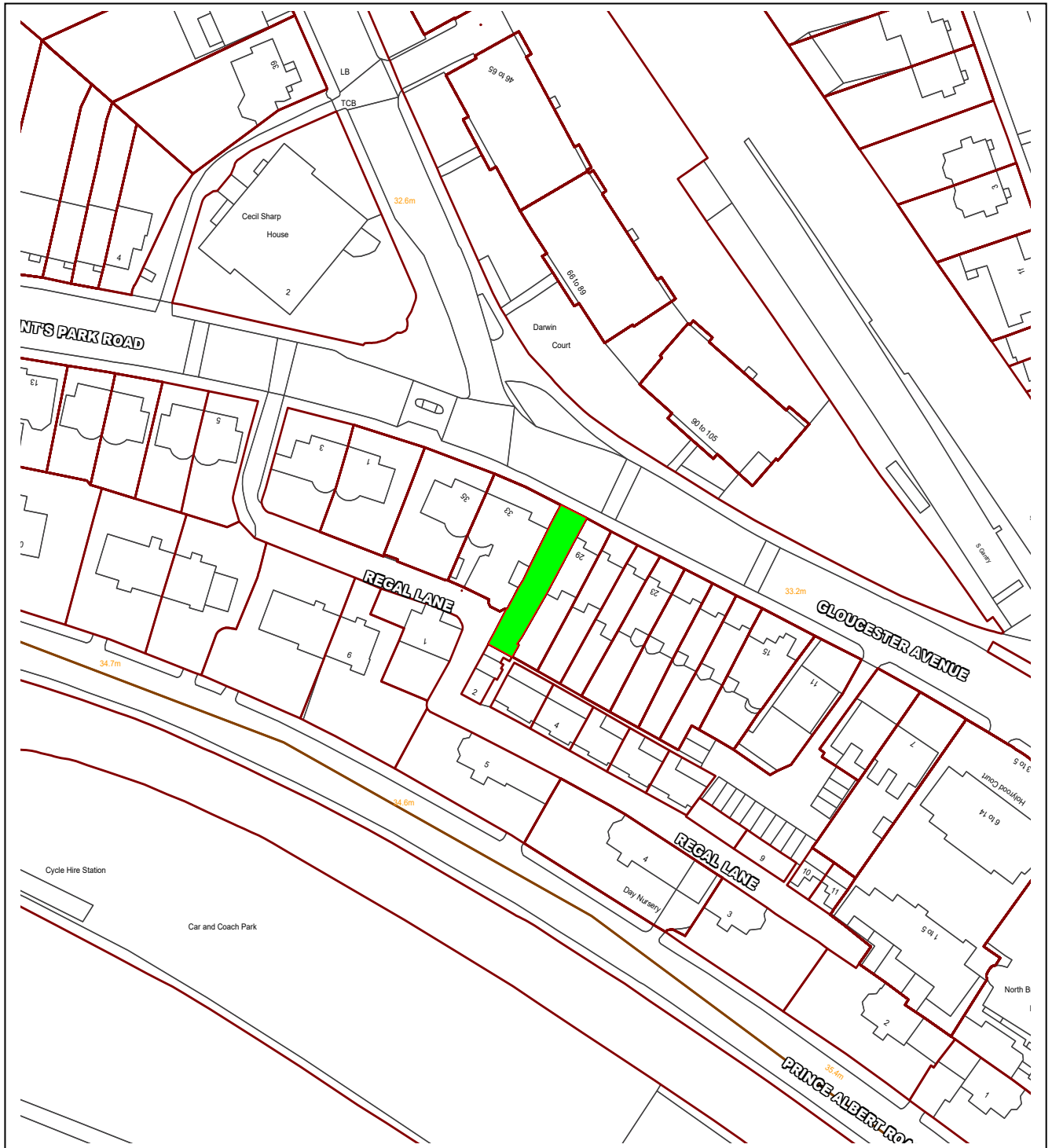


# Flat 4th Floor, 31 Gloucester Avenue 2021/2291/P & 2021/2904/L



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## Site photos

### 1. Front elevation



### 2. Aerial view of No.31



### 3. Existing and proposed front elevation

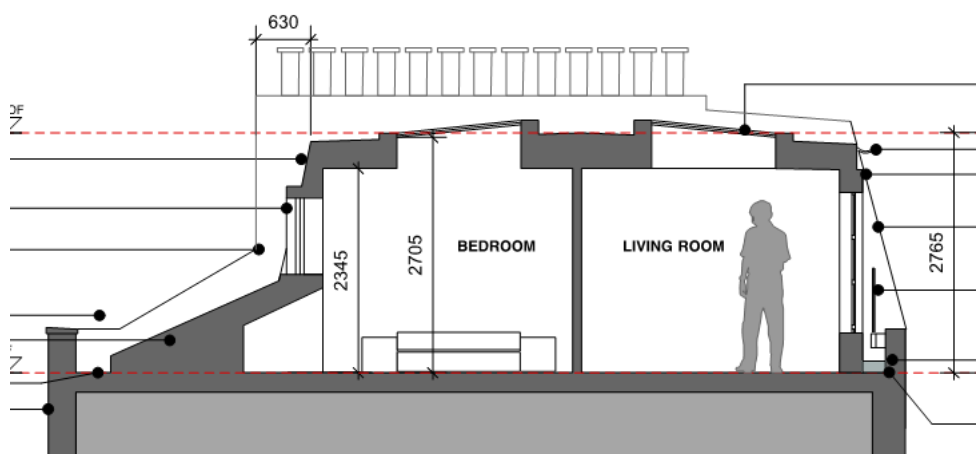
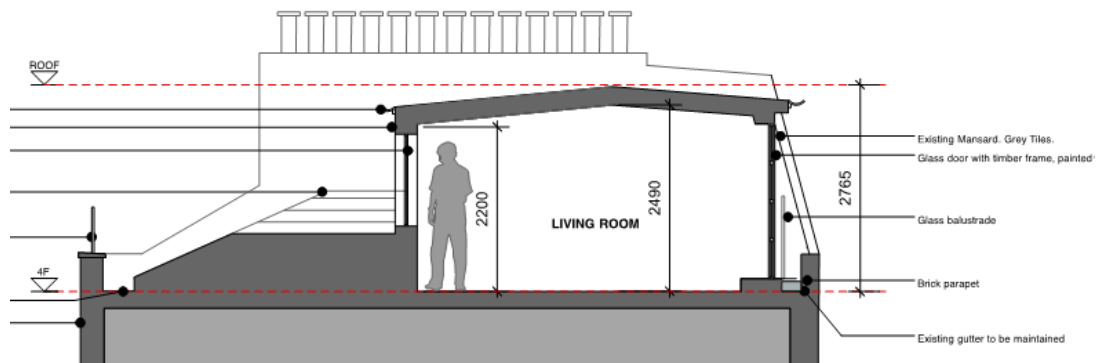


EXISTING



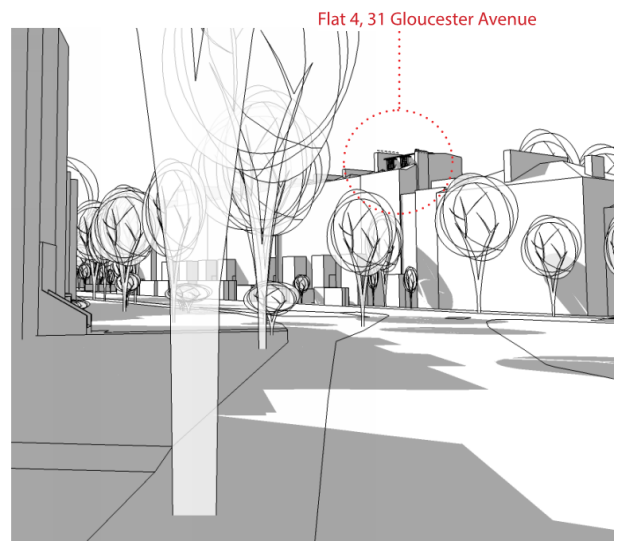
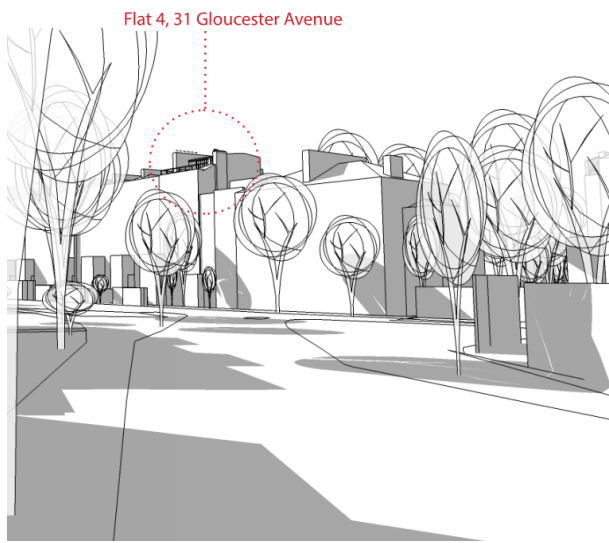
PROPOSED

### 4. Existing and proposed sections





## 5. Existing and proposed long views



<b>Delegated Report (Members Briefing)</b>		<b>Analysis sheet</b>		<b>Expiry Date:</b>	05/07/2021
		N/A		<b>Consultation Expiry Date:</b>	18/07/2021
<b>Officer</b>				<b>Application Number(s)</b>	
Patrick Marfleet				1) 2021/2291/P 2) 2021/2904/L	
<b>Application Address</b>				<b>Drawing Numbers</b>	
Flat 4 <sup>th</sup> Floor, 31 Gloucester Avenue London NW1 7AU				Please refer to draft decision notice	
<b>PO 3/4</b>	<b>Area Team Signature</b>	<b>C&amp;UD</b>	<b>Authorised Officer Signature</b>		
<b>Proposal(s)</b>					
Enlargement of existing fourth floor roof extension with associated works including removal of front balustrade.					
<b>Recommendation(s):</b>		1) Grant conditional planning permission 2) Grant conditional listed building consent			
<b>Application Type:</b>		1) Full Planning Permission 2) Listed Building Consent			
<b>Conditions or Reasons for Refusal:</b>		Refer to Draft Decision Notice			
<b>Informatives:</b>					
<b>Consultations</b>					
<b>Adjoining Occupiers:</b>	No. of responses	<b>03</b>	No. of objections	<b>03</b>	
<b>Summary of consultation responses:</b>	Site notice: displayed 16/06/2021 to 10/07/2021 Press notice: displayed 18/06/2021 to 12/07/2021  Three objections were received from the neighbouring residents of No.31 and the following concerns raised: <ol style="list-style-type: none"> <li>The applicant purchased the property knowing that the previous applications had been refused and was fully aware of the size of the flat. The top-floor is already a one-bedroom flat – it is not a tiny studio flat. Under the proposals, it would still be a one bedroom flat, and so not provide housing for more people.</li> <li>Proposal and associated construction works would be very disruptive to neighbouring residents working from home.</li> <li>We have sought specialist advice from a Listed Buildings expert and Heritage architect, Paul Velluet, M.Litt., RIBA, IHBC, Chartered Architect. Mr Velluet concludes: <ul style="list-style-type: none"> <li>The current applications as presently submitted do not provide sufficient evidence to demonstrate that the special interest of</li> </ul> </li> </ol>				

	<p>the application-property will be preserved in accordance with Sections 16 and 66 of the Planning (Listed Buildings and Conservation Areas) Act, 1990 and its significance sustained in accordance with the relevant policies of the National Planning Policy Framework.</p> <p><u>Officer comment</u></p> <ol style="list-style-type: none"> <li><i>1. The existing flat has a floor area of 27sqm which falls well short of the 37sqm minimum standard for a 1 bed flat. The current proposals would increase the floor area to 33sqm which would still fall short of the minimum standard but would provide a better standard of accommodation.</i></li> <li><i>2. Construction works are an intrinsic part of the planning/development process. Hours of construction are controlled by environmental health legislation, an informative has been added to the decision reminding the applicant of this.</i></li> <li><i>3. See section 2.2 below</i></li> </ol>
Local Groups	<p><b>Primrose Hill CAAC</b> submitted the following objection:</p> <ol style="list-style-type: none"> <li>The proposed further revised roof extension would be seriously harmful to the recognized symmetry of the Listed Building by disrupting the rhythms of the projecting bays at the roofline, a major element in the formal 'shape' of the terrace as a whole. The roofline is prominent in longer views and the bringing forward of the front enclosure to the line of the front 'edge' of the second chimney pot would mean that the proposed extension would be highly visible in longer views. As set out in the previous refusals, this would harm the larger symmetry and the horizontal divisions of the terrace, for example, the attic level. The proposal would, again, harm the significance of the Listed Building. It would also damage original fabric.</li> <li>In terms of the conservation area, we also note that the application property, and the whole terrace, is designated in the Primrose Hill Conservation Area Statement at PH18-19 as properties where roof extensions which change the shape and form of the roof are unlikely to be acceptable. PH18 also identifies the importance of protecting buildings which constitute part of a terrace which 'remains largely, but not necessarily completely, unimpaired'. This is the case here.</li> </ol> <p><u>Officer comment</u> See section 2.2 of the report for discussion on the heritage impacts of the proposal.</p>
<p><b>Site Description</b></p> <p>The application site is an end of terrace mid-Victorian townhouse with lower ground floor which has been converted into flats. The building and terrace at 15-31 Gloucester Avenue are designated as Grade II Listed Buildings. The site is located within the Primrose Hill Conservation Area.</p> <p>The building has 4 principal storeys plus a lower ground floor level. The building is constructed from render at lower/upper ground floor levels and stock brick above with render/stone work quoin, cornice, parapet detailing and timber sash windows. The property also has a set-back roof extension which is not original to the building which measures 5.5m wide, 5m deep, 2.7m high and is set back 3.9m from the front of the roof. It is constructed from slate with casement windows to the front</p>	

and rear and French doors to the rear with a glass balustrade. The application relates to this 4th floor level which is located within the existing set back roof extension.

## **Relevant History**

### Application site

2019/0468/P & 2019/1219/L - Enlargement of mansard roof extension at fourth floor level. **Refused 24/07/2019 due to harmful impact proposal would have on the character of the listed building and wider conservation area.**

2018/1123/P & 2018/1682/L - Erection of a mansard roof extension with front dormer windows, formation of rear inset terrace with glass balustrading, replacement of existing rear door/balcony with new window and associated internal alterations. **Refused 06/06/2018 due to harmful impact proposal would have on the character of the listed building and wider conservation area.**

## **Relevant policies**

### **National Planning Policy Framework 2021**

### **The London Plan March 2021**

### **Camden Local Plan 2017**

A1 Managing the impact of development

D1 Design

D2 Heritage

### **Camden Planning Guidance**

CPG Design

CPG Home improvements

CPG Amenity

### **Primrose Hill Conservation Area Statement 2000**

## Assessment

### 1 Proposal

1.1 Planning permission and listed building consent is sought for the enlargement and reconfiguration of the existing fourth floor roof extension to provide additional living space for the existing 1 bed flat at the site. The proposals would increase the depth of the extension towards the front of the building by approximately 1.2 metres and would provide 6sqm of additional floorspace.

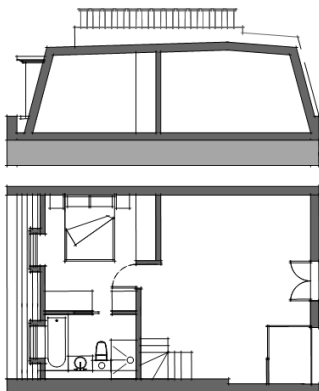
1.2 The proposals also include the installation of two equally sized front dormer windows as well as the replacement of the existing rear windows and glass balustrade with a window and balustrade of similar size and design. The front elevation of the proposed roof extension would be clad in slate tiles to match those of the existing roof and the existing metal balustrade to the front would be removed.

#### Background

1.3 Two previous applications to enlarge the existing roof extension were submitted in 2018 and 2019 and were both subsequently refused by the Council due to the harm their increased size and prominence was considered to have on the character of the host building and surrounding conservation area. The section images included below demonstrate how the proposed extension has reduced in size from the initial 2018 app through to the current application, which is now considered to have an acceptable impact on the appearance of the host building and surrounding conservation area. The heritage impact is discussed further in section 2.2 below.

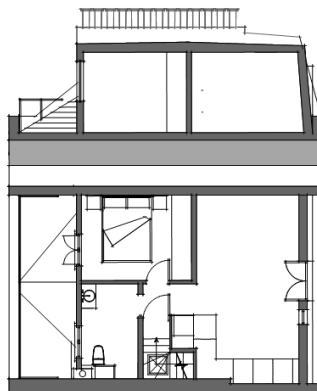
### Sections of previously refused applications

APPLICATION 01



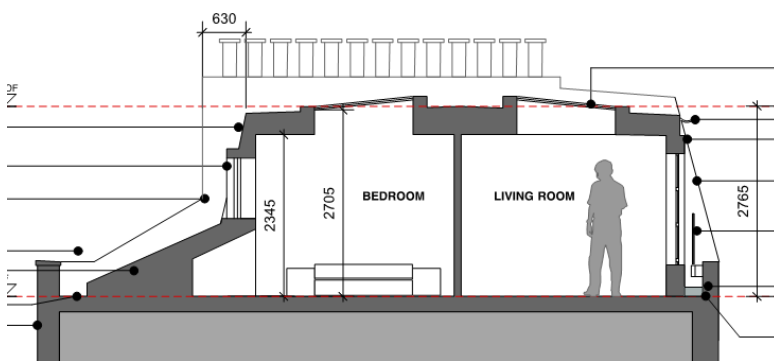
APP REF: 2018/1123/P

APPLICATION 02



APP REF: 2019/0468/P

### Proposed section



### 2 Assessment

2.1 The material considerations for this application are as follows:

- Design and Conservation



- Amenity of neighbouring residential occupants

## **2.2 Design and conservation**

2.2.1 Local Plan policies D1 (Design) and D2 (Heritage) are aimed at achieving the highest standard of design in all developments. Policy D1 requires development to be of the highest architectural and urban design quality, which improves the function, appearance and character of the area; and Policy D2 states that the Council will preserve, and where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas and listed buildings.

2.2.2 Sections 16 and 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013, requires special attention to be paid to the desirability of preserving the building's setting or any features of special architectural or historic interest. In considering developments affecting a conservation area, Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) requires local authorities to pay special attention to the desirability of preserving or enhancing the character or appearance of that area.

### Impact on the listed building

2.2.3 The host property has an existing fourth floor roof extension which is located to the rear of the building and occupies approximately half of the original roof. This extension is a later addition that is not original to the building, as is clear from the aerial views of the terrace, and does not hold the same historic value as the rest of the building. Furthermore, the design and fenestration of the existing extension, which is also clad in timber, is not considered to be sympathetic to the character and age of the host property nor is the existing metal balustrade fixed above the front parapet. As such, no objection is raised to the design changes of the existing extension, subject to further discussion on its heritage impact.

2.2.4 The current proposals would increase the depth of the existing roof extension by 1.2 metres which would result in the removal of approximately 6.8sqm of the existing roof to the front of the property. Whilst this loss of fabric is regrettable, it is considered minor and would not harm the special historic significance of the listed building as a result, particularly as a considerable section of the original valley roof would be retained. Furthermore, the alterations to the design of the proposed extension which include the cladding of the front elevation in slate tiles to match the existing roof and the installation of two equally sized dormer windows which align with the fenestration of the façade below, are considered to represent heritage benefits that would improve the overall appearance of the listed building. These benefits are enhanced further by the removal of the existing metal balustrade above the front elevation parapet, which is welcomed.

2.2.5 The proposed alterations to the internal layout of the existing flat relate to non-original fabric and would not cause harm to the historic significance of the listed building as a result. Similarly, the proposed alterations to the rear window and glass balustrade would largely match the existing arrangement to the rear of the extension and are considered acceptable in design and heritage terms.

### Impact on the conservation area

2.2.6 Officers note the concerns that have been raised by residents and the Primrose Hill CAAC regarding the harmful impact the proposed extension would have the appearance of the terrace, given it is a largely unimpaired roofscape, and the increased prominence it would have in long views from the surrounding conservation area.

2.2.7 It is clear from the visibility studies included within the submitted DAS that the existing roof extension is already visible in long views south from Gloucester Avenue. Therefore, when compared with the proposed view from Gloucester Avenue (see site images above) it is clear that, whilst the proposed extension would cover a greater portion of the chimney stack, the increased depth of 1.2m

would not significantly increase the prominence of the extension in views from the street. As such, the proposals are not considered to cause harm to the character and appearance of the surrounding conservation area.

2.2.8 Furthermore, officers appreciate that this is a listed terrace of buildings that remains largely free from development at roof level (apart from the existing extension at the application site and the mansard roof extension at No.15) and we would seek to retain it as such. However, the current application relates to an existing roof extension and would not result in an increase of roof extensions in the terrace nor is it considered to set a precedent for further development of this kind. Planning applications are determined on their individual merits and the approval of a particular development at one site does not necessarily mean that same development would be acceptable to neighbouring properties close by. In this instance the host property is something of an anomaly in the street due to the existing fourth floor roof extension at the site, and the minor alterations proposed to it are thus considered acceptable.

2.2.9 Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the listed building and surrounding conservation area under s.16, s.66 and s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013. The size, scale, design and location of the proposed alterations are not considered to cause harm to the special architectural and historic significance of the listed building or the character of the surrounding conservation area.

## **2.4 Amenity of neighbouring residential occupants**

2.4.1 Policy A1 seeks to protect the amenity of Camden's residents by ensuring the impact of development is fully considered. It seeks to ensure that development protects the quality of life of occupiers and neighbours by only granting permission for development that would not harm the amenity of neighbouring residents. This includes privacy, overlooking, outlook and implications on daylight and sunlight. CPG (Amenity) provides specific guidance with regards to privacy, overlooking and outlook.

2.4.2 The minor increase in depth of the existing roof extension towards the front of the building would not cause harm to neighbouring amenity in terms of loss of light or outlook. Furthermore, the proposed front and rear windows would share the same outlook as the existing windows at the property and would not exacerbate current levels of overlooking as a result.

## **3 Recommendation**

3.1 Grant conditional planning permission and listed building consent.

## **DISCLAIMER**

***The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 25<sup>th</sup> October 2021, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to [www.camden.gov.uk](http://www.camden.gov.uk) and search for 'Members Briefing'.***

Application ref: 2021/2904/L  
Contact: Patrick Marfleet  
Tel: 020 7974 1222  
Email: [Patrick.Marfleet@camden.gov.uk](mailto:Patrick.Marfleet@camden.gov.uk)  
Date: 20 October 2021

**Development Management**  
Regeneration and Planning  
London Borough of Camden  
Town Hall  
Judd Street  
London  
WC1H 9JE

Phone: 020 7974 4444

[planning@camden.gov.uk](mailto:planning@camden.gov.uk)  
[www.camden.gov.uk](http://www.camden.gov.uk)

Firstplan  
Broadwall House,  
21 Broadwall  
London  
SE1 9PL  
United Kingdom

# DRAFT

Dear Sir/Madam

## DECISION

Planning (Listed Building and Conservation Areas) Act 1990

### Listed Building Consent Granted

Address:  
**Flat 4th Floor**  
**31 Gloucester Avenue**  
**London**  
**NW1 7AU**

# DECISION

#### Proposal:

Enlargement of existing fourth floor roof extension with associated works including removal of front balustrade.

Drawing Nos: PL-GA-S01, PL-GA-E01, PL-GA-04, PL-EX-E01, PL-GA-05, PL-GA-03, PL-EX-04, PL-EX-S01, PL-SI-001, PL-EX-03, PL-EX-05, DAS 14/12/2020, Planning and Heritage Statement May 2021

The Council has considered your application and decided to grant subject to the following condition(s):

#### Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: PL-GA-S01, PL-GA-E01, PL-GA-04, PL-EX-E01, PL-GA-05, PL-GA-03, PL-EX-04, PL-EX-S01, PL-SI-001, PL-EX-03, PL-EX-05, DAS 14/12/2020, Planning and Heritage Statement May 2021

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new work and work of making good shall be carried out to match the existing adjacent work as closely as possible in materials and detailed execution.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

Informative(s):

- 1 You are advised that any works of alterations or upgrading not included on the approved drawings which are required to satisfy Building Regulations or Fire Certification may require a further application for listed building consent.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer

Application ref: 2021/2291/P  
Contact: Patrick Marfleet  
Tel: 020 7974 1222  
Email: [Patrick.Marfleet@camden.gov.uk](mailto:Patrick.Marfleet@camden.gov.uk)  
Date: 20 October 2021

**Development Management**  
Regeneration and Planning  
London Borough of Camden  
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Judd Street  
London  
WC1H 9JE

Phone: 020 7974 4444

[planning@camden.gov.uk](mailto:planning@camden.gov.uk)  
[www.camden.gov.uk](http://www.camden.gov.uk)

Firstplan  
Broadwall House,  
21 Broadwall  
London  
SE1 9PL  
United Kingdom

# DRAFT

Dear Sir/Madam

## DECISION

Town and Country Planning Act 1990 (as amended)

### Full Planning Permission Granted

Address:

**Flat 4th Floor**  
**31 Gloucester Avenue**  
**London**  
**NW1 7AU**

# DECISION

Proposal:

Enlargement of existing fourth floor roof extension with associated works including removal of front balustrade.

Drawing Nos: PL-GA-S01, PL-GA-E01, PL-GA-04, PL-EX-E01, PL-GA-05, PL-GA-03, PL-EX-04, PL-EX-S01, PL-SI-001, PL-EX-03, PL-EX-05, DAS 14/12/2020, Planning and Heritage Statement May 2021

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: PL-GA-S01, PL-GA-E01, PL-GA-04, PL-EX-E01, PL-GA-05, PL-GA-03, PL-EX-04, PL-EX-S01, PL-SI-001, PL-EX-03, PL-EX-05, DAS 14/12/2020, Planning and Heritage Statement May 2021

Reason:

For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at [www.camden.gov.uk](http://www.camden.gov.uk)) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.



In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer

**DRAFT**

**DECISION**