

## Design and Access Statement

1 The Village,  
London,  
NW3 7HA

The Design & Access Statement has been prepared to support a Full Planning Application for the aforementioned property. The Design & Access Statement deals with the following topics:

- 1.0 Summary
- 2.0 Use
- 3.0 Layout
- 4.0 Amount & Scale
- 5.0 Landscape
- 6.0 Appearance
- 7.0 Refuse
- 8.0 Access & Parking
- 9.0 Response to Context
- 10.0 Appendices

### 1. Summary

- 1.1 Planning approval is requested for the proposal for a change of use of the ground floor premises from A1 to C3 to create an additional self-contained flat. This statement explains the key design principles that have been used to develop details of the scheme and should be read in conjunction with the drawings submitted as part of the application.

## 2. Use

- 2.1 The application site is located along North End Way and is a four-storey detached building of mixed-use that consists of a dry-cleaning business (A1) on the ground floor and residential (C3) on the upper floors.
- 2.2 The surrounding area is predominantly residential, characterized by two-storey family homes and flats with access to some local shops and within close proximity to Finchley Road.
- 2.3 The site is not within a conservation area, but is located on the boundary of the Hampstead Conservation Area.
- 2.4 The application site is not within a Flood Zone.
- 2.5 The proposal seeks to provide a self-contained dwelling unit on the ground floor. The design will be identical and proportional to the existing flats on the upper floors.

## 3. Layout

- 3.1 The layout of the proposal takes precedence to the existing units located on the upper floors and is principally detailed on the accompanying drawings.
- 3.2 The existing access from the street side will be maintained -similarly to neighboring property no. 2.

## 4. Amount & Scale

- 4.1 The proposal has been designed to mirror and replicate the existing units on the upper floors.
- 4.2 The proposal meets the GIA for a self-contained studio dwelling to reach a high-quality standard of accommodation.
- 4.3 The internal floor area measures 37sqm.

## 5. Landscape

- 5.1 No major landscaping will be proposed.

## 6. Appearance

### 6.1 *Architecture*

The extension has been designed to follow the pattern of development by merging with surrounding context and essentially replicating the existing property.

### 6.2 *Materials*

The external facing materials of most of the properties consist of brickwork.

### 6.3 *Lighting*

Currently there are front light above the existing signage. This will be removed and replaced with a new front entrance door light for the proposal to enable ease of access, a sense of arrival and safety – similarly to property no 2.

### 6.4 *Fenestration*

The existing shop-front windows will be replaced to match the existing above. The size of the windows will remain the same.

## 7. Refuse

- 7.1 The general and recycled waste will be housed in 360l bins to the existing space located at the rear, ready for collection through the council's rubbish collection service.

## 8. Access & Parking

- 8.1 No parking provisions will be proposed.
- 8.2 Whilst the application site has a PTAL value of 2, the immediate site is within walking distance to PTAL value scores of 3, 5 and 6a which is considered great in terms of have close connections to public transport.
- 8.3 North End Way is a busy residential road which branches off from Finchley Road. The immediate site has great transport facilities that provides convenient access into the city center and surrounding area.

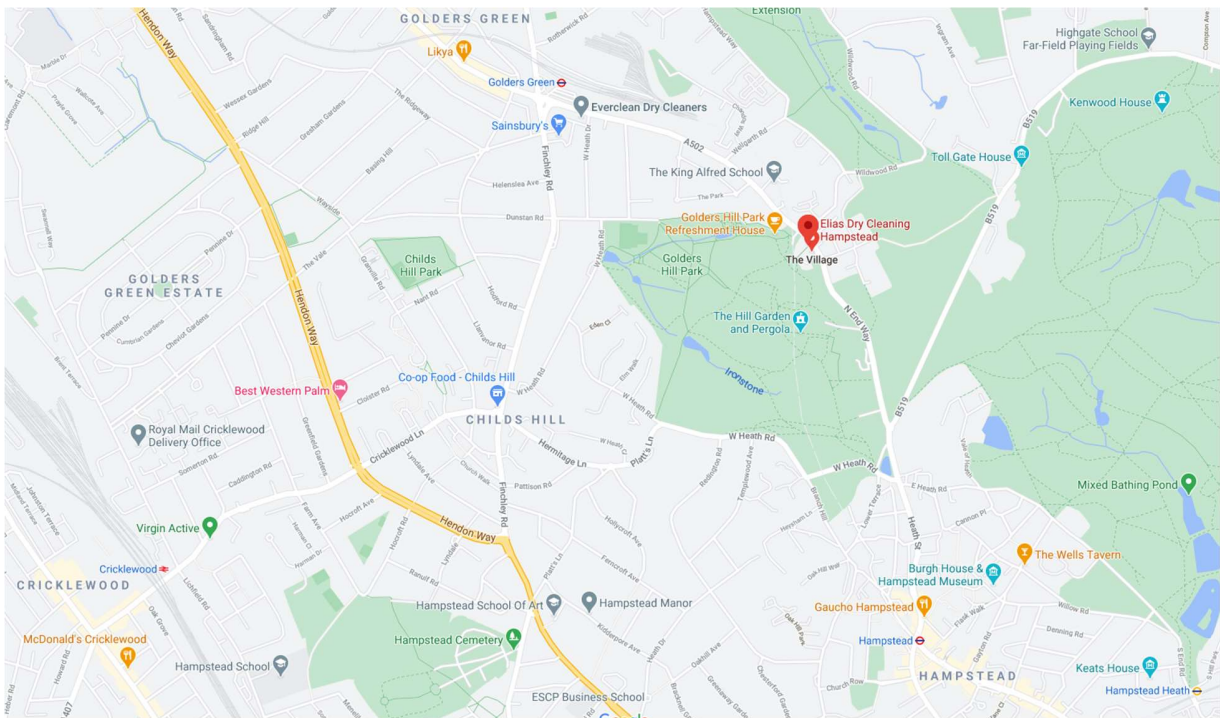
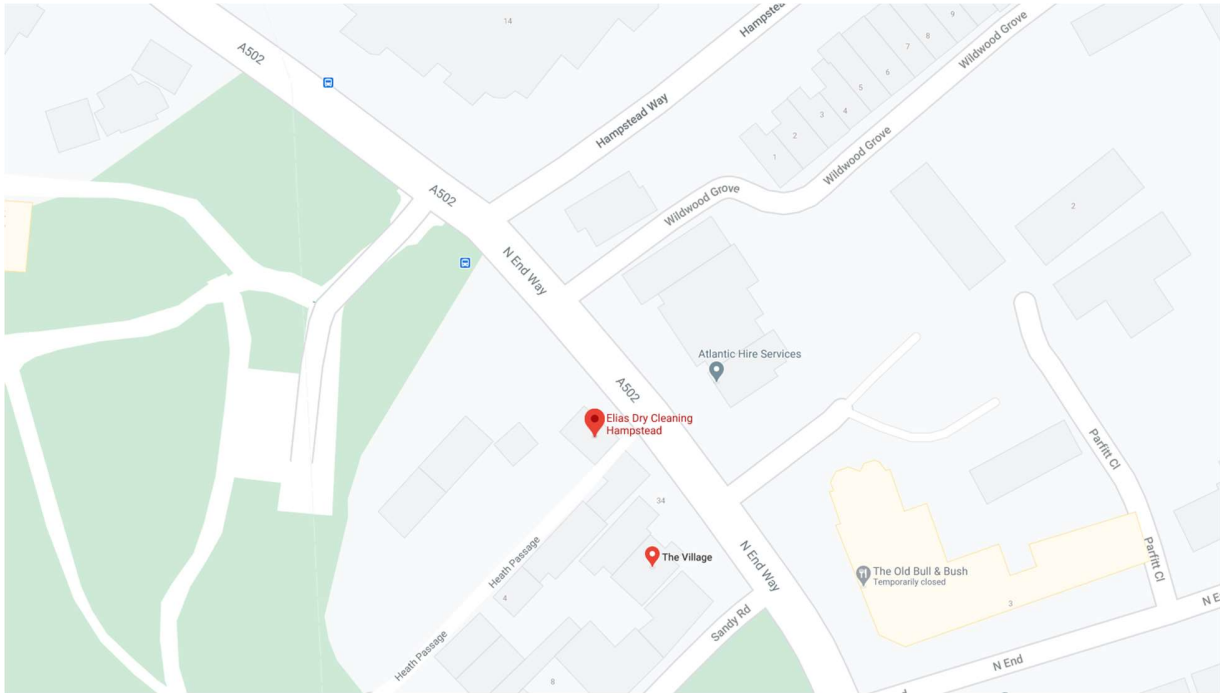
## 9. Response to context

- 9.1 We have considered the wider context carefully. The proposed scheme has been designed with Camden Planning guidance in mind and with a consideration to the surrounding environment.
- 9.2 The design aims to meet all the criteria set out in NPPF and the Technical Housing Standards – Nationally Described Space Standard.
- 9.3 It is thought that the proposed addition for a fourth self-contained unit to be located on the ground floor that blends with its context in a predominantly residential area would be fitting and likely to be supportive.
- 9.4 The draft London Plan recognizes the significance of small plots in housing delivery and supports proposals which deliver a range of unit types and sizes which optimize housing potential.

## Appendix 1: Google Maps



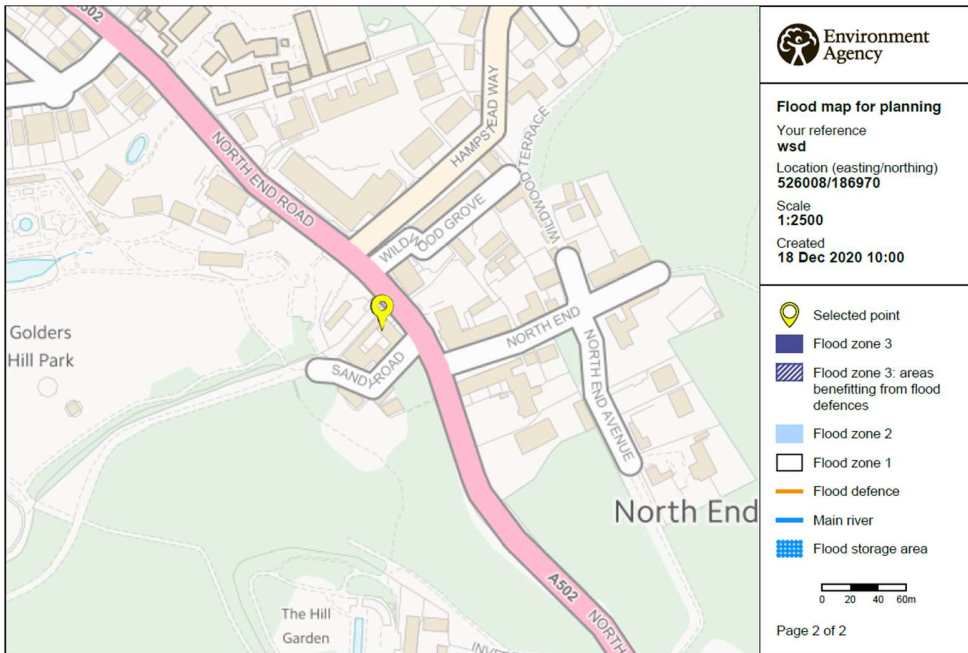
## Appendix 2: Google Maps



### Appendix 3: Front Elevation and neighboring property no. 2 (left)



## Appendix 4: Flood Map



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## Appendix 5: PTAL

Address or co-ordinates

NW3 7HA

Go

Access level (PTAL)

Time mapping (TIM)

PTAL: a measure which rates locations by distance from frequent public transport services.

Map key - PTAL



Map layers

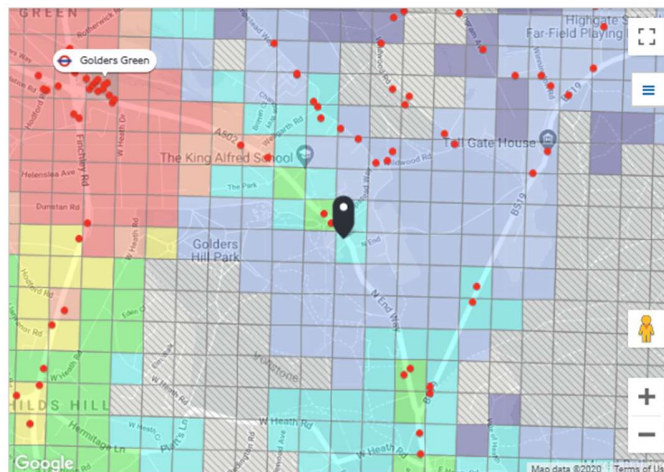
PTAL (cell size: 100m)

Scenario

Base Year

Highlight locations where PTALs have changed from Base Year

Update



You can click anywhere on the map to change the selected location.

**PTAL output for Base Year**  
**2**

**NW3 7HA**  
 London NW3 7HA, UK  
 Easting: 526019, Northing: 186964

All public transport modes in London currently available:  
 National Rail, London Overground, Tube, DLR, Tram, Buses