

3.0 OFFICE ENTRANCE

3.02 EXISTING ENTRANCE LOBBY

The draft lobby is relatively deep and obscures the view into the entrance from the approach.

The existing entrance lobby appears to have some original finishes, such as the travertine flooring. However, the reception desk and wall cladding behind the main desk appears to be newer.

The head of the wall cladding to the ground floor lift lobby has been over-boarded with, what appears to be, a plasterboard margin in quite a clumsy way.

The lighting in the lobby generally is very warm (yellow in appearance) and is very 'noisy'. All bulbs and lamps are visible and produce sharp contrast to adjacent surfaces.

Generally, the space is composed of hard surfaces and offers a relatively inhospitable environment for tenants and visitors.



Existing draft lobby from Tottenham Court Road



Existing reception desk



Existing waiting area



Existing waiting area

3.0 OFFICE ENTRANCE
3.02 EXISTING ENTRANCE LOBBY

The geometry of the draft lobby, entrance doors and main lobby space attempts to deal with the corner entrance, but does result in some awkward spaces internally. The acute angled space within the waiting area is difficult to occupy.

The water feature located on the front elevation to Tottenham Court Road obscures ones view into the lobby but also reduces natural daylight into the entrance lobby. The offices and corridor (fronting Beaumont Place) also largely prevents natural daylight penetrating the interior.



Existing draft lobby viewed from waiting area



Waiting area and draft lobby



Existing waiting area with Tottenham Court Road beyond



Existing draft lobby with Tottenham Court Road beyond

3.0 OFFICE ENTRANCE
3.02 EXISTING ENTRANCE LOBBY

The existing draft lobby is located at the corner of Tottenham Court Road and Beaumont Place. It enters the main lobby at a 45 degree angle. The main reception desk is located at the rear of the lobby on axis with one's arrival into the main lobby.

The main lift lobby is located at the south-east corner of the main lobby.

A collection of ancillary rooms (facilities manager room, WCs, kitchen) are located behind the desk to the north-east.

A further facilities manager office is located to the north, adjacent to Beaumont Place. The stair has a large lobby at ground and can discharge directly to Beaumont Place.

A secondary exit from the main lobby also discharges onto Beaumont Place. A small store containing a desk also exists along the southern wall to the main lobby.

- Key
- 01 Main entrance
 - 02 Draft lobby
 - 03 Waiting area
 - 04 Reception
 - 05 Lift lobby
 - 06 Store
 - 07 Office/meeting room
 - 08 Office/store
 - 09 WCs/kitchen
 - 10 Escape corridor
 - 11 Main stair lobby



3.0 OFFICE ENTRANCE

3.03 PROPOSED ENTRANCE LOBBY

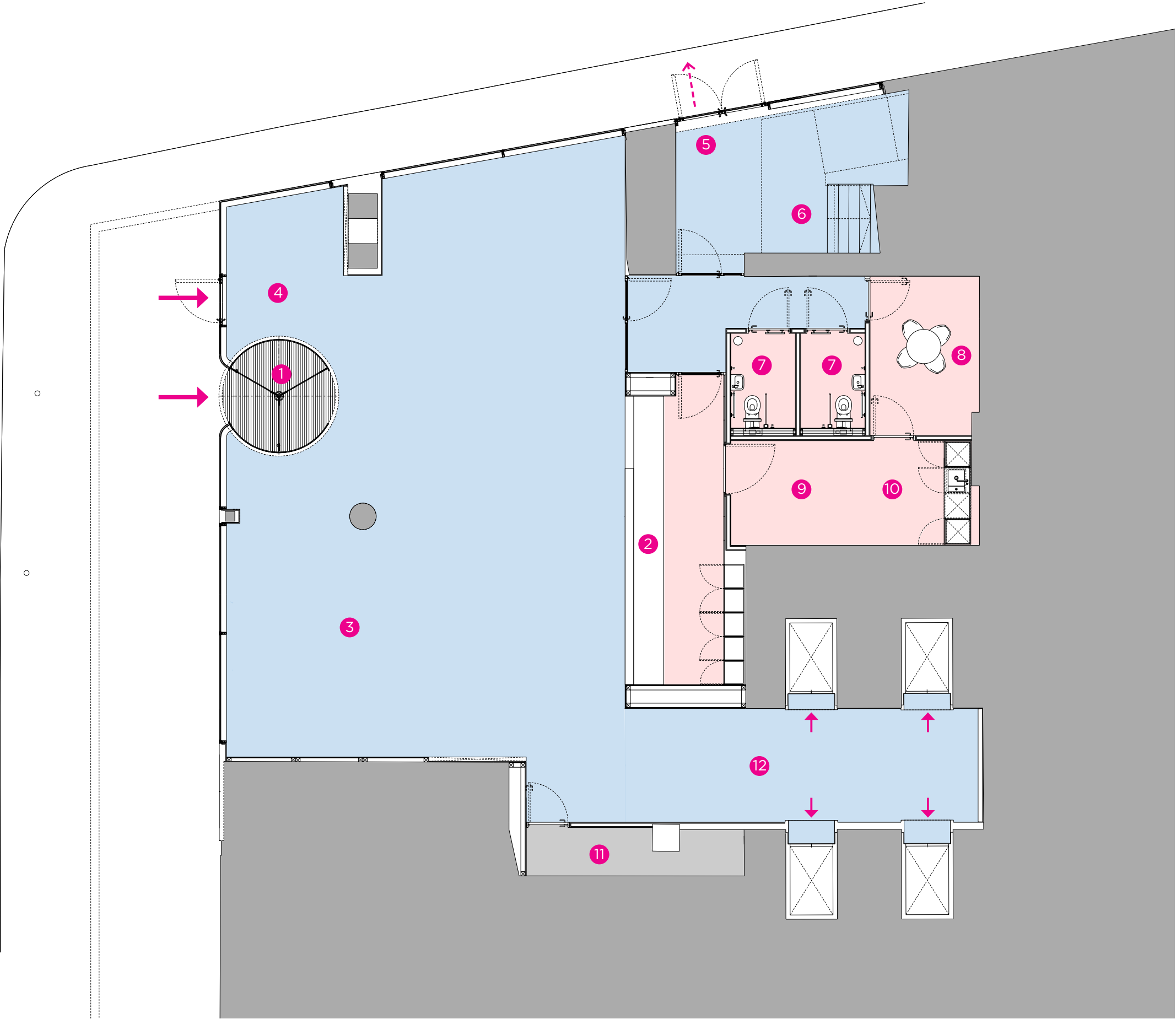
The plan below shows the proposed ground floor entrance lobby.

The entrance lobby is enlarged and greater visibility to Tottenham Court Road and Beaumont Place is achieved by proposing more generous screens to both elevations.

A more direct route from main entrance to reception desk and lift lobby is created.

The back-of-house area are rationalised and contained within a single block of accommodation behind the main reception desk.

- Key
- 01 Main entrance
 - 02 Reception desk
 - 03 Waiting area/lounge
 - 04 Side entrance
 - 05 Means of escape
 - 06 Existing stair to upper floors
 - 07 Fully wheelchair accessible WC
 - 08 Meeting room
 - 09 Staff room
 - 10 Kitchenette
 - 11 Cleaners store
 - 12 Lift lobby



3.0 OFFICE ENTRANCE
3.04 EXISTING ENTRANCE

The illustrative view below show the existing entrance when viewed from Tottenham Court Road.

The deep draft lobby and water feature obscures views into the existing entrance lobby. This creates an underwhelming entrance lobby, but importantly also contributes very little to the frontage along Tottenham Court Road.

The entrance is uninviting and dated.



Photograph of the existing entrance

Illustrative view of the existing entrance

3.0 OFFICE ENTRANCE
3.05 PROPOSED ENTRANCE

The Illustrative view below shows the proposals as viewed from the west side of Tottenham Court Road.

The entrance to the office element is made far more transparent with larger glazed screens. The interior of the lobby can now be understood from the outside, creating a far more active and inviting frontage.

The underside of the canopy incorporates batter lighting.



Illustrative view of Maple House from Tottenham Court Road

3.0 OFFICE ENTRANCE
3.05 PROPOSED ENTRANCE

The Illustrative view below details the key materials and element of the proposals.



- Key
- 01 Illuminated signage
 - 02 Mesh soffit
 - 03 Batten light fitting
 - 04 Curtain wall glazing
 - 05 Solid panel
 - 06 Revolving door

View of Maple House from Tottenham Court Road

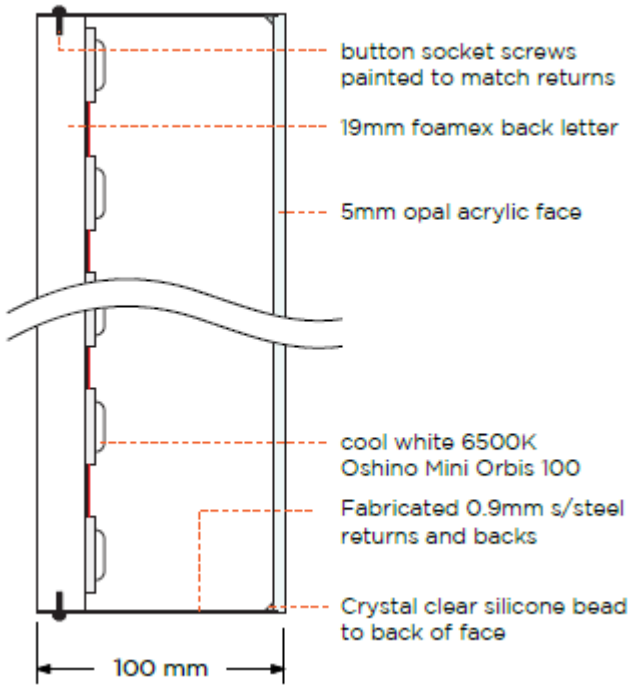
3.0 OFFICE ENTRANCE
3.06 SIGNAGE

The images below indicates the overall dimension of the signage. Section details and sample images indicates how this will be illuminated.

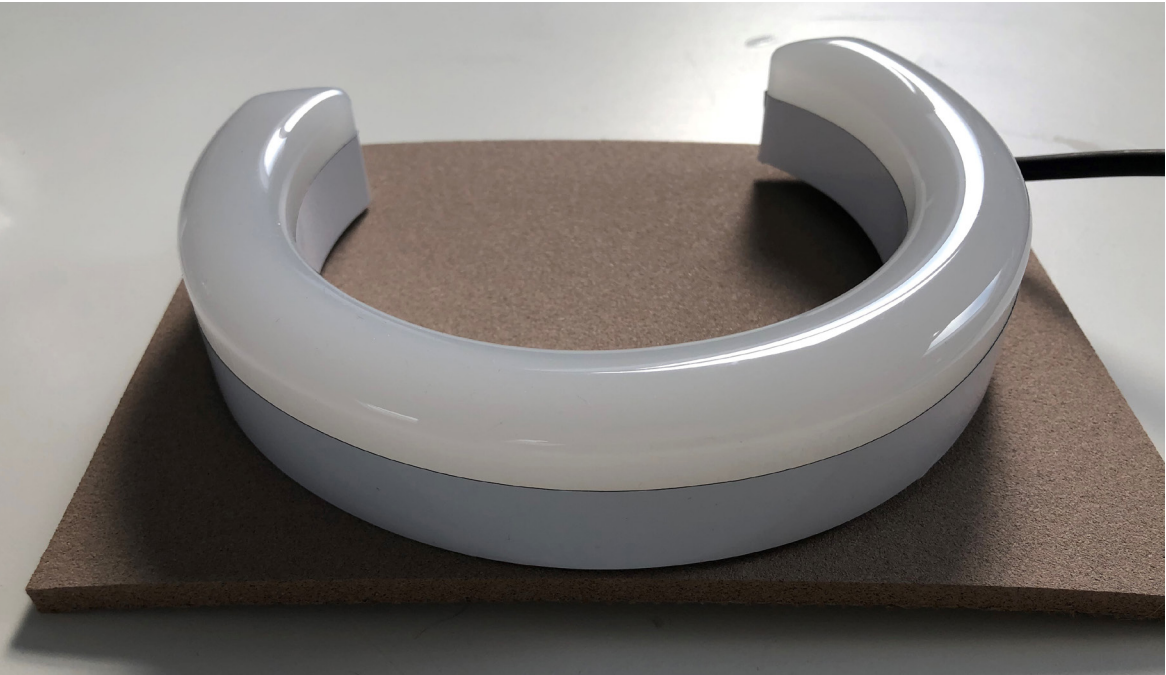
The overall dimension of the signage is 11270mm x1000mm x100mm. It is 3910mm from ground level to bottom of the signage.



West Elevation with Signage



Section Detail of Signage



Signage Sample

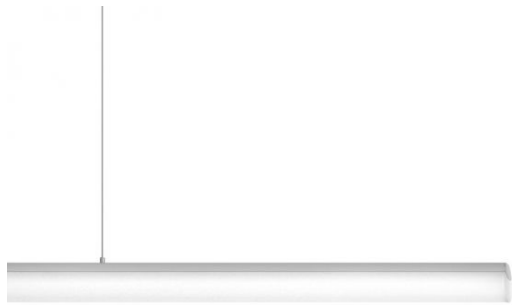
3.0 OFFICE ENTRANCE
3.07 SOFFIT LIGHTING

The reflected ceiling below indicates the layout of the lighting below the building canopy. There's a total of 18 linear light fitting mounted on the external soffit.

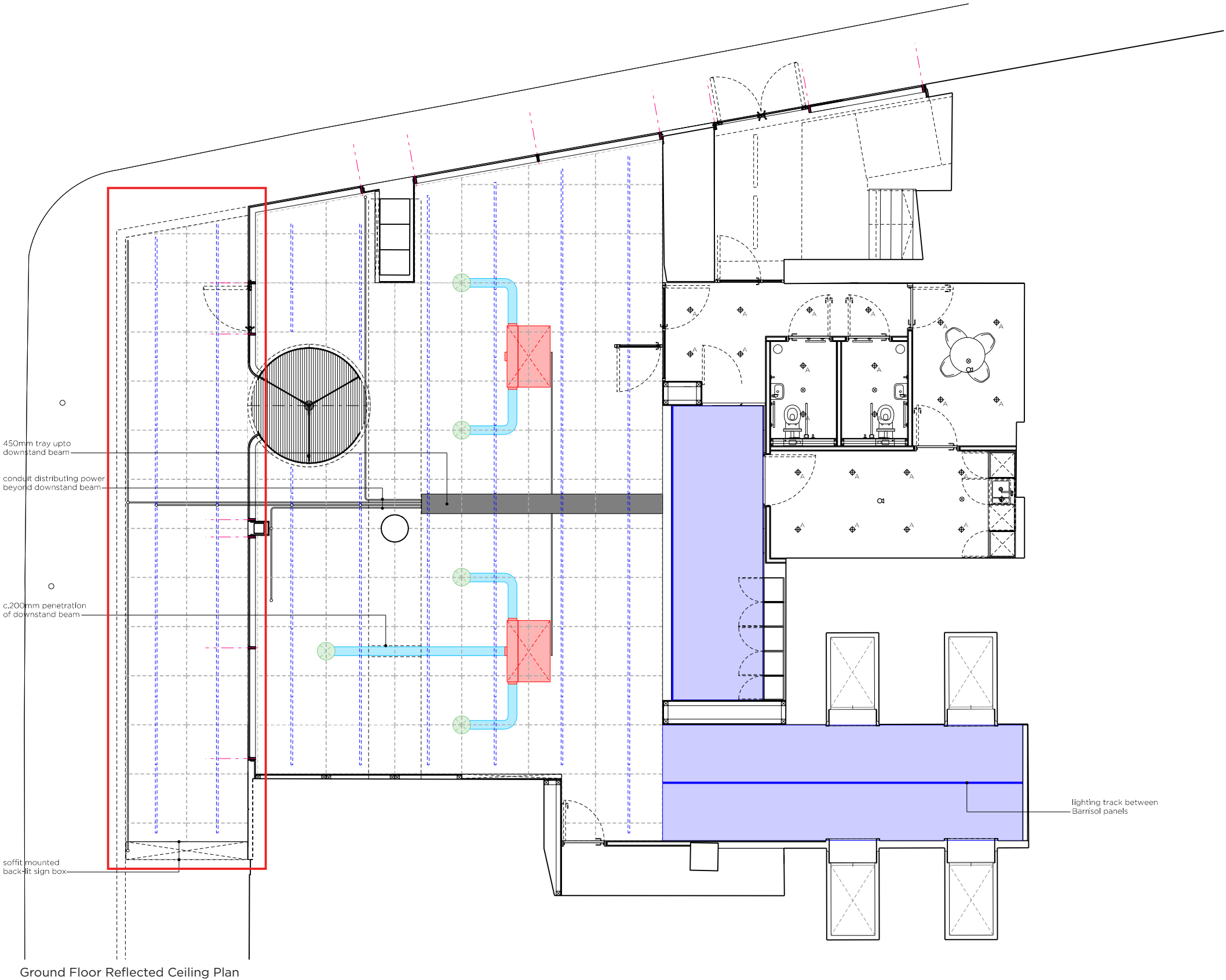
The lighting to the entrance has been designed to highlight the threshold to the building and compliment the internal reception lighting whilst providing a safe and functional entrance point into Maple House.

The lighting to the entrance consists of an array of linear LED's to provide a uniform and visually appealing lighting scheme. All exterior lighting is DALI dimmable and forms part of the architectural control system and will be commissioned on site to a maximum level of 100 lux.

All lighting is directed down towards the the ground therefore minimal spill light and light pollution. The light fittings are all warm white 3000K which create a warm and pleasant atmosphere and compliment the view into the reception. Long life span low energy LED's have been selected to minimise maintenance and energy consumption.



Linear Light Fixture



Ground Floor Reflected Ceiling Plan

4.0 SUMMARY

This application comprise improvements to the existing office entrance that fronts onto Tottenham Court Road and Beaumont Place.

The office entrance is made more transparent and inviting.

As such the proposals make a positive contribution to the street-scape and frontage to Tottenham Court Road and Beaumont Place.



Gibson Thornley Architects Limited

www.gibsonthornley.com
info@gibsonthornley.com

No.4 The Hangar
Perseverance Works
25-27 Hackney Road
London E2 7NX

+44 (0)20 7729 7064