

# Koko Refresh and Renew, 1a Camden High Street, London NW1 7JE

## Sweeper application

Revision A

## October 2021

"a great space is performance in progress."

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**ARCHER HUMPHRYES** ARCHITECTS



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# Justification of works

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This application is a compilation of items that the conservation officer has asked us to provide further information on. These key items relate to the reinstated listed element in particular the Metal Frame substrate that is been installed to enable to fibrous plaster to have a substructure that is strong enough to withhold the weight of the ceilings and features. The metal frame will also have the certified warranty that are required.

The items bellow will be presented in this sweeper:

1. Entrance Lobby Light fittings and speakers.
2. Metal ceiling support structure.
3. Metal ceiling structure in auditorium.
4. Metal ceiling structure.
5. Ceiling – timber framework to be replaced.
6. Extension of balcony to DJ booth.
7. Opening within the basement as a secondary means of escape.
8. Retrospective removal of arch KOKO Social.
9. AV new layout – increasing room size.
10. Terrace bar – Lowered ceiling.



All the elements above like lighting, speakers, metal ceiling, opening in façade are works that are needed and required for the upgrade to this building. These items will not affect the historic aspects of this building, the MF ceiling will be sympathetically installed so it aligns with existing structure.

We think it necessary for the above items to be installed. This is so that this project is enhanced and used to its maximum potential as a live music venue. It is Imperative to keep to the forefront of technical development and maintain or better still improve the overall production capabilities of this venue. As per the client team have stated:

“We operate in a very competitive marketplace where there is an ever-increasing emphasis on production value.”

“Failing to do so quickly exposes the business to a loss of reputation and a decline in demand that effectively compromises financialViability by lowering chargeable rates across the year.”

**Larry Seymour**  
**Mint Group, client team**

This project is been retained and restored to it's former self but with care and thought we are progressing to add modern intervention that are out lined above and will be shown through drawings below.



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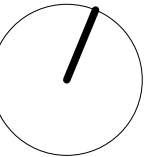
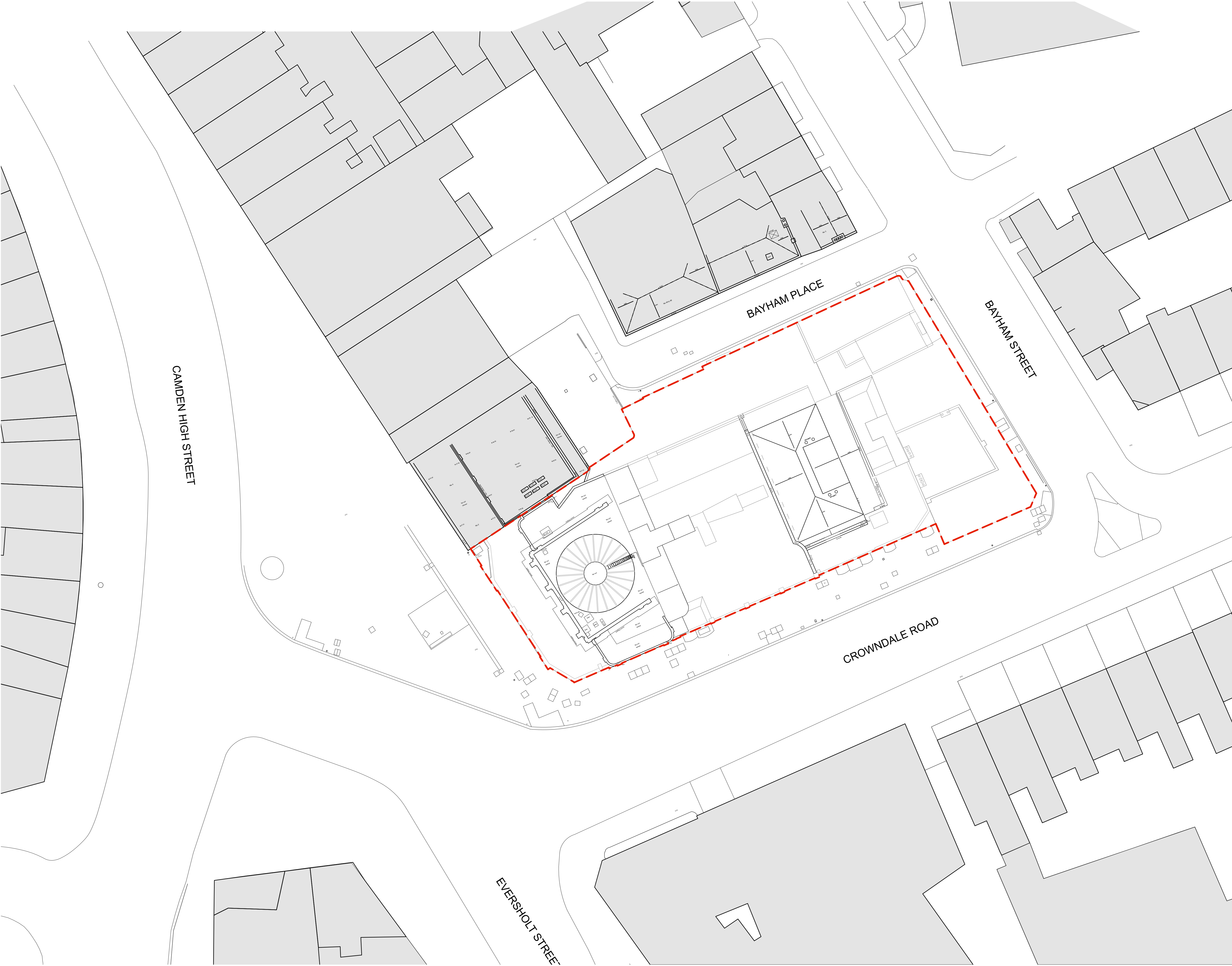
Only the original drawing should be relied upon. Contractors, subcontractors and suppliers must verify all dimensions on site before commencing any work or making any shop drawings.

All shop drawings to be submitted to the architect for comment prior to fabrication.

This drawing is to be read in conjunction with the Architect's specification, bills of quantities / schedules, structural, mechanical & electrical drawings and all discrepancies are to be reported to the architect.

revision / date / amendments

P1 / 25.09.20 / FIRST ISSUE



25.09.20

1:200

0 2 4 6 8 10 16m

## PLANNING

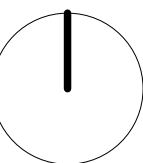
Archer Humphryes Architects

Basement  
Central House  
142 Central Street  
London, United Kingdom  
EC1V 8AR  
T : +44 (0) 20 7251 8555

project title		
KOKO + Hope & Anchor + Bayham Place, Camden, London		
drawing title	scale	date
Existing Site Plan	1:200 @ A1	19.08.20
drawing number	drawn	checked
AHA/KKCR/ EX /001	VR	DA
revision	revision	
	P1	



25.9.20



## PLANNING

Archer Humphries Architects

Basement  
Central House  
142 Central Street  
London, United Kingdom  
EC1V 8AR  
T : +44 (0) 20 7251 8555

project title  
KOKO + Hope & Anchor + Bayham  
Place, Camden, London

drawing title Location Plan	scale 1:250 @ A1	date 25.09.20
drawing number AHA/KKCR/EX/0001	drawn VR	checked DA
	revision P1	



# Schedule of works

Location	Item	Demolitions	Proposed	Impact Assessment on the Historic Fabric
Sub-Basement	1.01	Gridlines C/C* - 8 – Removal	Removal of brick wall to allow for secondary access into the Electrical plant room.	Negligible
Entrance Lobby	1.02	Gridlines A/F - 0/2- Removal of all surface mounted fittings and create opening for services such as lights, speakers and fire alarms	<p>The proposal is to completely remove all surface mounted elements in this room and as repairs are required to the fibrous plaster then light fittings and speaker are to be installed with hidden wiring within ceiling void with at most care and precision to only install lighting in flat surfaces of the fibrous plaster ceiling.</p> <p>Also the integration of MF ceiling to allow for strengthening of existing ceiling that has been retained in situ.</p>	Negligible / Mitigation; impact on listed building ceiling is minor opening on flat surfaces. No surface mounted cabling. Metal Frame installed within spaces of existing timber frame.
Ground Floor	1.3	Gridlines C/F -2 – No Removal	The proposal of integrating metal frame MF to ceiling in this lobby area to support the fibrous plaster ceiling that will be reinstated.	Negligible
	1.4	Gridlines E/C -2 – No Removal	The proposal of extending the balcony area to allow for future performance equipment to be used.	Negligible
First Floor	1.5	Gridlines C/F -1/3– No Removal	The proposal of integrating metal frame MF to ceiling in this lobby and terrace room area to support the fibrous plaster ceiling that will be reinstated.	Negligible
	1.6	Gridlines B/E -1/2– No Removal	Proposal of lower ceiling to allow for ventilation services which in turn lowered the cornice detail.	Negligible

## Second Floor

<b>1.7</b>	Gridlines G/F -1/2– Removal of existing timber framed ceiling that is damaged and rotten / moist.	Proposal is to reinstate the ceiling with a Metal Frame system but as tight to the structural slab as possible to allow the stair lobby for a higher ceiling that will enable more space within this escape corridor.	Negligible
<b>1.8</b>	Gridlines A/B -8– Removal of existing brick arch.	The proposal is to remove the brick arch to allow for a required floor to ceiling level.	Mitigation: Impact on the building walls.
<b>1.9</b>	Gridlines A/B -2/3– Removal of area in the façade to allow for grills for air intake.	The proposal is to remove the 600mm square on the façade to allow for grills which in turn will be intergraded into façade with same colour finish for the grills to have minimal impact on the façade.	Mitigation: Minimal Impact on external façade, this is the only area that service can travel to minimize / mitigate services going through any featured ceiling.
<b>2.0</b>	Gridlines A/B -2/3– Removal of modern partition wall and door.	The proposal is to remove existing partition wall and door and extend the floor, proposing new timber structure steps above existing stair to allow the floor area to be extended for AV equipment and services to be located in this space.	Mitigation: Minimal Impact as existing stairs will be hidden under proposed timber structure for new stair location.