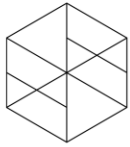


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Heritage Appraisal – Proposed Garden Alterations
No. 5 The Grove, Highgate, London, N6 6JU
August 2021





1 Introduction

1.1 The following Heritage Appraisal has been prepared in support of proposals for the relandscaping of the rear garden to no. 5 The Grove, Highgate, London, N6 6JU (the site) and the alteration and extension of the existing summer house and the provision of a replacement swimming pool.

1.2 No. 5 The Grove is a grade II listed building. Its list description reads as follows:

Semi-detached house. Original house c1688 built by William Blake; rebuilt, retaining general appearance c1933 by CH James. Red brick with plain brick band at 1st floor level and below parapet. 3 storeys and basement. 4 windows and single window recessed bay to left. Wooden doorcase with shaped brackets to hood; panelled door and radial patterned overlight. Flush framed sashes with exposed boxing; ground and 2nd floors with segmental arches, 2nd floor has flat arches. INTERIOR: not inspected but noted that little remains of the original - during rebuilding some sections of early C18 wallpaper were found beneath painted deal panelling. SUBSIDIARY FEATURES: attached cast-iron railings to areas and forecourt on low brick wall. Gateway with lamp overthrow and lantern.

1.3 Also listed are the gardens walls, terraces and steps of nos. 1-6 The Grove and the garden arbour to no. 6 The Grove. The wall passes through the garden of no. 5 on a north-south axis, effectively dividing the rear garden into an upper and lower terrace. The walls and other landscape features comprise the remnants of the former walls and garden to Dorchester House, a 17th century building originally located to the south of nos. 1-6 (see below). The list description for the walls are as follows:

Gardens walls, terraces and steps and garden arbour in the rear gardens of Nos 1-6 (qqv). c1600 with later alterations and additions. The northern and western terrace walls were the

curtilage walls of the C17 mansion, Dorchester House (demolished c1688-9) which formerly stood east of Witanhurst. Red brick garden walls with parapets, terraces and steps leading to lower garden. In garden of No.6, in north-west corner, remains of a red brick arbour of c1600 with curved bastions (mostly rebuilt overlooking garden); north wall with half round columns and round-arched niches flanking arched doorway with later blocking. (Survey of London: Vol. XVII, The Village of Highgate, St Pancras I: London: -1936: 77-94)

1.4 No. 5 and its rear garden also form part of the Highgate Conservation Area (designated by LB Camden in 1968 and extended in 1978 and 1992). The proposals entirely relate to a residential rear garden where there are very limited public and private views of the garden because of the site's position and local topography. The historic development of the site and its contribution to the character and appearance of the conservation area has nevertheless been considered in the development of the proposed scheme.

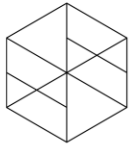
1.5 There are also several nearby listed buildings, the significance and setting of which have also been considered in the development of the proposals and in the preparation of this appraisal. The most relevant include:

- No. 6 The Grove – grade II*
- Nos. 3 & 4 The Grove – grade II*
- Nos. 1 & 2 The Grove – grade II

1.6 The focus of this report is to consider the effect of the proposed scheme on the immediate setting of the grade II listed building at no. 5 and the grade II listed walls and other structures. Also considered is the effect on the setting of nearby listed buildings and the character and appearance of the Highgate Conservation Area.

Research

1.7 This appraisal has been prepared following detailed research into the historic



development of the main house and the rear garden at no. 5. This research has been complemented by site and context assessment.

1.8 Research has been undertaken at the London Metropolitan Archives, the Museum of Rural Life and the London Borough of Camden's Local Studies and Archive Centre. A number of online sources have also been used including British History Online, and the London Borough of Camden's historic planning records.

The proposals

1.9 The proposed scheme is set out in the drawings and Design and Access Statement provided by Tom Stuart Smith with additional architectural drawings in relation to the summer house provided by 31/44 Architects. In short, it involves a very high quality scheme for new planting and landscaping to the upper and lower terraces that form the rear garden to no. 5. The terraces are retained entirely, as is the listed wall that runs between the two parts of the garden.

1.10 Also proposed is the extension and reconfiguration of an existing garden building that is sited adjacent to the north-south garden wall on the lower terrace. A replacement swimming pool and associated structures for plant are also proposed.

Relevant planning history

1.11 The rear garden to no. 5 has clearly evolved as explored below in Section 2. Planting, the use of areas of the garden and the character of the upper and lower terrace has changed over time.

1.12 There is no available planning history that relates specifically to alterations to the rear garden. An application of the early 1980s in relation to the modernisation of no. 5 The Grove (HB2603(R1)), which would coincide with the timing of the appearance of the swimming pool and summerhouse, may have shed some further light on changes to the rear garden. However,

there are no available drawings or any other documentation for this application.

1.13 There are currently two live applications in relation to proposed alterations to the principal listed building (2021/27127/L and 2021/2311/P). As part of this submission a detailed Heritage Appraisal was prepared by The Heritage Practice that summarised the house's historic development. That history is summarised in this report and complemented with additional material that relates specifically to the garden.

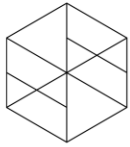
Report structure

1.14 The following report provides an overview of the historic development and significance of the site and considers the effects of the proposal on significance and against relevant historic environment policy. Section 2 summarises the historic development of the site and Section 3 considers the proposals and their effects on the historic environment. This appraisal should be read in conjunction with the submission and drawings provided by Tom Stuart Smith.

Author

1.15 This appraisal has been prepared by Kate Graham of The Heritage Practice. Kate Graham (MA (Hons) MA PG Dip Cons AA) has extensive experience in dealing with proposals that affect the historic environment having in recent years been Design and Conservation Manager at the London Borough of Islington and Senior Historic Buildings at Areas Adviser at Historic England. She also has an extensive background in research, in policy analysis and in understanding historic buildings and places. She has trained as a historian and has a specialist qualification in building conservation. Kate is also a member of the London Borough of Islington Design Review Panel and the London Borough of Hackney Design Review Panel.

1.16 Historical research for this report was undertaken by Dr Ann Robey FSA, a



conservation and heritage professional with over twenty years experience. She has worked for leading national bodies as well as smaller local organizations and charities. She is a researcher and writer specialising in architectural, social and economic history, with a publication record that includes books, articles, exhibitions and collaborative research.

2 The site and significance

2.1 The following section provides an overview of the historic development of the proposed site and considers its significance as the rear garden and immediate setting to no. 5 The Grove.

2.2 There are four main phases of development and alteration that relate to the house and wider garden at no. 5 The Grove. These can be summarised as follows.

Phase 1: The original 17th century house with 18th and 19th century alterations

2.3 A house was built on the site of no. 5 The Grove in 1688. As set out below, this house was demolished and redeveloped in 1932. The 17th century house was one of six constructed in the gardens of Dorchester House which was situated to the south, approximately on the site of Witanhurst (figures 1-3).

2.4 No. 5 was built approximately in the rear part of Dorchester House's rear garden as indicated on figure 2 below. Part of the existing garden is defined by the earlier walls but the lower terrace sits outside of the former garden boundary. Essentially, the former walls to Dorchester House separate the upper and lower terraces.

2.5 John Rocque's map of 1746 showing ten miles around London, shows the late 17th century houses grouped in pairs with the

definition of the former garden walls evident (figure 4).

2.6 The 1803 Parish Map provides some more detail on the form and appearance the garden to no. 5 (figure 5).



Figure 1: William Blake's plan of Highgate, late 17th century.

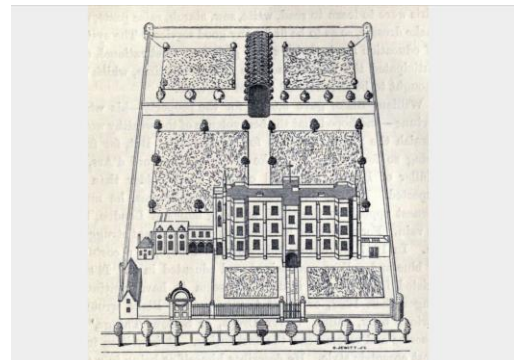


Figure 2: Dorchester House and gardens.

2.7 The former bastion in the north-west corner of the gardens of Dorchester House (figures 1 and 2) is indicated on the plan of 1803 and it continues to form a prominent feature of no. 5's lower terrace (figure 6). The

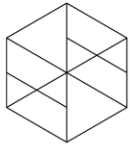


Figure 3: Dorchester House, c. 1700

1803 plan also shows how the garden overall has formed. The existing lower terrace corresponds to the plot of land immediately to the west of the Dorchester House garden walls.

2.8 The upper and lower terraces of the 17th/18th century house are shown in more detail in the 1863 Ordnance Survey (OS) map (figure 7). This indicates a lawned upper terrace with a more kitchen-type garden to the lower terrace with a series of glasshouses.



Figure 4: Rocque Map of 1746.



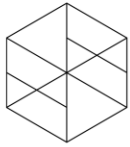
Figure 6: The bastion viewed from the lower terrace.



Figure 5: 1803 Parish Plan with bastion in the garden of no. 6 – the external wall of the bastion forms part of the character of no. 5's lower terrace.



Figure 7: OS map extract 1863.



2.9 The early house at no. 5 was demolished in the early 1930s following the sale of the building. No. 5 had been extended over the 18th and 19th century and its footprint had changed considerably. The early 1930s sales particulars provide photographs of how both the upper and lower terraces looked at this time (figures 8-10).

2.10 The upper terrace was used as a tennis court (at least for some of the time) with a variety of beds and planting to the lower terrace. In the 1930s, the garden wall between the upper and lower terraces was very low in comparison to the north and south garden walls and appears to have since been raised slightly or partially reconstructed (figure 11).

Phase 2: 1930s reconstruction

2.11 The characterful and picturesque building depicted in the sales details of 1932 was completely demolished and rebuilt in the early 1930s. As noted above, the Survey reported that: *'When Mr C H James FRIBA was recently entrusted with the reconstruction of No. 5, a careful inspection of the house revealed the fact that so much of the early structure had been cut away or otherwise interfered with that the only course left was to replan and rebuild it altogether.'*

2.12 Much is known of James's work at the house at no. 5 – it did involve complete replanning and reconstruction. Less is known about how the garden was subsequently shaped. As James reset the rear building line to be flush with no. 6 and with a central bow, this did necessitate the relandscaping of the garden immediately adjacent to the house. Figure 12 shows how this appeared in 1933 with a previously unseen terrace at lower ground floor level.

2.13 After the reconstruction of the house in 1933, the established layout of upper and lower terraces continued. Later 20th century photographs show that the lower terrace had a kitchen garden character with large

greenhouses in its north-west corner (figures 13-15).

Phase 3: Late 20th century alterations

2.14 No. 5 was sold again in the late 1970s and in 1981 two listed building consent applications for major and fundamental alterations to the listed building were approved. It is likely that works were undertaken to the gardens at this time as by 1987, the existing swimming pool and summer house had been constructed (figure 16). As seen when comparing figures 14 and 16, the 1980s works also included the demolition of early 20th century glasshouses, the creation of a new and much deeper patio area adjacent to the house and the general relandscaping of the upper and lower terraces.

Phase 4: Early 21st century alterations

2.15 The main house underwent further change and alteration in the early 2000s. Not much was done to the garden at this time although some replanting took place and a lighting scheme was implemented. The existing garden therefore has been defined and shaped by a series of changes with the later 20th century alterations defining appearance and established features.

Significance

2.16 The existing garden provides the immediate residential setting of no. 5 The Grove which is a grade II listed building. It provides a domestic garden setting that contributes to the significance of the listed building. Its spacious, verdant quality also contributes to the setting of nearby listed buildings and to the character and appearance of the conservation area.

2.17 The arrangement of upper and lower terrace either side of the former garden wall to Dorchester House, which has long formed part of the character of the site is illustrative of the earliest phases of development of Highgate and

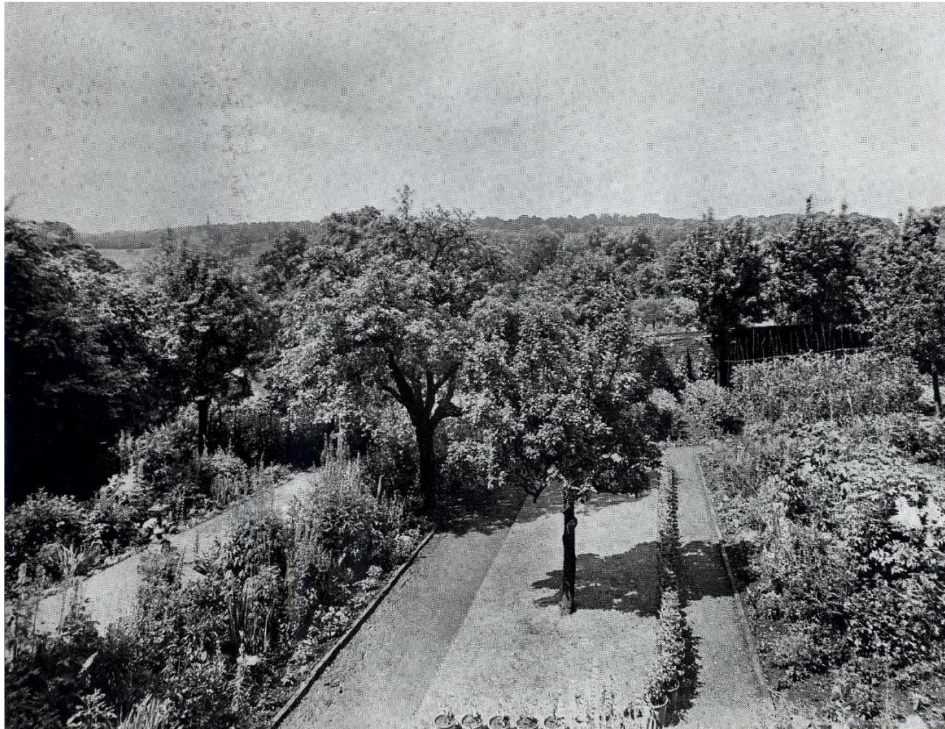
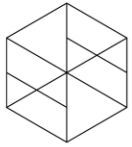


Figure 8: Lower terrace, early 1930s.

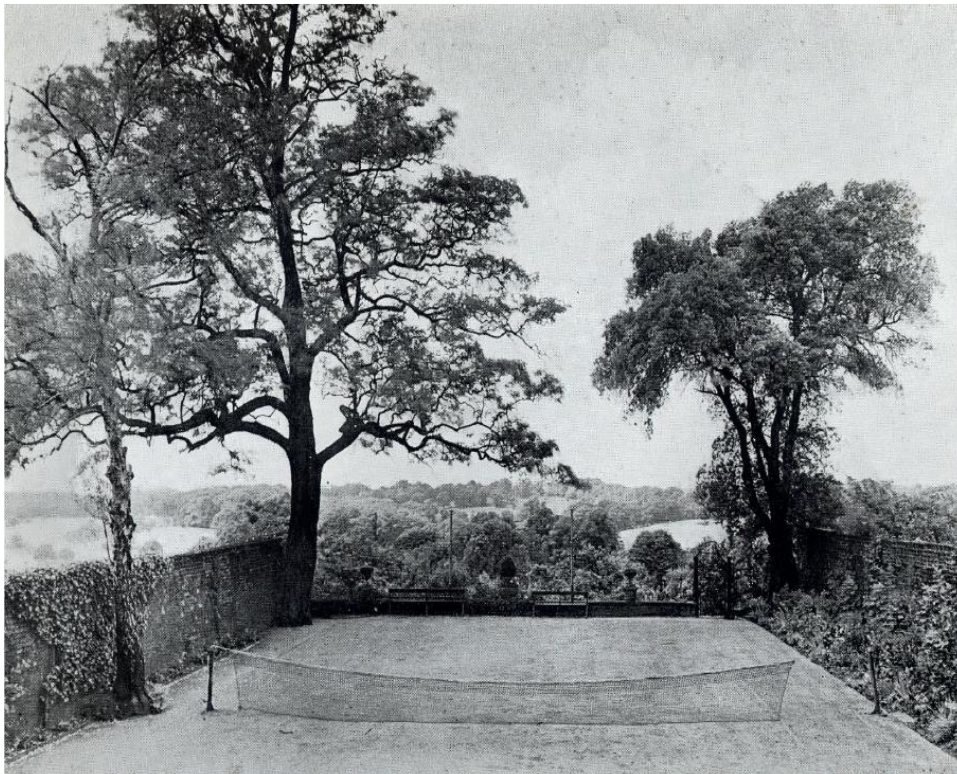
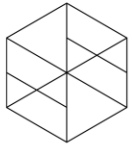


Figure 9: Upper terrace, view from the house, early 1930s.



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Figure 10: Rear elevation of the original house before reconstruction in the early 1930s.

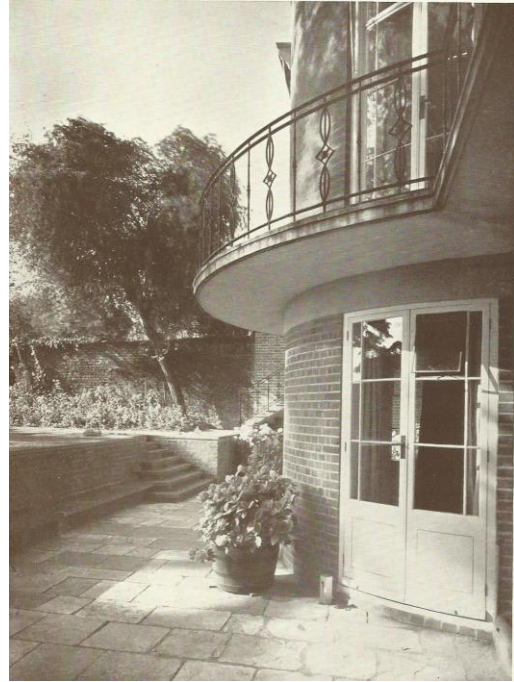


Figure 12: Rear elevation and terrace in 1933.



Figure 11: View from the house along the Upper Terrace.



Figure 14: Aerial view of the gardens in 1966 with bastion and greenhouses evident.



Figure 13: The garden c. 1960s.

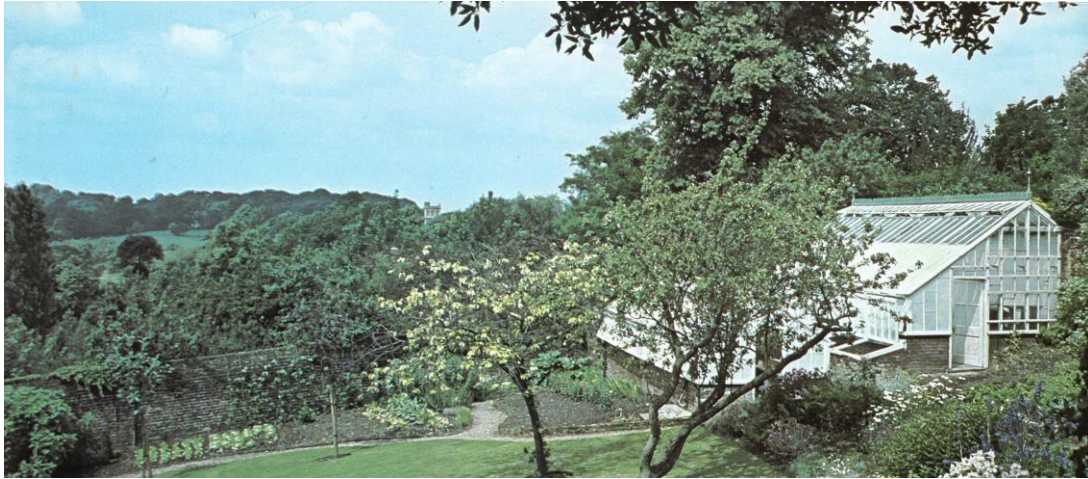
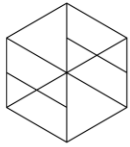


Figure 15: Photograph from sales particulars, late 1970s.



Figure 16: Aerial view of the garden, 1987

The Grove. The garden visually links no. 5 to the garden of neighbouring properties and to the green slopes of Hampstead Heath to the west.

2.18 The most distinct elements of the garden in terms of what it contributes to the significance of the listed building at no. 5 or the former garden walls are the upper and lower terrace, divided by the listed wall together with surrounding walls from various periods that provide a well defined and characterful boundary. Other features within the garden,

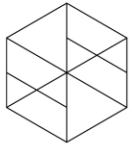


Figure 17: OS map extract 1863-1870 showing numerous greenhouses at the lower level of the garden.

such as the swimming pool and planting scheme, are of less historic significance – they relate to a much later phase of development.

2.19 Within the garden there are brick walls in various states of repair and condition, almost all much older than the existing house. The walls defining the north and south edges of the Upper Terrace presumably have their origins in the late 17th or early 18th century when the houses at nos. 1-6 were built and the garden to Dorchester House subdivided (figures 18 and 19). The north and south walls clearly have some age but condition, repair and existing planting prohibits a full inspection of their fabric.

2.20 The listed Dorchester House wall runs north-south between the upper and lower parts of the garden. Figure 9 shows this was much lower in comparison to the walls to the north and south of the Upper Terrace by the 1920s. The upper part of the existing listed wall has



been rebuilt with what looks like 1930s
brickwork (figure 20).



Figure 18: Garden wall, upper terrace, south.



Figure 19: Garden wall, upper terrace, north.

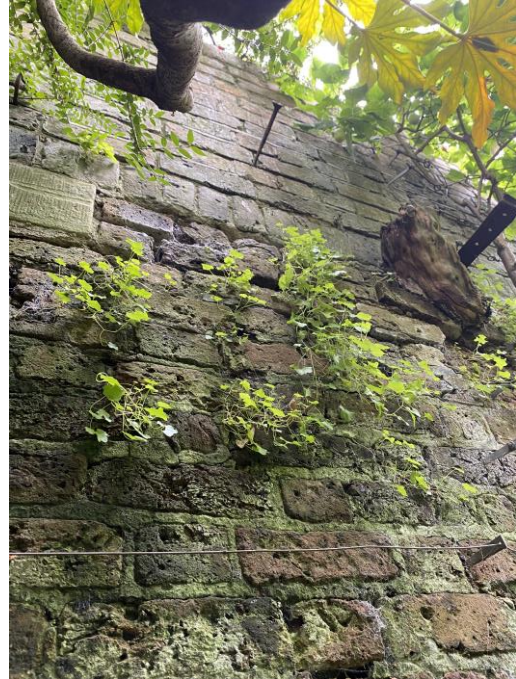


Figure 20: Dorchester House wall with upper courses rebuilt.



Figure 21: North wall to lower terrace.

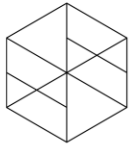


Figure 22: Western boundary wall to the lower terrace.



Figure 23: West boundary wall with two brick types.

2.21 The lower terrace is dominated by the 17th century bastion to Dorchester House (much

repaired) and the tall red brick north wall between no. 5 and the garden behind no. 7 The Grove to the north (figure 21). This wall is not marked on the Roque plan at figure 4 but is indicated on the 1803 plan of Highgate at figure 5.

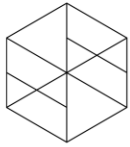
2.22 A house called Grove House, was historically located to the north of nos. 1-6 prior to its redevelopment in the 18th century. The Survey of London records that *'In 1808, the property is described as the 'the site of Grove House long since pulled down and other improvements made on the site, 8 acres of meadow annexed to Fitzroy Farm and three lower gardens behind or westward of the houses in Pemberton Row, two of which are gardens are occupied with two of such houses and the other garden is annexed to the grounds of Fitzroy Farm.'*¹

2.23 Pemberton Row was the name historically given to nos. 1-6 The Grove and this reference appears to indicate that land associated with Grove House was acquired by no. 5 at around the turn of the 18th and 19th centuries. The boundary wall to the north of the lower terrace may date to this period.

2.24 The wall to the west, which separates no. 5 from Witanhurst, has a different character and appearance to others in the garden (figures 22 and 23). It appears to have been largely rebuilt at some point with areas of lower courses being a more distinct red brick comparable to those seen in nearby walls. If the lower terrace was incorporated into the property at the turn of the 18th/19th century, it is probable that a wall of this date was added to the site. It then appears to have been rebuilt.

2.25 The wall is at the top of a steep slope and rebuilding may have been an inevitable consequence of its location. The wall clearly now has a lean and the ground level has been raised in areas.

¹ *The Survey of London: Vol XVII: The Village of Highgate (St Pancras, Part 1)*, page 94.



2.26 The various garden walls provide strong and distinctive boundaries to the garden and add colour, texture and a patina to the setting of the listed building.

2.27 The existing summer house forms part of the lower terrace and in materials and form it is of a mediocre quality in this context. The existing lower terrace covers a large area and the summer house is easily accommodated. As an existing 1980s ancillary garden building, the structure doesn't contribute substantially to the significance of the house or to the garden more generally. However, as a structure within a garden previously populated by garden buildings (at lower terrace level – figure 17), a building of this type is entirely at home in this context. As it is set at a lower level, there is no visual interrelationship between the summer house and the listed building at the upper level.

3 The proposals and their effects

3.1 The following paragraphs provide a brief description of the proposals and consider their effects against the significance of the existing garden and relevant historic environment policy (Appendix A).

The proposals

3.2 The proposals are set out in detail in the Design Report prepared by Tom Stuart Smith. There are three principal elements to the proposals:

- Works to the House Terrace – the area immediately adjacent to the house. The proposed terrace will be laid in York stone paving in a manner entirely sympathetic to the listed building. The existing paved area will be extended. The proposals to this area also include works to the rear balcony between ground and lower ground floor levels

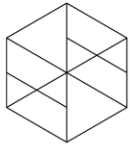
and the provision of new railings that incorporate James's original design details.

- Works to the Upper Terrace – The proposals involve new planting and intersecting paths to create a formal garden, the symmetry and form of which respond positively to the rear elevation of the house.
- Works to the Lower Terrace- the proposals include the reconfiguration of existing modern steps, a move which will reveal more of the listed wall and give space to the bastion, and the extension of the existing summer house. The proposals also include a new terrace adjacent to the summer house, a pergola to the north side of the garden and a new swimming pool.

3.3 Overall, the proposals are driven by a symmetry that links back to the composition of the rear elevation of the listed building. For example the proposed summer house has a central curved bay that responds to that of the main house. The main works are to the swimming pool and summer house and in relation to garden planting. The walls that define the garden to the north, south and west and that divide it into upper and lower terraces are unaffected by the proposals although it is anticipated that works to remove soil build up from the west wall will enhance its appearance.

Effects

3.4 The proposed garden design is of an exceptional quality that befits the architectural quality and stature of the listed building at no. 5 The Grove and of adjacent properties. It has been designed by a highly regarded Landscape Architect of international standing with a garden building designed by an award winning architectural practice.



3.5 The proposals will reinstate a more authentic design, create an appropriately scaled terraced adjacent to the house, in an area already altered historically and will retain the relationship between the Upper and Lower Terraces.

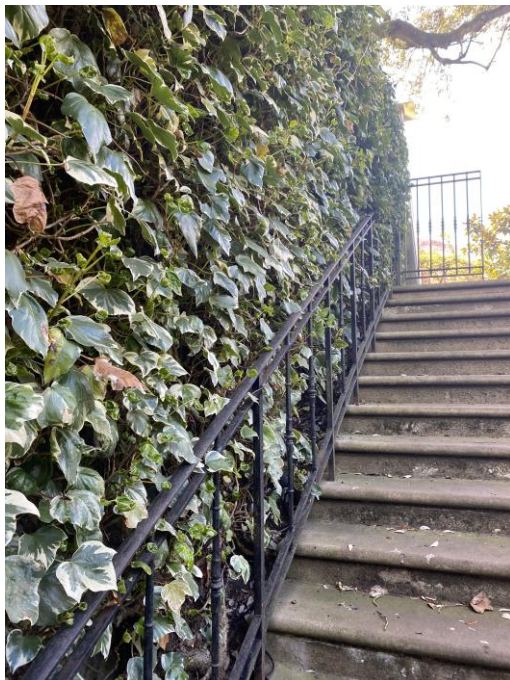


Figure 18: Modern steps adjacent to listed wall.

3.6 In addition, the reconfiguration of modern stairs between the upper and lower areas of the garden will reveal more of the listed wall in this location and set the steps further away from the listed bastion in the north-east corner of the Lower Terrace (figure 18).

3.7 The existing summer house is constructed in brick with timber windows and set slightly away from the listed wall (figure 19). The proposals extend the existing building slightly to the north and south and incorporate new high quality and well detailed brick elevations. The resulting building is set away from the listed wall. As a garden building, the proposals improve on the existing structure and are of a very high quality.



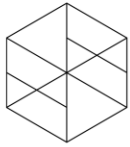
Figure 19: Summer house and listed wall.



Figure 21: The existing swimming pool.

3.8 The proposed pool replaces an existing kidney shaped 1980s swimming pool positioned in the northern part of the Lower Terrace (figure 20). The existing swimming pool is very much a standalone feature in its garden context with no relationship to surrounding features. The proposed swimming pool will incorporate high quality materials and will read as a pool of water or pond (as opposed to a turquoise swimming pool of an atypical form or shape).

3.9 In addition, it is positioned centrally within the Lower Terrace on axis with the summer house. This overall planning and symmetry responds to the formality and composition of the rear elevation of the listed house.



3.10 At the Lower Terrace's northern end, a pergola is proposed. As set out in the Design and Access Statement, this is a freestanding metal structure to be planted with climbers.

3.11 From an historic environment point of view, the main issues are the effect of the proposals on the setting of the listed house, of the neighbouring buildings forming the group at nos. 1-6 The Grove and of the listed wall and bastion. Also to be considered is the effect of the proposals on the character and appearance of the conservation area.

Policy compliance

3.12 The general thrust of historic environment policy is to avoid causing harm to the special interest and significance of designated heritage assets, in this case a grade II listed building, a grade II listed wall and the Highgate Conservation Area. Here, the proposals essentially involve alterations to existing structures within this context and the re-provision of a swimming pool in a separate location. All of this is accompanied by a detailed and extensive landscape plan that will ensure that the garden to no. 5 maintains a green and leafy character.

3.13 The garden forms the immediate setting of the nearby listed structures. Setting is not in itself a designation but the effects of proposals should be considered against the contribution that the building makes to the significance of the listed structures. The existing garden clearly contributes to the significance of the listed house and wall, through its associations with Dorchester House (the terracing is a result of Dorchester House's garden arrangement) and through it forming the substantial residential curtilage to the former 17th century house and the existing building at no. 5 The Grove.

3.14 The historic development of the site has shown that there has long been an Upper and Lower Terrace at no. 5 and the evidence indicates that these terraces had separate and

well defined uses. The garden as a substantial private open space contributes to the cumulative effect of series of gardens to the west of The Grove and to the character and appearance of this part of the conservation area.

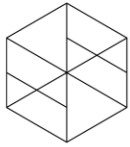
3.15 The high quality proposed garden design will relate positively to the listed building and wall and would continue to have two well defined spaces in the Upper and Lower Terraces with a separation into two areas of distinctive character as there has been historically.

3.16 The Upper Terrace has a closer and more immediate connection with the listed building and this is reflected in the proposed garden design. The proposed Lower Terrace has a different character with a pool and extended summer house which in layout, form and character responds to the listed house and garden wall and enhances the site overall.

3.17 The proposals as a whole would enhance the site, its features and the contribution that it makes to the significance of nearby listed structures. It would also enhance the contribution that the garden makes to the character and appearance of the conservation area.

3.18 Local policy sets out at D2 of Camden's *Local Plan* (2017) that the council will protect garden spaces where they contribute to the character and appearance of a conservation area or which provide a setting to the borough's architectural heritage. A similar policy is contained within the Highgate Neighbourhood Plan (2017). This sets out that there will be a presumption against the loss of garden land in line with higher level policies (Policy DH10).

3.19 Part III of the policy sets out that *'Alterations and extensions should be carried out in materials that deliver high quality design and reinforce local distinctiveness. Other development should use materials which*



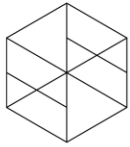
respect the character and appearance of the immediate area.'

3.20 There is already a swimming pool and a summer house within the rear garden of no. 5. There will be an increase in footprint of the summer house of 17sqm but within the context of a substantial private garden, this is a minimal increase. In any event, the summer house is a garden building and its extension would not affect the character of the site. The wider proposals also involve extensive planting that will contribute further to the character and appearance of the site and its contribution to designated heritage assets.

3.21 In addition, the proposals would clearly comply with the requirements of DH10 of the neighbourhood plan. DH10 notes that extensions and alterations should be carried out in materials that deliver high quality design and reinforce local distinctiveness. The design of the garden and its structures use contextually appropriate materials and reinforce the character of the listed building at no. 5 and of the wider area.

3.22 It is therefore considered that the proposed scheme does not cause harm to the significance or setting of nearby listed buildings and structures. Further, it is considered that the proposed scheme does not cause harm to the character and appearance of the Highgate Conservation Area.

3.23 For these reasons and for those set out above, it is considered that the proposals comply with the relevant statutory provision and relevant historic environment policy.



Appendix A

Relevant Policy Context

The following paragraphs briefly set out the range of national and local policy and guidance relevant to the consideration of change in the historic built environment. The relevant statutory provision for the historic environment is the Planning (Listed Buildings and Conservation Areas) Act 1990.

National Planning Policy & Legislation

Section 16 of the **Planning (Listed Buildings and Conservation Areas) Act 1990** requires that:

“In considering whether to grant listed building consent for any works the local planning authority or the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.”

Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that:

“...special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.”

The revised **National Planning Policy Framework 2021** (NPPF) sets out the Government’s planning policies and how these are expected to be applied. There is a general presumption in favour of sustainable development within national planning policy guidance. Paragraphs 189, 190, 192 and 193 are relevant to this application.

Paragraph 194

In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record

should have been consulted and the heritage assets assessed using appropriate expertise where necessary.

Paragraph 195

Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset’s conservation and any aspect of the proposal.

Paragraph 197

In determining planning applications, local planning authorities should take account of:

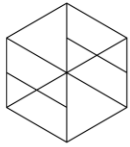
- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraph 199

When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

Paragraph 200

Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of:



- a) grade II listed buildings, or grade II registered parks or gardens, should be exceptional;
- b) assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.

Paragraph 202

Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

London Borough of Camden Local Plan

Camden's Local Plan was adopted in June 2017. The most relevant policy in this case is Policy D2: Heritage.

With regard to Conservation Areas, the policy states that the Council will:

- Require that development within conservation areas preserves or, where possible, enhances the character and appearance of the area.

With regard to Listed Buildings, the policy sets out that the Council will:

- Resist proposals for a change of use or alterations and extensions to a listed building where this would cause harm to the special architectural and historic interest of the building.

With regard to rear gardens, part H of the policy sets out that the Council will:

- Preserve trees and garden spaces which contribute to the character and appearance of a conservation area or which provide a setting for Camden's architectural heritage.

Highgate Neighbourhood Plan

Policy DH2: *Development Proposals in Highgate's Conservation Areas* sets out that: *Development proposals, including alterations or extensions to existing buildings, should preserve or enhance the character or appearance of Highgate's conservation areas, and respect the setting of its listed buildings and other heritage assets. Development should preserve or enhance the open, semi-rural or village character where this is a feature of the area.*

Policy DH10: *Garden land and Backland Development* sets out that there will be a presumption against the loss of garden land and that backland development will be subject to conditions. These include:

I. Existing mature trees and landscaping shall be retained wherever possible. Development proposals should allow sufficient space above and below ground to prevent damage to root systems and to facilitate future growth;

II. Proposals, including conversions that are likely to significantly increase the proportion of hard surfacing on front gardens, should be accompanied by satisfactory mitigation measures such as landscaping proposals which address drainage;

III. Alterations and extensions should be carried out in materials that deliver high quality design and reinforce local distinctiveness. Other development should use materials which respect the character and appearance of the immediate area; and,

IV. New development will be required to take account of existing front and rear building lines.