CT	Approved	PB	Signed	AA

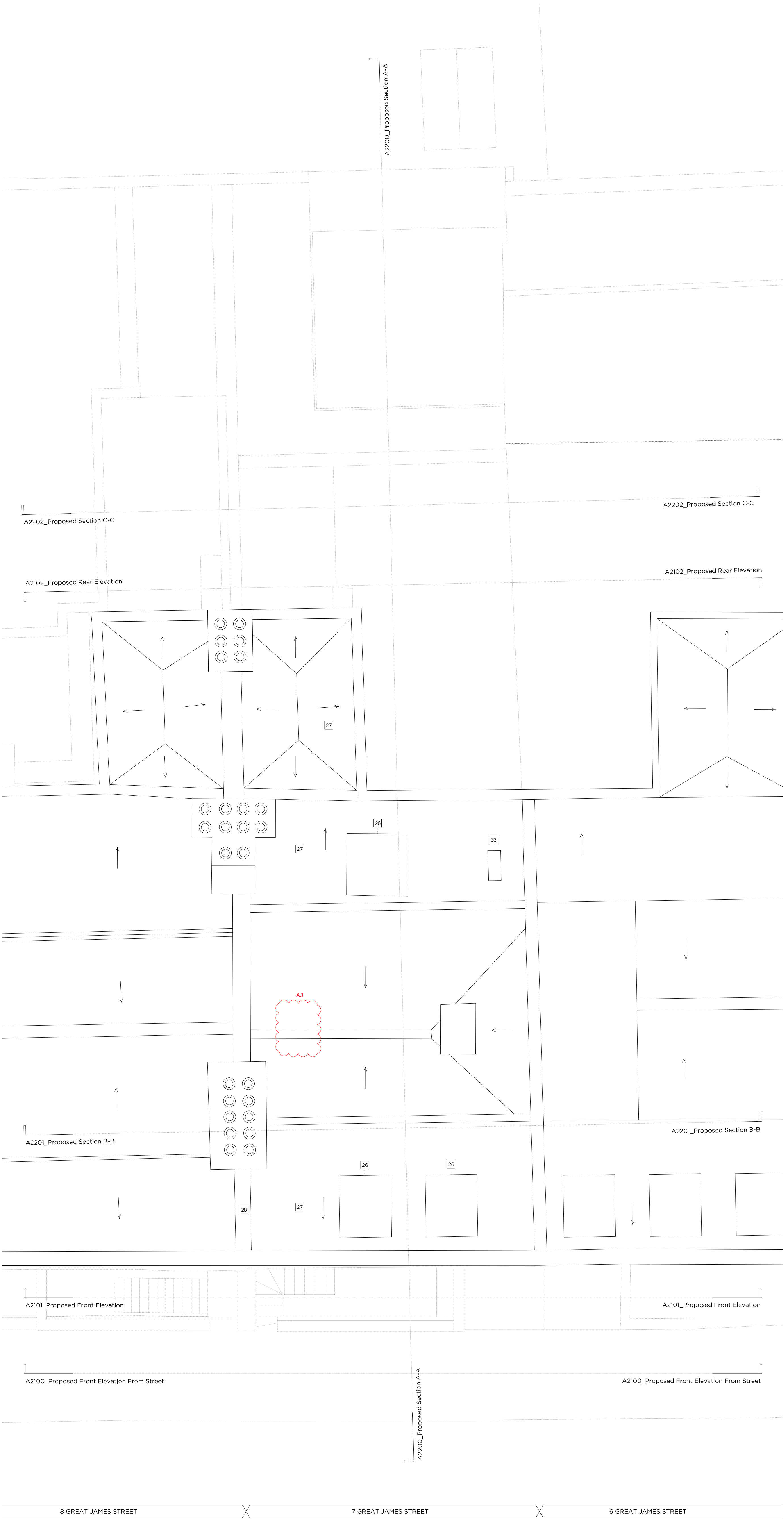


66 - 68 Margaret Street W1W 8SR T. 020 7580 9336 www.mw-a.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.







Key:	
	Existing structure / earth
	New Structure
Legend: Proposed Finishes	
	Existing floor boards
	Reclaimed floor boards
	Engineered timber floor
	External paving
	Carpet
	Natural stone
	Tile
	Mosaic tile

- General Notes:
- Existing brickwork to be re-pointed and repaired throughout.
  - Retain and refurbish all existing window boxes, architraves and shutters.
  - All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer, to drawing A6900
  - All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
  - All existing walls and ceilings to be locally re-skimmed and painted where required.
  - Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

- Floor Build-ups
- FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.
- FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.
- FLOOR 3: Specified floor finish on existing levelled floor joists.
- FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.
- FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.
- FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

- Proposed Notes:
- Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
  - Proposed metal handrail
  - Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - Existing timber staircase and balustrade to be refurbished and redecorated.
  - Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.
  - Proposed minimal frame fixed aluminium window
  - Proposed minimal frame aluminium casement window (operable)
  - Proposed built in joinery
  - Existing chimney piece and hearth to be refurbished and redecorated where necessary.
  - Proposed column radiator
  - Replace existing mosaic floor finish
  - Existing metal railings to be refurbished and redecorated
  - Proposed metal balustrade
  - Proposed service riser
  - Proposed glass link with slim profile zinc roof
  - Contemporary timber staircase
  - In-fill partition. Wall build up to match adjacent wall
  - Glazed volume providing access to roof terrace, with black zinc roof
  - Proposed chimney piece and hearth
  - Proposed shower tray over existing floor boards
  - Replacement partition wall
  - New partition wall
  - Proposed bi-folding frosted glass screen to window
  - Existing dormer windows to be refurbished
  - Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing
  - All roof flashings to be replaced
  - Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration
  - Rainwater pipes and gutters to be replaced with heritage cast iron fittings
  - Reinstatement of sash window in original opening, six over six configuration
  - Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
  - Replacement conservation rooflight
  - Green roof with loose/potted planting
  - Intensive planting zone
  - Metal frame window within "Coach House" style opening with steel listel above.
  - Acoustic plant enclosure for condenser units.
  - FCU concealed within existing joinery.
  - FCU concealed within new proposed joinery unit.

Rev. A	24.08.2021	Issued for Planning
Rev. -	04.12.2020	Issued for Planning

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date August 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 7 Great James Street

Drawing Title:	
Proposed Roof Plan	
Drawing No.	
A2005	
Rev.	
A	
Drawn	Approved
CT	PB
AA	



66 - 68 Margaret Street W1W 8SR T. 020 7580 9336 www.mw-a.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.







Key Site Plan 1:1000

Key:

- Existing structure / earth
- New Structure

Proposed Notes:

- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
- 02 Proposed metal handrail
- 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 06 Proposed minimal frame fixed aluminium window
- 07 Proposed minimal frame aluminium casement window (operable)
- 08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
- 09 Existing metal railings to be refurbished and redecorated
- 10 Proposed metal balustrade
- 11 Proposed glass link with slim profile zinc roof
- 12 Existing dormer windows to be refurbished.
- 13 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
- 14 All roof flashings to be replaced - where necessary
- 15 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
- 16 Existing PVC rainwater pipes and gutters to be replaced with heritage cast iron fittings
- 17 Re-statement of sash window in original opening, six over six configuration
- 18 All elevations to be repointed
- 19 Proposed traditionally detailed timber french door with nine over nine configuration
- 20 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
- 21 Replacement conservation rooflight
- 22 Reclaimed stock brick to match existing
- 23 Glazed volume providing access to roof terrace, with black zinc roof
- 24 Metal frame window within "Coach House" style opening with steel lintel above
- 25 Intensive planting zone
- 26 Green Roof with loose/spotted planting
- 27 New cast iron SVP/RWP, to connect to existing stack
- 28 Proposed built-in joinery
- 29 Acoustic plant enclosure for condenser units

Rev. B	24.08.2021	Issued for Planning
Rev. A	29.03.2021	Issued for Planning
Rev. -	04.12.2020	Issued for Planning

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date August 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 7 Great James Street

Drawing Title: Proposed Front Elevation from Street

Drawing No. A2100

Rev. B

Drawn CT Approved PB Signed AA

Marek Wojciechowski Architects Ltd.

66 + 68 Margaret Street WIV 6SR T. 020 7580 9336 www.mw-a.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

0 1m 2m 4m 6m 8m 10m





Key Site Plan 1:1000

Key:

Existing structure / earth    New Structure

Proposed Notes:

01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.

02 Proposed metal handrail

03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.

04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.

05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.

06 Proposed minimal frame fixed aluminium window

07 Proposed minimal frame aluminium casement window (operable)

08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.

09 Existing metal railings to be refurbished and redecorated

10 Proposed metal balustrade

11 Proposed glass link with slim profile zinc roof

12 Existing dormer windows to be refurbished.

13 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.

14 All roof flashings to be replaced - where necessary

15 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.

16 Existing PVC rainwater pipes and gutters to be replaced with heritage cast iron fittings

17 Reinstatement of sash window in original opening, six over six configuration

18 All elevations to be repointed

19 Proposed traditionally detailed timber french door with nine over nine configuration

20 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.

21 Replacement conservation rooflight

22 Reclaimed stock brick to match existing

23 Glazed volume providing access to roof terrace, with black zinc roof

24 Metal frame window within "Coach House" style opening with steel lintel above

25 Intensive planting zone

26 Green Roof with loose/spotted planting

27 New cast iron SVP/RWP, to connect to existing stack

28 Proposed built-in joinery

29 Acoustic plant enclosure for condenser units

Rev. B	24.08.2021	Issued for Planning
Rev. A	29.03.2021	Issued for Planning
Rev. -	04.12.2020	Issued for Planning

PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date August 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 7 Great James Street

Drawing Title: Proposed Front Elevation

Drawing No. A2101

Rev. B

Drawn CT Approved PB Signed AA

Marek Wojciechowski Architects Ltd.

66 - 68 Margaret Street WIV 6SR T. 020 7580 9336 www.mwa.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

0 0.5m 1m 2m 3m 4m 5m



Existing Ridge Level

Existing Loft Level

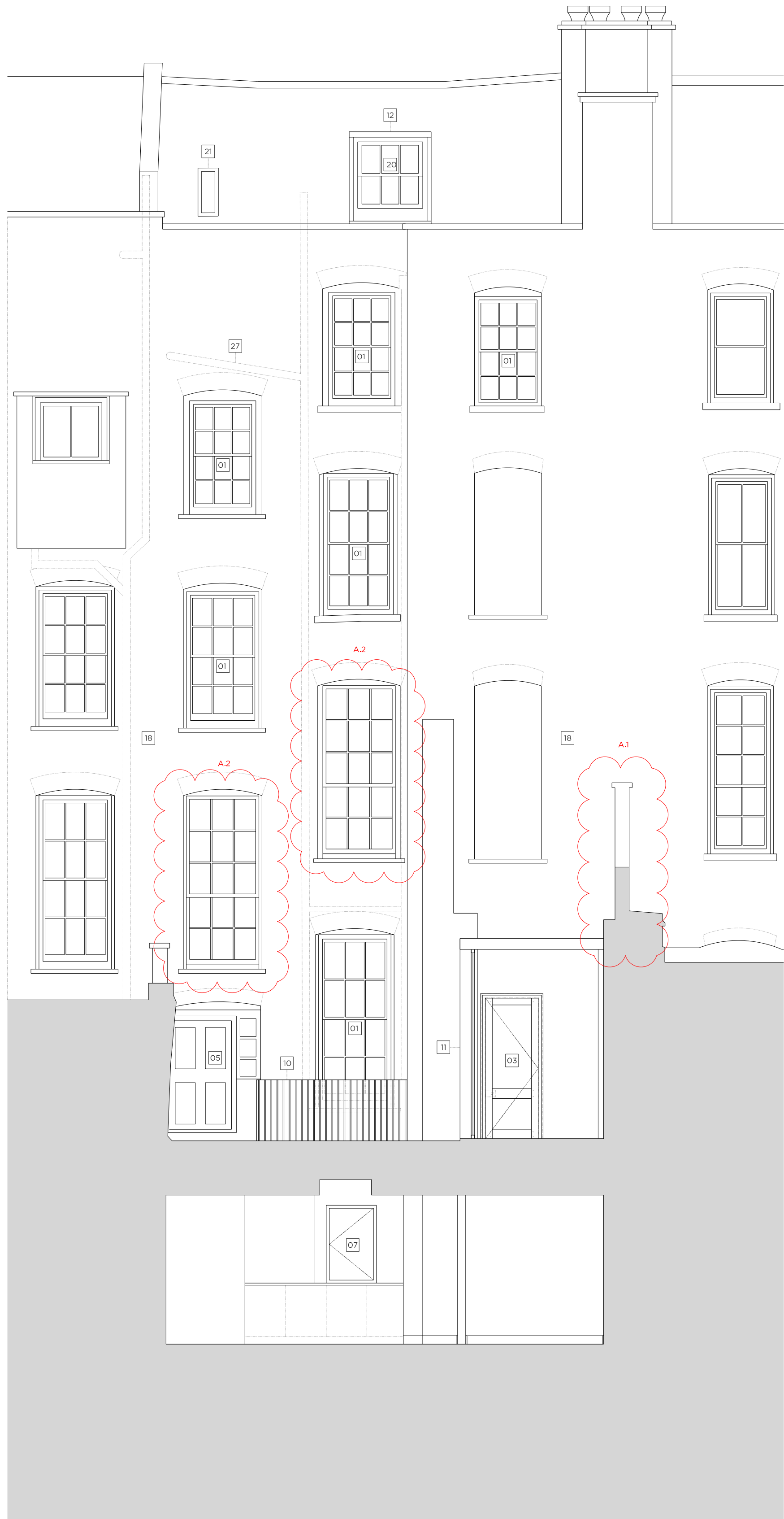
Existing Third Floor Level

Existing Second Floor Level

Existing First Floor Level

Existing Ground Floor Level

Existing Basement Floor Level



6 GJS

7 GREAT JAMES STREET

8 GJS

Key Site Plan 1:1000



Key:

Existing structure / earth New Structure

Proposed Notes:

- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
- 02 Proposed metal handrail
- 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 06 Proposed minimal frame fixed aluminium window
- 07 Proposed minimal frame aluminium casement window (operable)
- 08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
- 09 Existing metal railings to be refurbished and redecorated
- 10 Proposed metal balustrade
- 11 Proposed glass link with slim profile zinc roof
- 12 Existing dormer windows to be refurbished.
- 13 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
- 14 All roof flashings to be replaced - where necessary
- 15 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
- 16 Existing PVC rainwater pipes and gutters to be replaced with heritage cast iron fittings
- 17 Reinstatement of sash window in original opening, six over six configuration
- 18 All elevations to be repointed
- 19 Proposed traditionally detailed timber french door with nine over nine configuration
- 20 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
- 21 Replacement conservation rooflight
- 22 Reclaimed stock brick to match existing
- 23 Glazed volume providing access to roof terrace, with black zinc roof
- 24 Metal frame window within "Coach House" style opening with steel lintel above
- 25 Intensive planting zone
- 26 Green Roof with loose/spotted planting
- 27 New cast iron SVP/RWP, to connect to existing stack
- 28 Proposed built-in joinery
- 29 Acoustic plant enclosure for condenser units

B.1

Rev. B	24.08.2021	Issued for Planning
Rev. A	29.03.2021	Issued for Planning
Rev. -	04.12.2020	Issued for Planning

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date August 2021

Scale 1:100 @ A1 / 1:200 @ A3

Project 7 Great James Street

Drawing Title: Proposed Rear Elevation

Drawing No. A2102 Rev. B

Drawn	Approved	Signed
CT	PB	AA

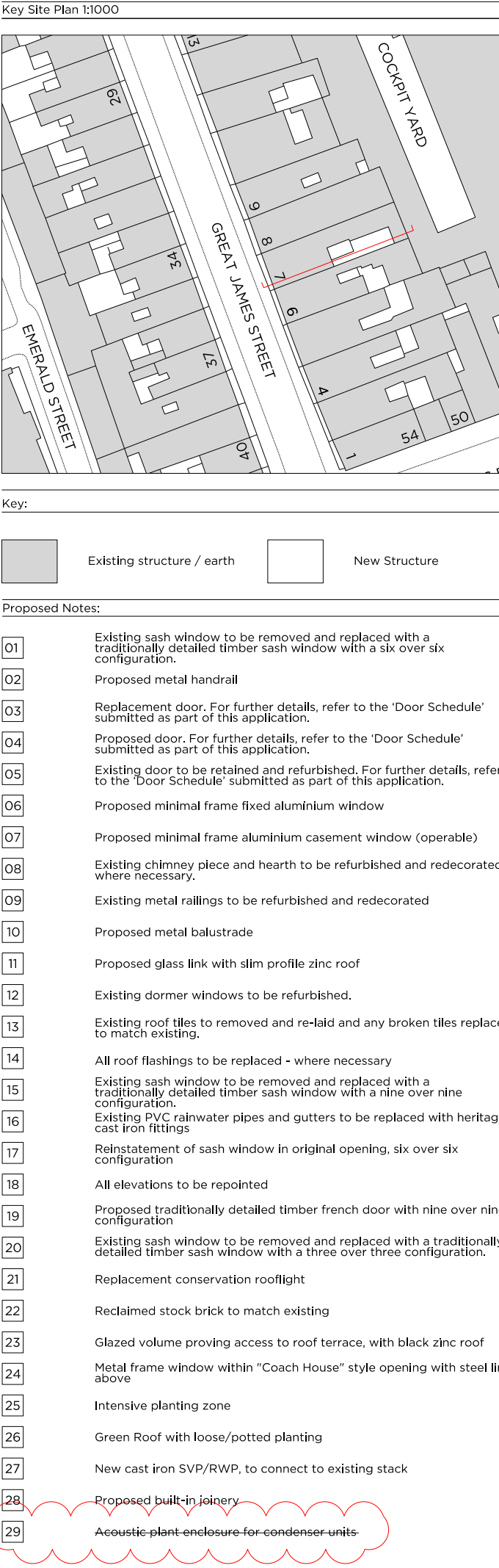


66 - 68 Margaret Street W1W 8SR T. 020 7580 9336 www.mw-a.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

0 0.5m 1m 2m 3m 4m 5m





Rev. B	24.08.2021	Issued for Planning
Rev. A	29.03.2021	Issued for Planning
Rev. -	04.12.2020	Issued for Planning

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date August 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 7 Great James Street

Drawing Title: Proposed Section A-A

Drawing No. A2200 Rev. B

Drawn CT Approved PB Signed AA

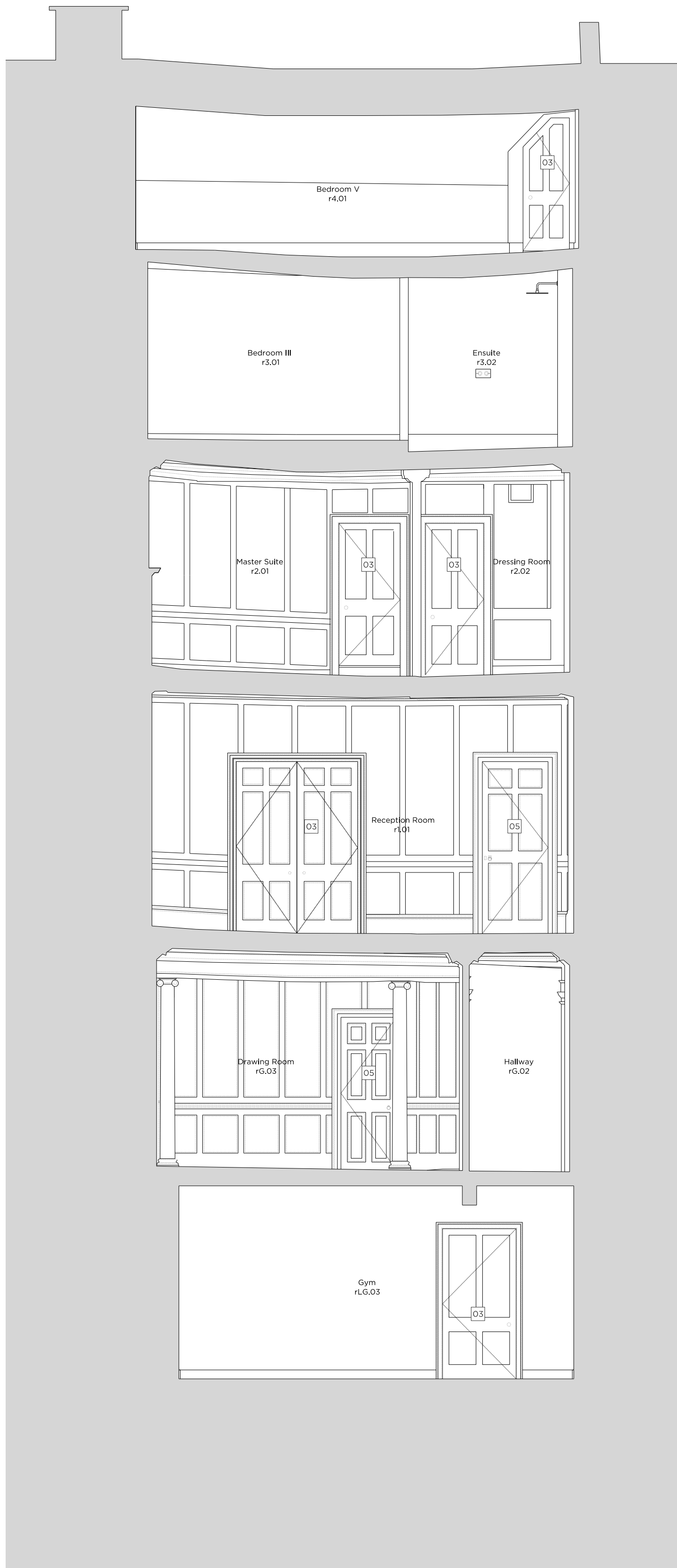


66 + 68 Margaret Street WIV BSR T. 020 7580 9336 www.mwa.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.







8 GJS

7 GREAT JAMES STREET

6 GJS

Key Site Plan 1:1000

Key:

Existing structure / earth    New Structure

Proposed Notes:

01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.

02 Proposed metal handrail

03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.

04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.

05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.

06 Proposed minimal frame fixed aluminium window

07 Proposed minimal frame aluminium casement window (operable)

08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.

09 Existing metal railings to be refurbished and redecorated

10 Proposed metal balustrade

11 Proposed glass link with slim profile zinc roof

12 Existing dormer windows to be refurbished.

13 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.

14 All roof flashings to be replaced - where necessary

15 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.

16 Existing PVC rainwater pipes and gutters to be replaced with heritage cast iron fittings

17 Reinstatement of sash window in original opening, six over six configuration

18 All elevations to be repointed

19 Proposed traditionally detailed timber french door with nine over nine configuration

20 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.

21 Replacement conservation rooflight

22 Reclaimed stock brick to match existing

23 Glazed volume providing access to roof terrace, with black zinc roof

24 Metal frame window within "Coach House" style opening with steel lintel above

25 Intensive planting zone

26 Green Roof with loose/spotted planting

27 New cast iron SVP/RWP, to connect to existing stack

28 Proposed built-in joinery

29 Acoustic plant enclosure for condenser units

Rev. B	24.08.2021	Issued for Planning
Rev. A	29.03.2021	Issued for Planning
Rev. -	04.12.2020	Issued for Planning

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date August 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 7 Great James Street

Drawing Title:		Proposed Section B-B	
Drawing No.		A2201	Rev. B
Drawn CT	Approved PB	Signed AA	



66 - 68 Margaret Street WIV 6SR T. 020 7580 9336 www.mwa.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

0 1m 2m 4m 6m 8m 10m





Key Site Plan 1:1000

Key:

Existing structure / earth    New Structure

Proposed Notes:

01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.

02 Proposed metal handrail

03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.

04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.

05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.

06 Proposed minimal frame fixed aluminium window

07 Proposed minimal frame aluminium casement window (operable)

08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.

09 Existing metal railings to be refurbished and redecorated

10 Proposed metal balustrade

11 Proposed glass link with slim profile zinc roof

12 Existing dormer windows to be refurbished.

13 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.

14 All roof flashings to be replaced - where necessary

15 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.

16 Existing PVC rainwater pipes and gutters to be replaced with heritage cast iron fittings

17 Re-statement of sash window in original opening, six over six configuration

18 All elevations to be repointed

19 Proposed traditionally detailed timber french door with nine over nine configuration

20 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.

21 Replacement conservation rooflight

22 Reclaimed stock brick to match existing

23 Glazed volume providing access to roof terrace, with black zinc roof

24 Metal frame window within "Coach House" style opening with steel lintel above

25 Intensive planting zone

26 Green Roof with loose/spotted planting

27 New cast iron SVP/RWP, to connect to existing stack

28 Proposed building joinery

29 Acoustic plant enclosure for condenser units

Rev. B	24.08.2021	Issued for Planning
Rev. A	29.03.2021	Issued for Planning
Rev. -	04.12.2020	Issued for Planning

PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date August 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 7 Great James Street

Drawing Title: Proposed Section C-C

Drawing No. A2202

Rev. B

Drawn CT Approved PB Signed AA

Marek Wojciechowski Architects Ltd.

66 + 68 Margaret Street W1W 8SR T. 020 7580 9336 www.mw-a.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

0 1m 2m 4m 6m 8m 10m