

01 Existing Ground Floor Plan

#### MORS+HARTE



Notes

- indicated only 2. All dimensions and setting out
- shall be checked and confirmed and any discrepancies to be reported to the Architect prior to
- commencement of any work 3. All work and materials to be in accordance with current statutory legislation, relevant codes of practice and British . Standards

1. Drawing used for the status 4. Drawing to be read in accordance with relevant consultants and sub-contractors drawings and specifications

0 0. SCALE

0 0. SCAL

0.5m 1 1.5 2 2.5	5m	Revision	Comment	Date	Project <b>No. 1</b>
ALE = 1:100 @ A3					Camo NW1
0.5m 1 1.5 2 2.5	5m				
ALE = 1:50 @ A1		Site Boundary:			Client
			Site boundary assumed and indic erpretation of topographical surv		Priva
			Should exact clarification of boun undary professional must be app	idary be required then a third party pointed	Scale <b>1:50</b> /

- existing original timber sash window to original

original staircase overclad to balusters

• existing floor slopping significantly towards front elevation

existing replacement timber sash window to original opening

• existing original concertina doors

existing in-built joinery

existing replacement timber sash window to

original staircase overclad to balusters

- existing stone threshold slopping

• existing replacement outrigger with crittal windows

• existing floor slopping significantly towards front elevation existing replacement timber sash window

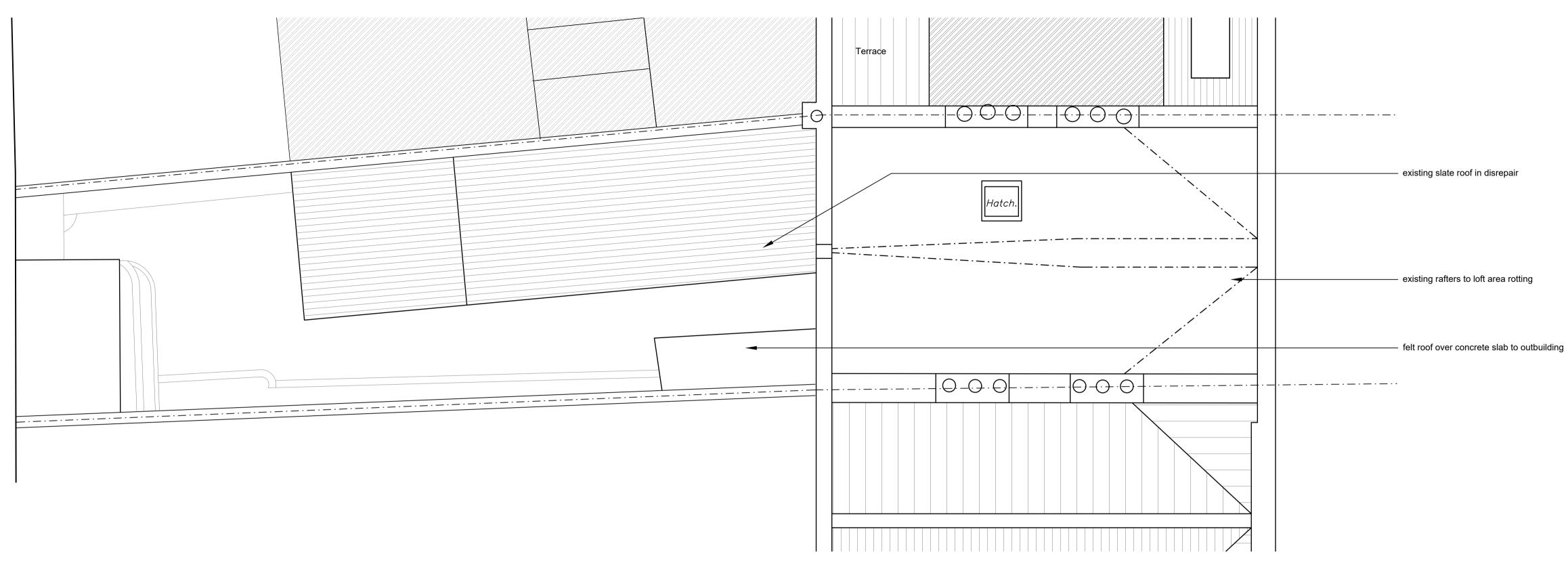
to original opening in-built joinery

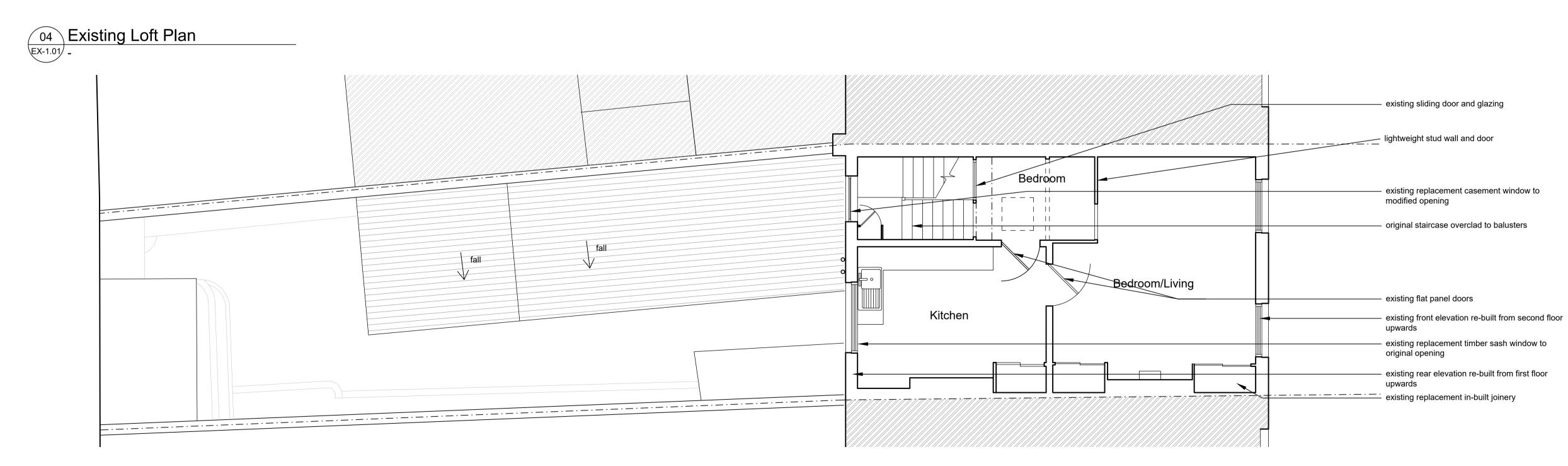
existing replacement timber sash window to modified opening

- existing timber outbuilding in significant disrepair

- existing brick and concrete outbuilding circa C20

t 125 Albe nden 1 7NB	rt Street		Title Existing Plans	
			 Drawing Status	Project No.
vate Clien	t		Planning	052/1
	Sheet	Date	 Drawing No.	
) / 1:100	A1 / A3	August 21	EX-1.00	-







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LE = 1:100 @ A3					Camo NW1
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LE = 1:50 @ A1		Site Boundary:			Client
			boundary assumed and indic retation of topographical surv		Priva
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• existing slate roof in disrepair

Title **125 Albert Street** nden 1 7NB Drawing Status

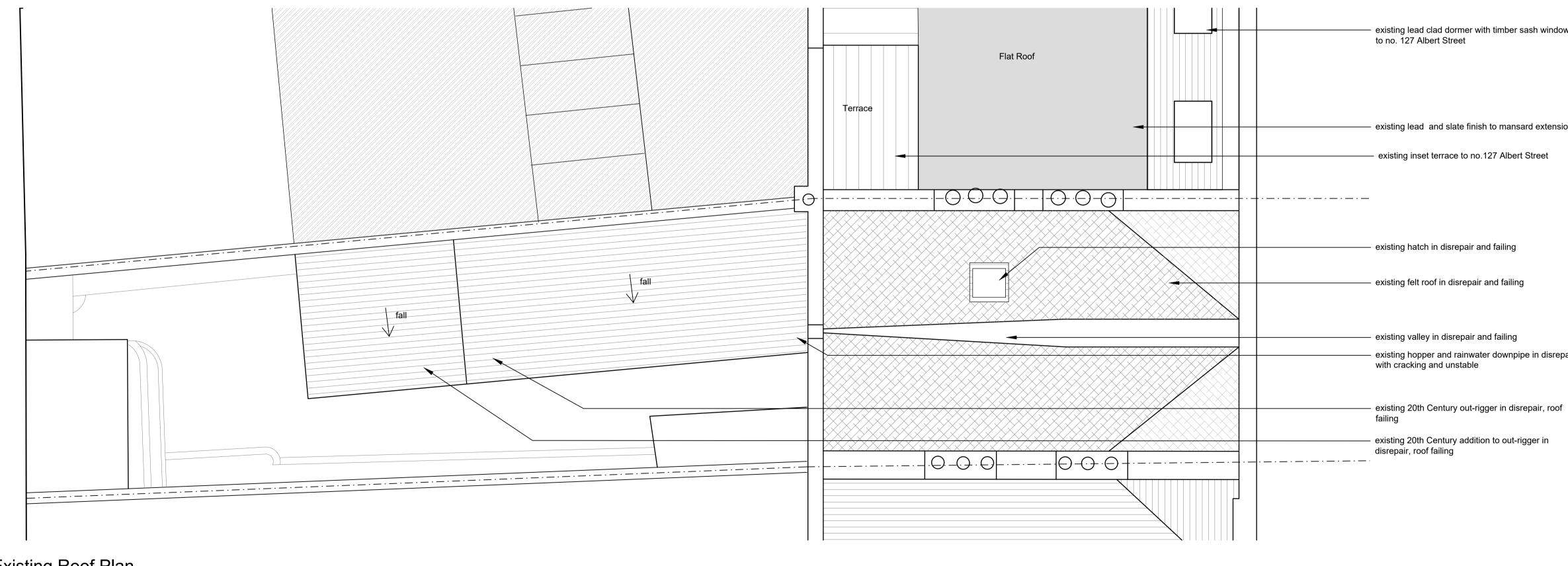
**Existing Plans** Project No. vate Client 052/1 Planning Drawing No. Date

Rev -

EX-1.01

Sheet

1:50 / 1:100 A1 / A3 August 21





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 Drawing used for the status 4. Drawing to be read in indicated only accordance with relevant consultants and sub-contractors drawings and specifications

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0 0.5m SCALE =

			NW1 7
m 1 1.5 2 2.5	5m		
= 1:50 @ A1		Site Boundary:	Client
-		- Site boundary assumed and indicated as shown based on interpretation of topographical survey.	Private
		- Should exact clarification of boundary be required then a third party boundary professional must be appointed	Scale

Comment

Revision

5m

Project

Date

**Existing Plans** No. 125 Albert Street Camden 7NB Drawing Status Project No. te Client 052/1 Planning Drawing No. Rev Date Sheet 1:50 / 1:100 A1 / A3 August 21 EX-1.02 -

# Title

existing valley in disrepair and failing existing hopper and rainwater downpipe in disrepair, with cracking and unstable

existing hatch in disrepair and failing

- existing lead and slate finish to mansard extension to no. 127 Albert Street

existing lead clad dormer with timber sash windows to mansard extension to no. 127 Albert Street



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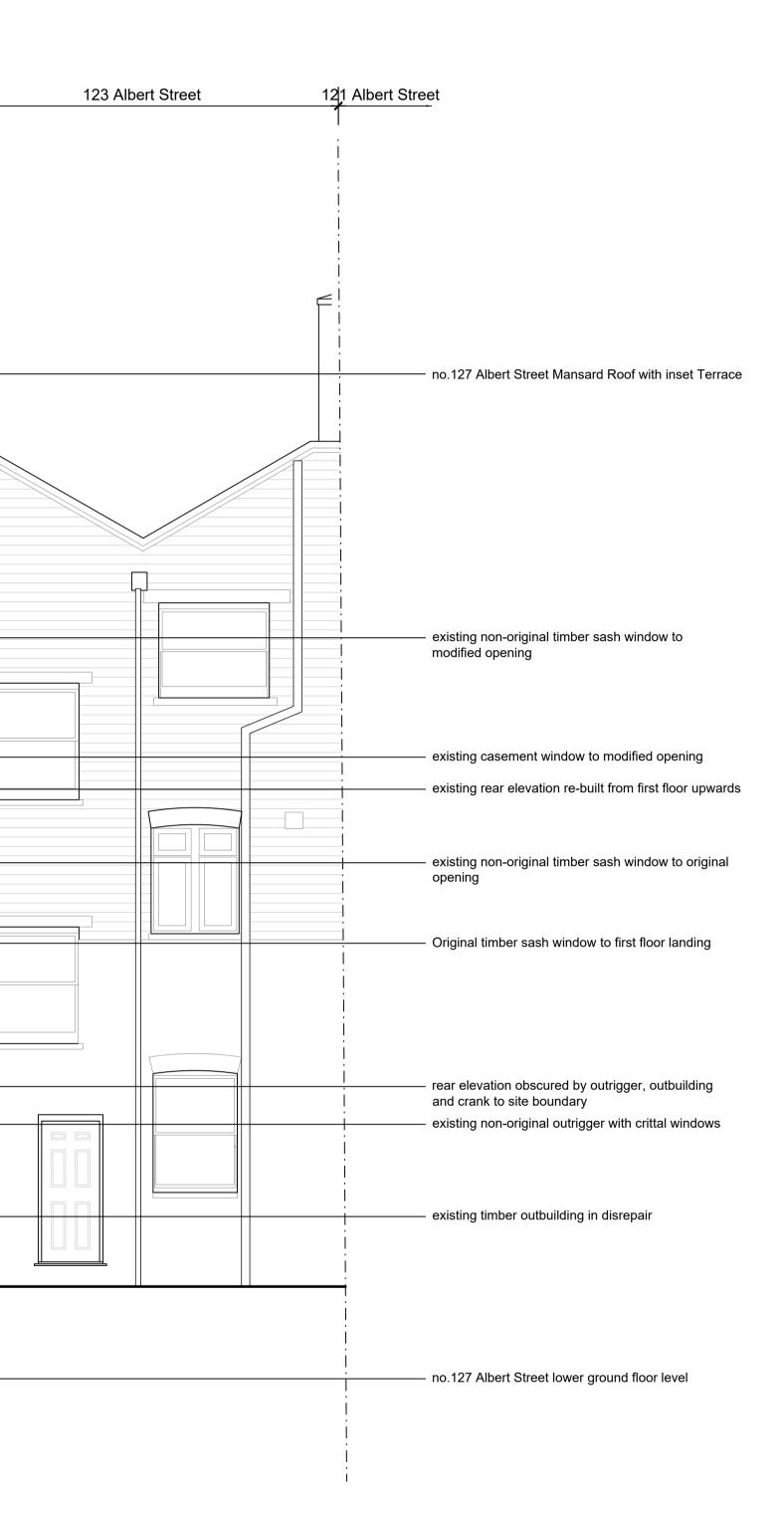
existing railings require repair and

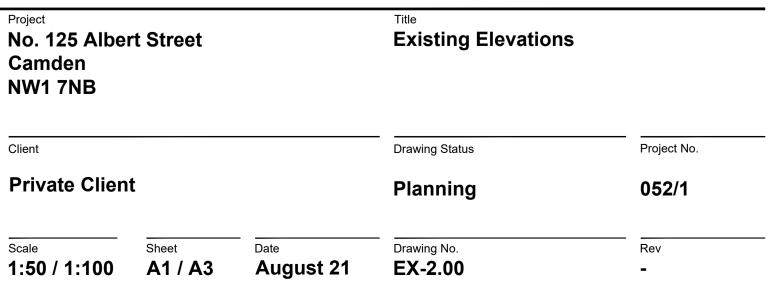
re-decoration

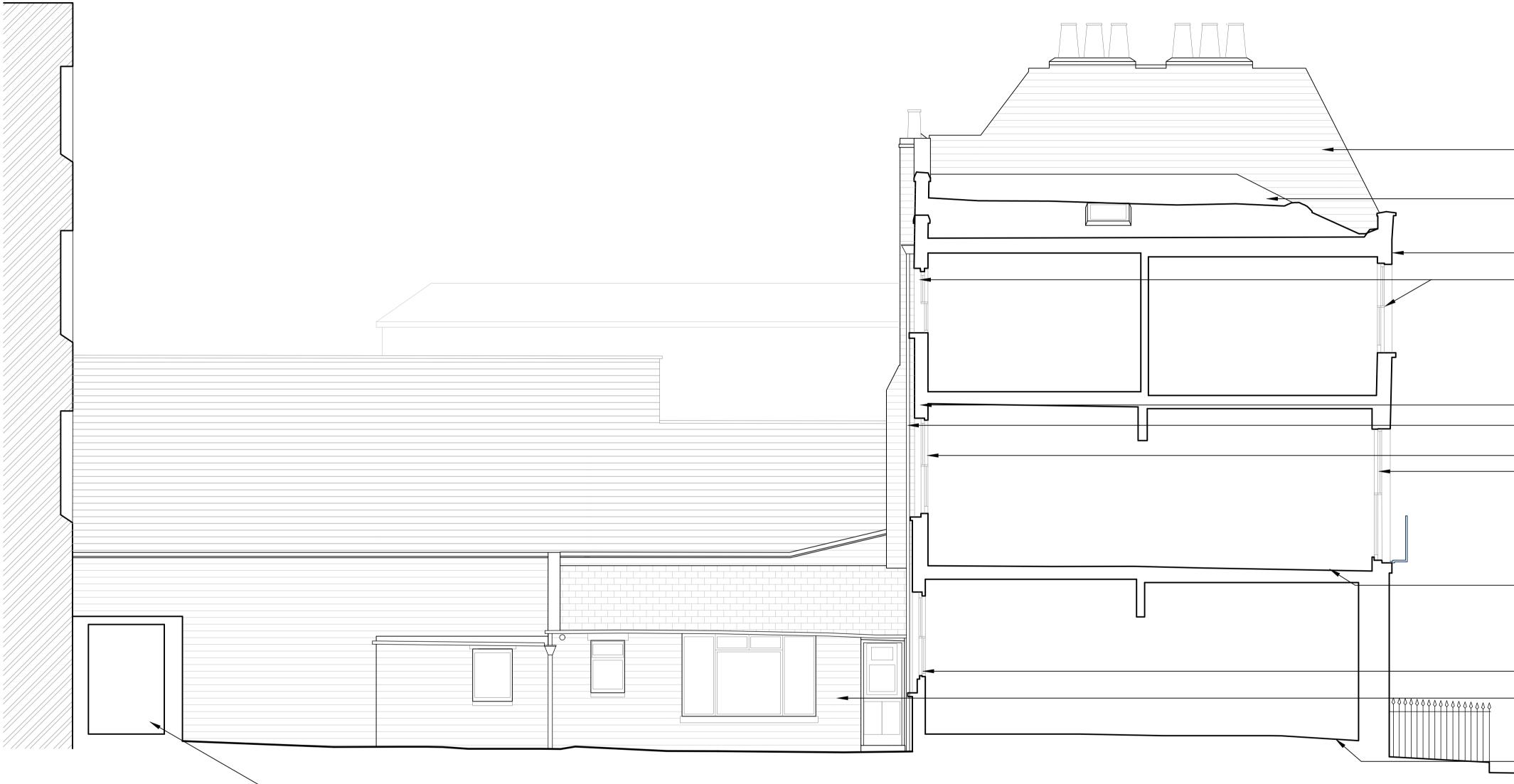
eet		127 Albert Street	125 Albert Street	
		Ĩ		
	—— slate finish to adjacent mansard roofs			
	—— lead clad, dormers with timber sash windows to adjacent mansard roofs			
	—— existing felt roof in disrepair with rotten rafters and water ingress			
	<ul> <li>existing front elevation re-built from second floor upwards</li> </ul>			
	—— existing non-original timber sash window to original opening size			
	— brick damage and movement evident from second floor upwards			
	—— existing non-original timber sash window to original opening			
	—— existing balconies require repair and re-decoration			
	—— significant cracking to stucco			
	—— existing non-original timber sash window to original opening			
	<ul> <li>evidence of movement to property as evident to internal floor levels</li> </ul>			
	—— existing railings require repair and			I



.5m 1 1.5 2 2.5 .E = 1:100 @ A3	5m	Revision	Comment	Date	Project No. 1 Cam NW1
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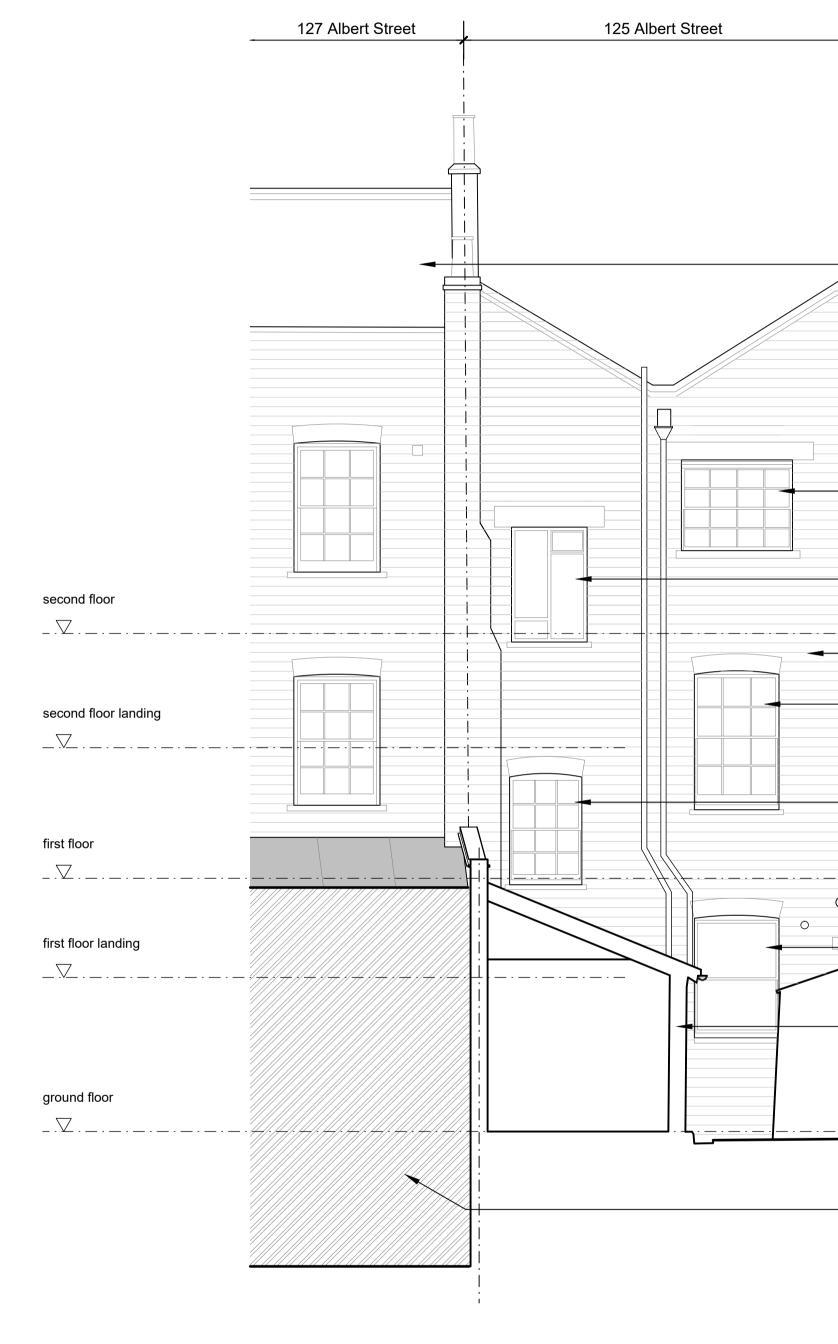
- Notes
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  4. Drawing to be read in accordance with relevant consultants and sub-contractors drawings and specifications

sub-contractors drawings and specifications

SCALE = 1:50 @ A1	Project No. 1 Camo NW1
- Site boundary assumed and indicated as shown based on	Client
interpretation of topographical survey Should exact clarification of boundary be required then a third party	Priva

 existing brick party wall with 127 Albert Street to accommodate existing mansard roof
 existing felt roof in disrepair with rotten rafters and water ingress
 existing front elevation re-built from second floor upwards existing non-original timber sash window to rebuilt facade
 existing rear elevation re-built from first floor upwards existing cast-iron hopper and downpipe in disrepair, cracked and unstable existing non-original timber sash window to original opening
- F 9
 significant slopping to existing floor
 existing non-original timber sash window to modified opening existing non-original outrigger with crittal windows
 significant slopping to existing floor existing brick and concrete outbuilding circa C20

125 Albe nden 1 7NB	rt Street		Title Existing Elevations		
			Drawing Status	Project No.	
vate Clien	t		Planning	052/1	
	Sheet	Date	Drawing No.	Rev	
) / 1:100	A1 / A3	August 21	EX-2.01	-	



## 04 Existing Rear Elevation / Section B-B

#### M O R S + H A R T E



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- confirmed and any discrepancies to be reported to the Architect prior to commencement of any work
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 Drawing used for the status indicated only
 Drawing to be read in accordance with relevant consultants and sub-contractors drawings and specifications

ا	123 Albert Street	121 Albert Street	
			no.127 Albert Street Mansard Roof with inset Terrace
+			existing non-original timber sash window to modified opening
		1 - - - -	existing casement window to modified opening
· - ·   - ·			existing rear elevation re-built from first floor upwards
			existing non-original timber sash window to original opening
			original timber sash window to first floor landing
] ]			
			existing non-original timber sash window to modified opening
			existing non-original outrigger with crittal windows
			existing timber outbuilding in disrepair
			no.127 Albert Street lower ground floor level

0 0.5m 1 1.5 2 2.5 SCALE = 1:100 @ A3	5m	Revision Comment	Date	Project No. 1 Camo NW1
0 0.5m 1 1.5 2 2.5 SCALE = 1:50 @ A1	5m	Site Boundary:		Client
		- Site boundary assumed and indicated as interpretation of topographical survey.	s shown based on	Priva
		- Should exact clarification of boundary be boundary professional must be appointed		Scale <b>1:50</b> /

#### nden 1 7NB Drawing Status Project No. vate Client 052/1 Planning Drawing No. **EX-2.02** Rev Sheet Date / 1:100 A1 / A3 August 21 -

125 Albert Street

### Title Existing Elevations