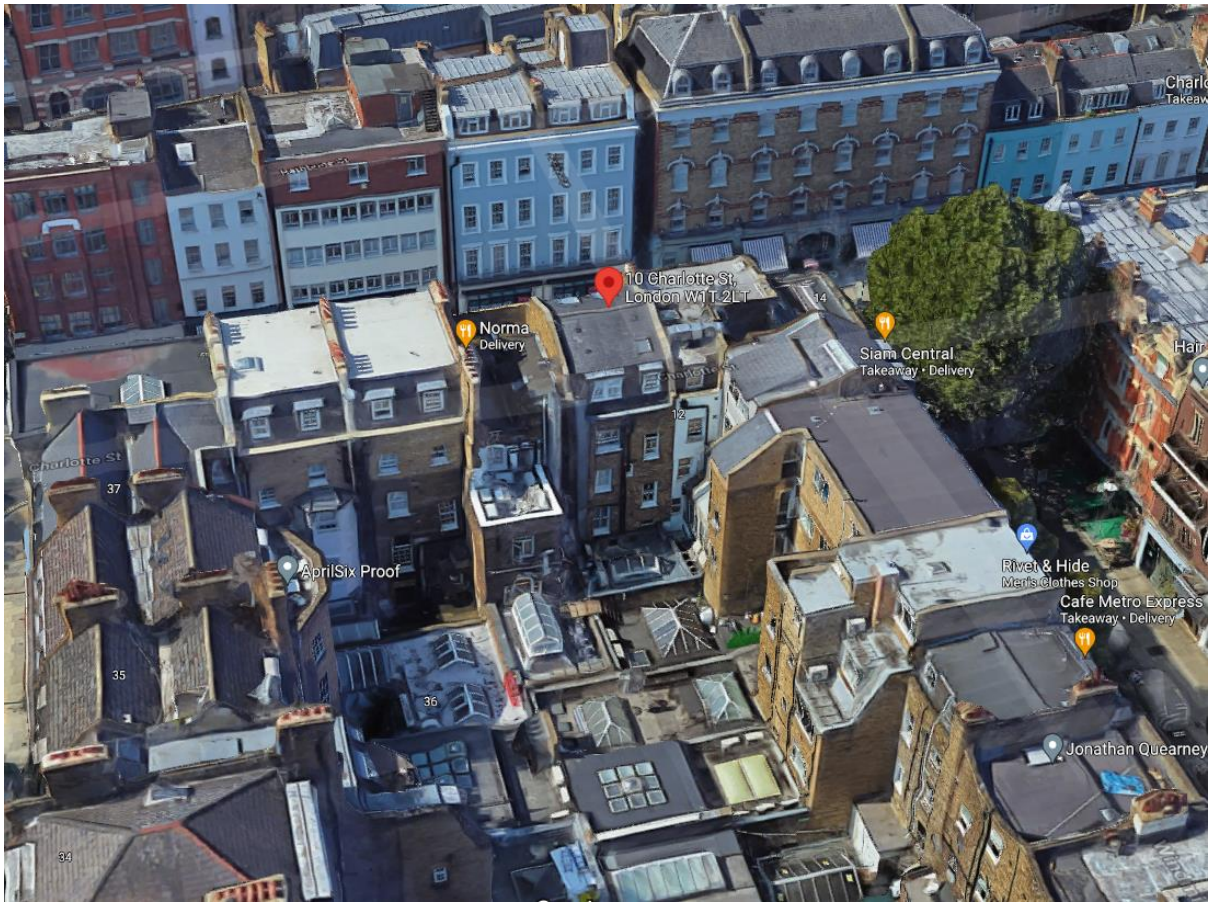


2021/2526/P - 10 Charlotte Street, W1T 2LT

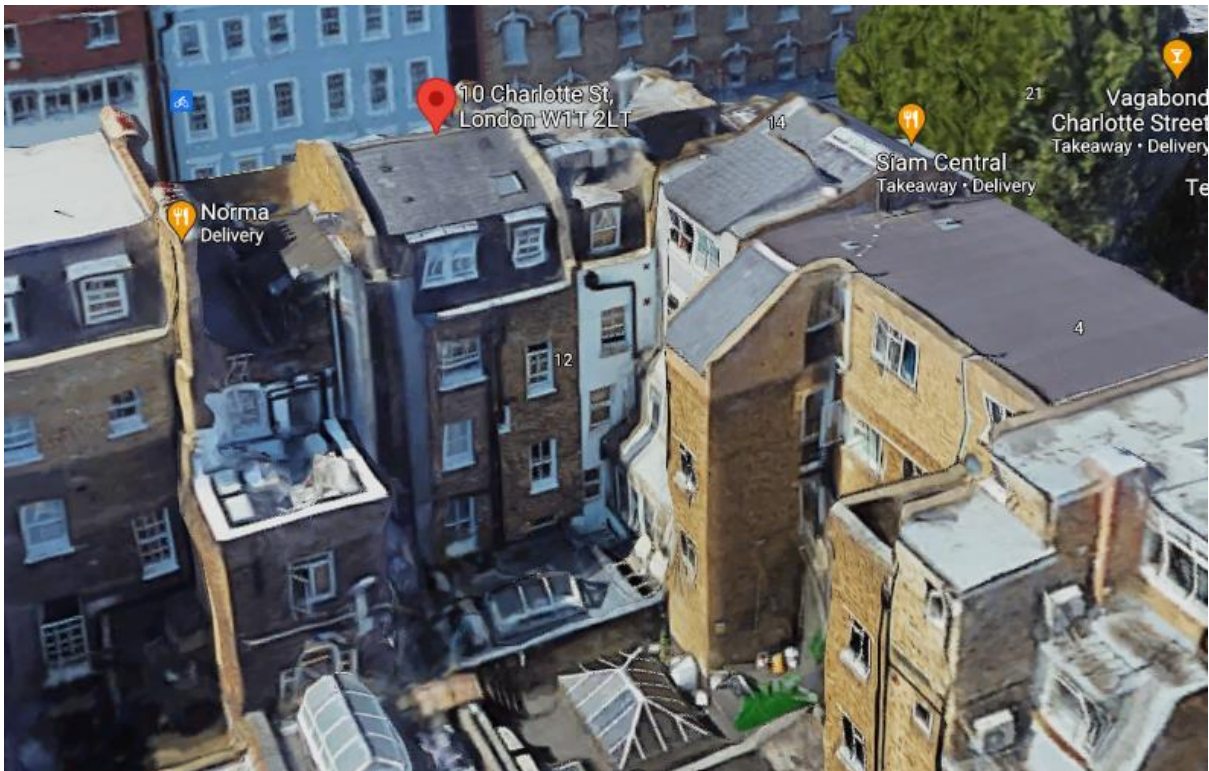


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1. Aerial View



2. Aerial View Close Up



3. Application site (close left) roof looking onto 12 Charlotte Street (white façade) and 2 Windmill Street (brick façade to the right)



4. Application site (close right) roof, rear façade of host building and rear of 8 Charlotte Street



5. Application site roof looking on to rear of 8 Charlotte Street



6. Application site roof



7. Plant on first floor level roof obstructing windows at rear of 8 Charlotte Street, windows and roof of 10 Charlotte Street to the right



Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	16/07/2021
		N/A		Consultation Expiry Date:	18/07/2021
Officer				Application Number(s)	
Miriam Baptist				2021/2526/P	
Application Address				Drawing Numbers	
10 Charlotte Street London W1T 2LT				See Draft Decision Notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
The installation of two water tanks on the rear first floor roof.					
Recommendation:	Grant conditional planning permission				
Application Type:	Full Planning Permission				
Conditions or Reasons for Refusal:	Refer to Draft Decision Notice				
Informatives:					
Consultations					
Summary of consultation:	1 site notice was displayed near to the site on the 23/06/2021 (consultation end date 17/07/2021). The development was also advertised in the local press on the 24/07/2017 (consultation end date 18/07/2021).				
Adjoining Occupiers:	No. of responses	00	No. of objections	00	
Summary of consultation responses:	No letters of objection were submitted from or on behalf of any local owners/occupiers.				

Bloomsbury CAAC:

Objection

A letter of objection was received on behalf of the Bloomsbury CAAC, in relation to the proposed scheme on the following grounds:

- (1) Proposed tank and enclosure with dominate the space at the rear of the building and block views and light to surrounding windows.

Officer's response:

- (1) *The proposal has been revised to include two separate modules of a reduced scale and projection, which now sit comfortably at the rear of the site. Please see sections 2.1, 4.3, 4.4, 4.5, 4.6, 5.2 and 5.3 of the report for more detail.*

Comment on the revised design:

A further submission of comments in objection to the proposal were received from the CAAC in response to the revised design:

- (1) Acknowledgement that inappropriate plant already exists within the conservation area but do not believe this justifies the approval of further plant.
- (2) Conservation Area Appraisal and Management Strategy acknowledges the pressure for plant equipment as change occurs and asserts that such changes can, cumulatively, have significant impact on the character of an area.
- (3) Do not believe that alternative options were sufficiently tried and tested.
- (4) Do not believe that enough attention to detailed design has been given. Object to the low-cost material proposed.

Officer's response:

- (1) *Inappropriate plant already exists on this particular corner of the rear roofscape. Please see photos 4, 5 and 7. The proposal is not believed to result in additional harm beyond the existing situation.*
- (2) *It is appreciated that cumulatively small additions of plant equipment can impact the character of an area, however the redesign is considered helpful in minimising negative impact.*
- (3) *Central London flats are generally tightly constrained by lack of space and therefore it is believed that the proposal is reasonable, positioned at the rear of the property, out of public view, and also in light of the alterations with seek to minimise visibility and dominance.*
- (4) *The design has been substantially altered: now two smaller modules rather than one large cumbersome module. The redesign also means that one component is shielded by the roof lantern in front of it and that the other has been reduced significantly in width and height. The material choice, glass reinforced plastic in 'industrial grey', is considered standard and appropriate for plant. It is not considered to be conspicuous or unduly obtrusive on a grey roofscape.*

Site Description

10 Charlotte Street is a mid-terrace, four storey plus mansard level building, with retail at ground floor and residential accommodation at upper floors. The proposal would relate to the residential accommodation and be situated on the roof at first floor level at the rear of the building.

The property is not statutorily listed but is situated within the Charlotte Street Conservation Area.

The property is characteristic of the local area, being defined in the Conservation Area Appraisal (2008) as making a positive contribution to the character of the Charlotte Street Conservation Area.

There are no trees protected by Tree Preservation Orders within the application site.

Relevant History

Relevant planning history at the application site:

9200665: Planning permission was granted on the 12/08/1992 for an extract duct on the rear façade. The duct is attached to the elevation directly and does not obstruct any windows.

Relevant policies

National Planning Policy Framework (2021)

The London Plan (2021)

Camden Local Plan (2017)

- **DM1** Delivery and monitoring
- **A1** Managing the impact of development
- **D1** Design
- **D2** Heritage
- **CC1** Climate change mitigation
- **CC2** Adapting to climate change

Camden Planning Guidance (2021)

- CPG Amenity
- CPG Design
- CPG Energy efficiency and adaptation

Charlotte Street Conservation Area Statement (2008)

Assessment

1. The proposal

1.1 Planning permission is sought for the installation of a water tank system on the roof of the existing rear projection at first-floor, behind existing roof lantern. The new tank is proposed to improve the water pressure of the four residential properties at 10 Charlotte Street.

1.2 The proposed water tank would be comprised of two parts: the tank and booster. The tank would be 1500mm H x 1150mm W x 1150mm L and the booster, which would sit alongside, would be 1100mm H x 1150mm W x 1650mm L.

2. Revisions

2.1. The proposed scheme has been revised as follows:

- The initial tank system was one large module of 2060mm high, 2350 length, 1150 width. The revised proposal includes two separate modules, one of which sits behind the existing roof lantern reduced by 960mm in height, and the other reduced in length by 1200mm and height by 560mm.

2.2. The revisions made to the scheme did not material affect the scheme and as such were accepted as amendments under the ongoing application.

3. Assessment

3.1. The principal considerations material to the determination of this application are as follows:

- The visual impact upon the character and appearance of the host property, streetscene, local area and the Charlotte Street Conservation Area (Design and Heritage)
- The impacts of the scheme on any neighbouring occupier (Neighbouring Amenity)

4. Design and Heritage

4.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 states that in order to maintain the character of Camden's conservation areas, the Council will not permit development that fails to preserve or enhance the character and appearance of that conservation area.

4.2. The rear of the site is largely occupied by single storey extensions with roof lanterns on top, from surrounding properties on Charlotte Street, Windmill Street and Percy Street. The proposed water tank system would be located towards the corner of this roofscape adjacent to the junction between 8-12 Charlotte Street and 2 Windmill Street.

4.3. The Charlotte Conservation Area Statement (2008) advises that the same attention to detail and high design is required for small scale non-residential development as is to residential development. The revised proposal demonstrates this as it has been carefully considered and reconfigured into two separate modules, which are more low-lying and therefore less dominating which reduces their impact even further.

4.4. Camden's Local Plan outlines the requirement for plant and such equipment to be located within the building or located within a 'visually inconspicuous position'. There is no appropriate space for the tank and booster to be installed internally at the application site and the location proposed is not visible or accessible in relation to the public realm, but rather is faced on every side by the rear elevations of building fronting Charlotte Street, Windmill Street and Percy Street. The proposed location is appropriately inconspicuous, out of public view and therefore is not deemed

to harm the Conservation Area.

- 4.5. The revised two-component design takes the surrounding windows into consideration. There are three windows of the host building which are directly affected and must be considered in terms of present and future occupiers. Figure A shows the relationship of both the original design and revised design with the adjacent windows on the host building (N.B. existing lantern rooflight is shown in foreground). In relation to the revised design, the window behind the smaller enclosure is to a habitable room, and the two windows behind the taller enclosure are non-habitable rooms. The booster would be located in between the rear elevation and window at first floor level and, existing roof lantern. This would sit below the height of the roof lantern which would not result in additional obstruction beyond the existing situation.

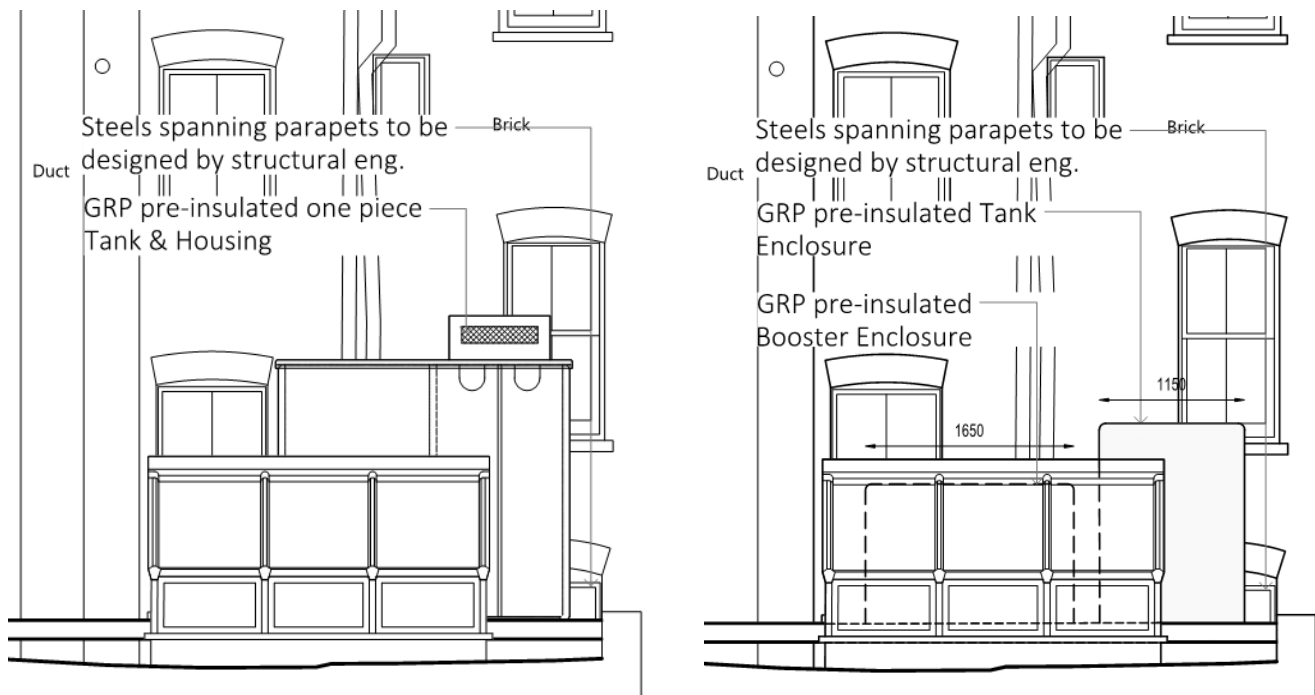


Figure A: Original & revised design respectively in context of rear façade of 10 Charlotte Street with the existing lantern in the foreground.

- 4.6. The taller module would project just above the window cill level which is considered to have little impact on this window. There is also a small low-level window at extension's roof level which is a later addition to the rear elevation, and therefore of less importance to the hierarchy of openings. As stated both windows behind the larger module serve non-habitable rooms (storage room and staircase) and therefore no harmful impact to the existing standard of accommodation would be felt by occupiers.
- 4.7. Overall, the proposed modules would be subordinate in scale and be positioned carefully to not result in harm to the character and appearance of the rear elevation of the host property and neighbouring ones. In terms of detailed design, the tank and booster housing will be glass reinforced plastic in 'industrial grey' and the supporting structural beams will be steel. This would be considered appropriate for back-of-house plant and therefore is considered acceptable.
- 4.8. As such, it is considered that the proposal to the rear of the building (water tank, booster and associated structural beams), due to its scale, position (set behind the existing roof lantern) projection and detailed design, would not cause a detrimental impact upon the character and appearance of the host property and would preserve the special character of the conservation area. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

5. Neighbouring Amenity

- 5.1. Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, implications to natural light, artificial light spill, odour and fumes.
- 5.2. In terms of neighbouring amenity, there is a small low window at first floor level to the rear of immediate neighbour no 12 Charlotte Street. This is a non-habitable, back-of-house room and would not be harmfully affected by the proposals (Photo 3 &6). The windows on the rear façade of 8 Charlotte Street are already heavily obstructed by plant, the proposed water tank and booster would sit adjacent to this existing plant (Photo 7). In relation to this, the low level, comparatively discrete pieces of plant proposed on the roof at the application site are not considered to result in additional harm.
- 5.3. The proposed taller module would be approximately 2m from the rear façade of 2 Windmill Street, which has a full width glazed projection at first and second floor levels and probably it accommodates habitable rooms. Due to its size and projection, the module would appear discrete and slender and not result in harmful reduction of light, nor outlook from these windows.
- 5.4. The noise levels from the proposed tank, would be unlikely to result in disturbances, however a compliance condition has been attached to safeguard the amenity of surrounding residents.
- 5.5. In light of the above, the proposed development is not considered to lead to a significantly harmful impact upon the amenity of any neighbouring residents. The development is thus considered to be in accordance with planning policy A1.

6. Recommendation

- 6.1. Grant Conditional Planning Permission

Application ref: 2021/2526/P
Contact: Miriam Baptist
Tel: 020 7974 8147
Email: Miriam.Baptist@camden.gov.uk
Date: 29 September 2021

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

Rolfe Judd Planning
Old Church Court
Claylands Road
Oval
London
SW8 1NZ

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

10 Charlotte Street
London
W1T 2LT

DECISION

Proposal: The installation of two water tank modules on the rear first floor roof.

Drawing Nos: A-001-P, A-200-P3, A-100-P1, A-400-P3.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: A-001-P, A-200-P3, A-100-P1, A-400-P3.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 Noise levels at a point 1 metre external to sensitive facades shall be at least 10dB(A) less than the existing background measurement (LA90), expressed in dB(A) when all plant/equipment (or any part of it) is in operation unless the plant/equipment hereby permitted will have a noise that has a distinguishable, discrete continuous note (whine, hiss, screech, hum) and/or if there are distinct impulses (bangs, clicks, clatters, thumps), then the noise levels from that piece of plant/equipment at any sensitive façade shall be at least 15dB(A) below the LA90, expressed in dB(A).

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 4 Your proposals may be subject to control under the Party Wall etc Act 1996 which covers party wall matters, boundary walls and excavations near neighbouring buildings. You are advised to consult a suitably qualified and experienced Building Engineer.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:
<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer

DECISION