

Gloucester Lodge

Planning Permission

Ref:2020/0441/P Condition 11 discharge report

Date

October 2021

Stage/Revision

2/00

make



Make
32 Cleveland Street
London W1T 4JY

T +44(0)20 7363 5151
www.makearchitects.com

make

The purpose of this document

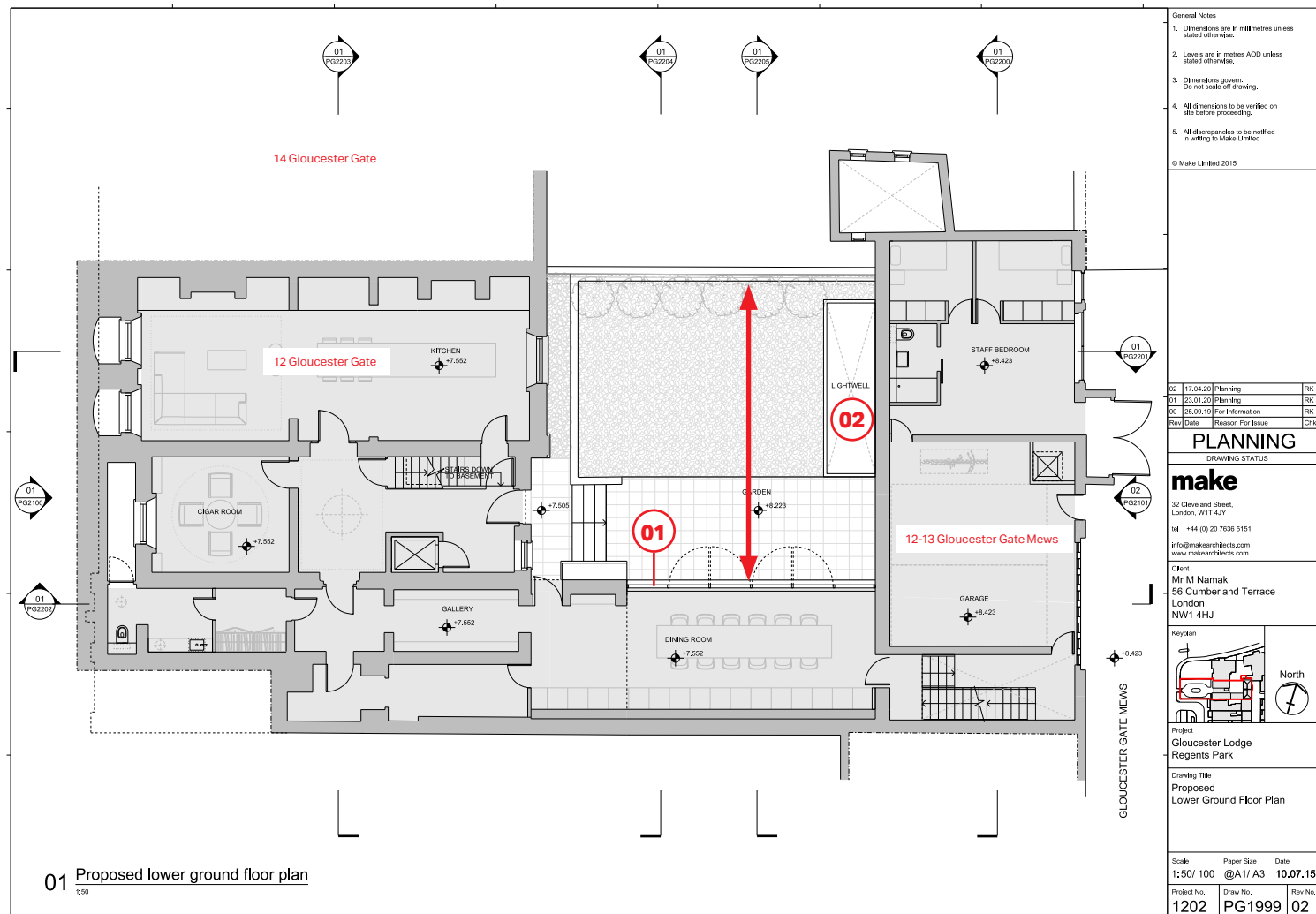
This document has been prepared to discharge Condition 11 as listed in the planning permission (Ref: 2020/0441/P) for the proposed alterations to Gloucester Lodge, London NW1 4HG. The report is submitted to Camden Council.

Gloucester Lodge is a Grade I-listed property located within the Regent's Park Conservation Area in Camden. It forms one-half of a semi-detached Regency villa designed by James Burton in 1828 and located within John Nash's prestigious Regent's Park development. The property constitutes a single-dwelling house of three storeys with a lower ground floor and mews buildings (No.12 and No.13 Gloucester Gate Mews) to the rear. The permission also includes alterations to the mews buildings and a new extension.

- 01 Glazed elevation to link structure
- 02 Open lightwell

The drawing on the right is the proposed lower ground floor plan. The link extension has a solid roof and therefore there will be no light spill from the top. The elevation is glazed and is noted as (1). Light spill from these windows is negligible due its location and scale.

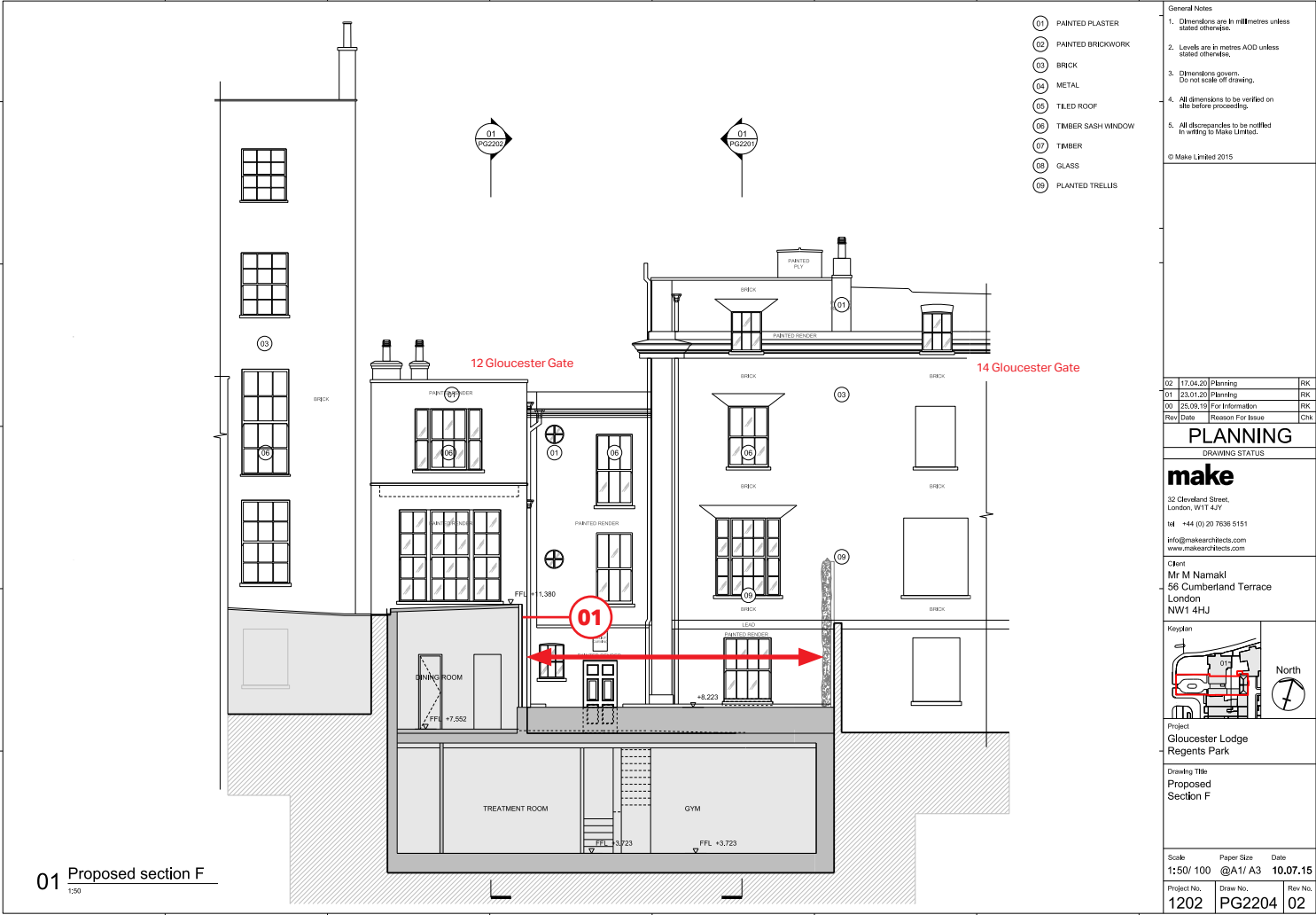
Adjacent to No.13 Gloucester Gate Mews is an open lightwell (2).



Cross section

Glazed elevation of the approved link structure

The cross section on the right is taken through the approved link structure. The glazed elevation is a considerable distance away from the boundary of the property and will be obstructed by the planted trellis. Light spill from this element is negligible and therefore there will be no night time visual impact on the neighbouring Grade I-listed buildings.

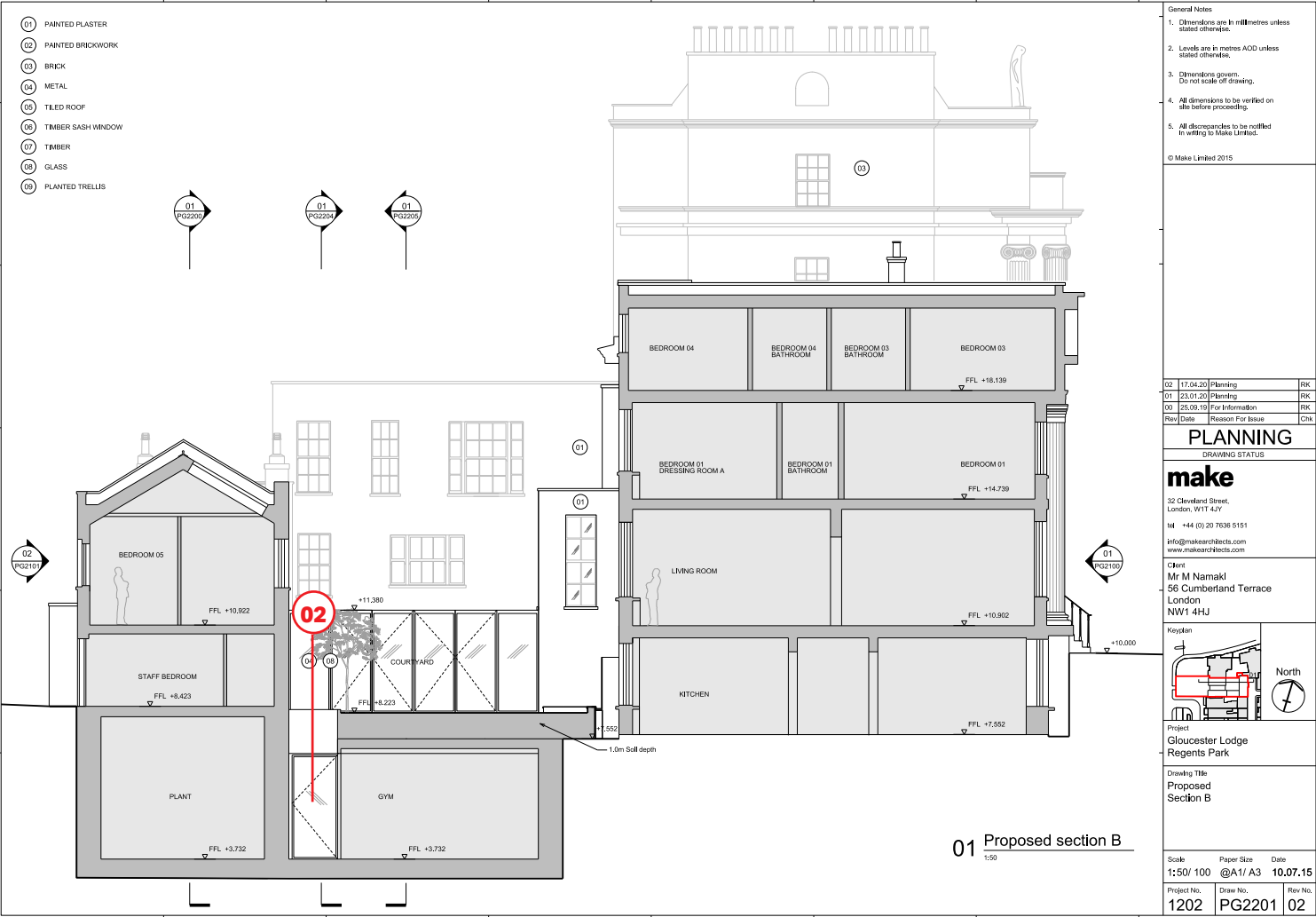


Cross section

Lightwell to basement level

02 Open lightwell

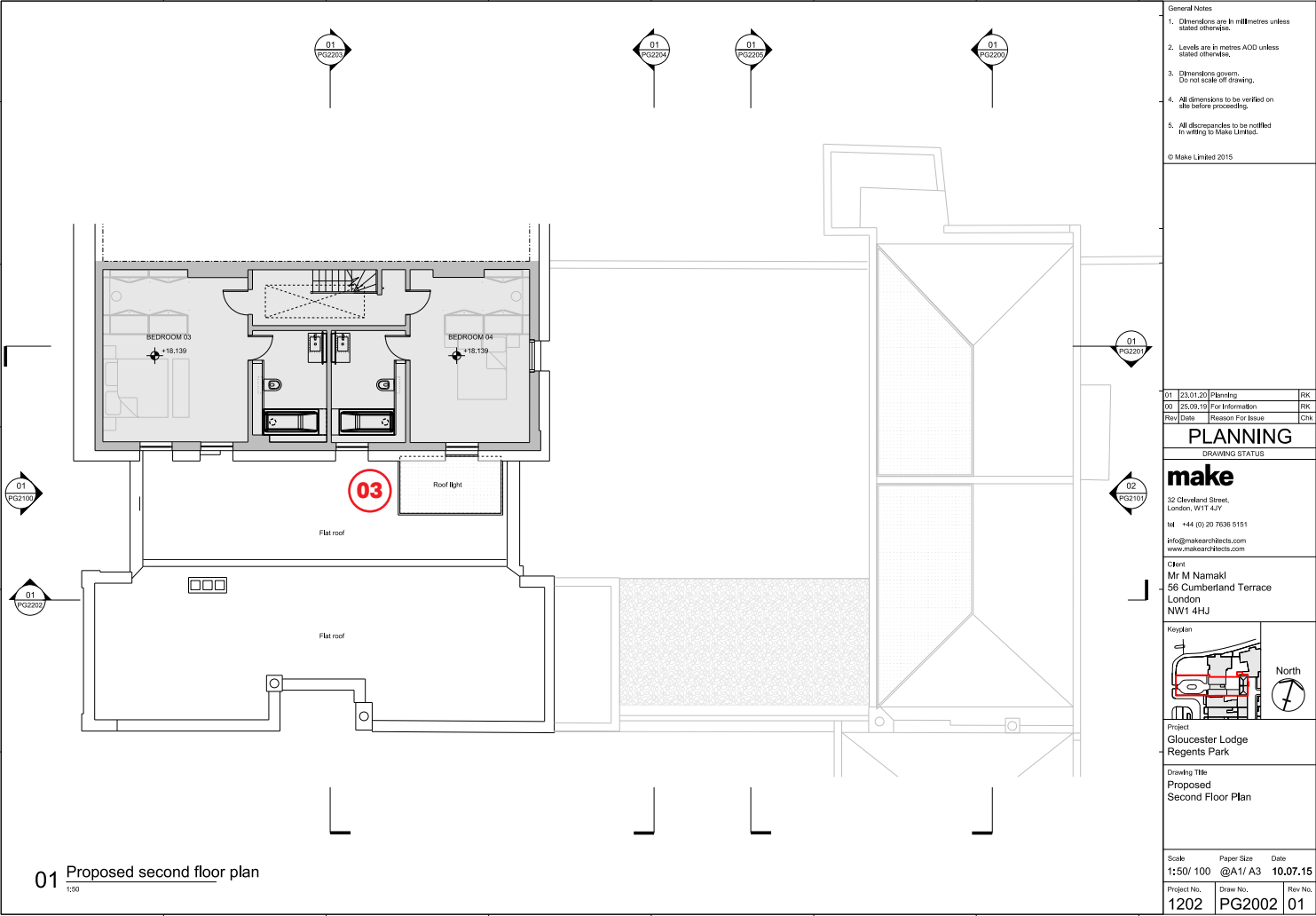
This cross section cuts through the lightwell adjacent to 13 Gloucester Gate Mews. The glazing to the open lightwell is at basement level and therefore has no light spill or night time visual impact on the neighbouring Grade I-listed buildings.



Second floor Rooflight

03 Rooflight on second floor

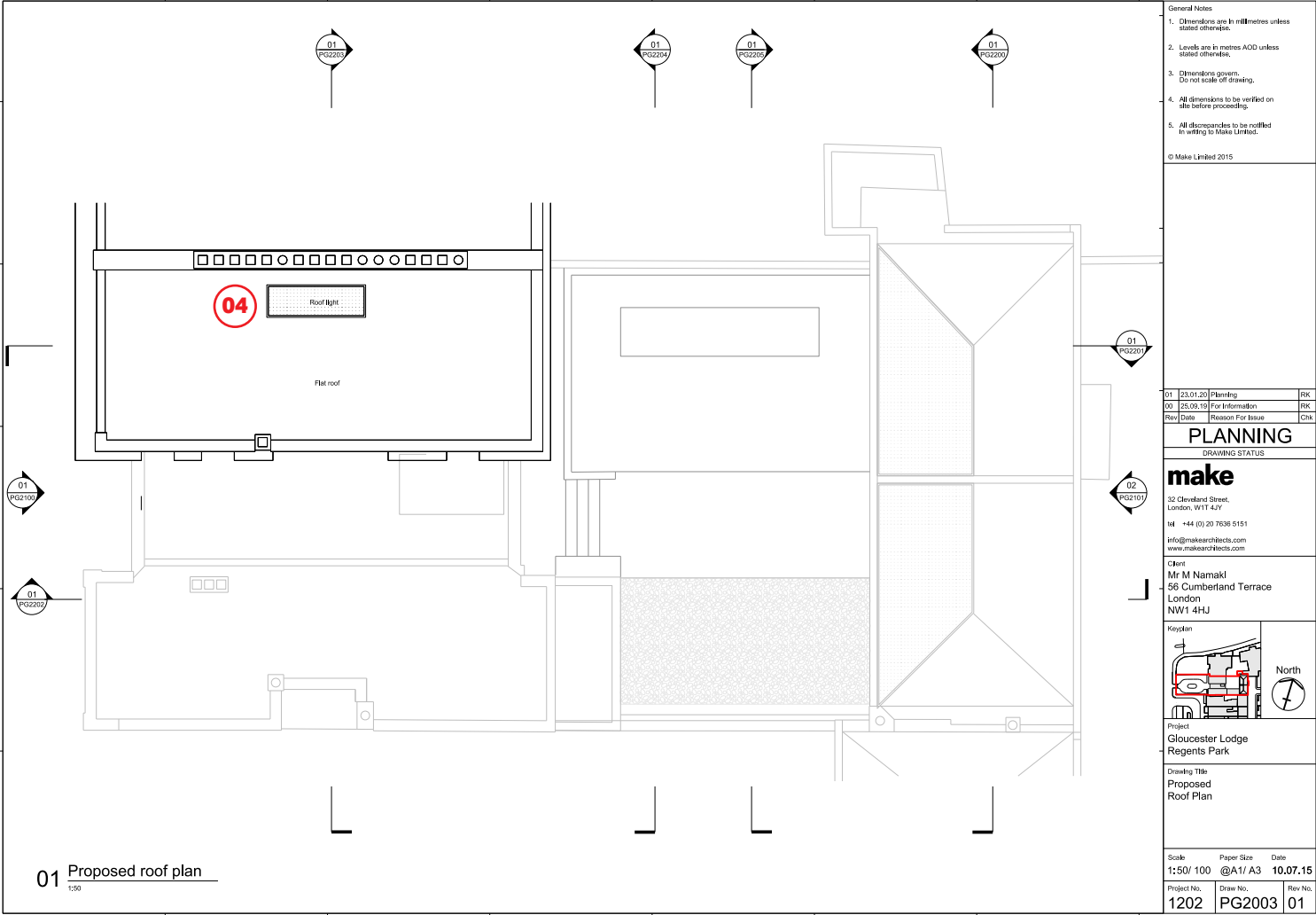
A new rooflight is approved at second floor level. The rooflight is obstructed by the second floor and there will be no light spill to neighbouring listed properties.



Roof level Rooflight

04 Rooflight at roof level

An existing rooflight is consented to be removed and replaced by an enlarged rooflight on the second floor. Although there is a slight increase in its plan-form, the rooflight is obstructed by the adjoining wall to 14 Gloucester Gate and there is no light spill to the neighbouring listed properties.



Make
32 Cleveland Street
London W1T 4JY

T +44(0)20 7636 5151
info@makearchitects.com
www.makearchitects.com

make

