

# Construction Management Plan pro forma

Application Site



31 Willoughby Road, London NW3 1RT

Revision A

**PBA**  
**Mayfair**  
**London**



December 2019

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**PBA  
MAYFAIR  
LONDON**

**REVIEW**

**For Internal use only**

Please insert initial and date in the relevant section of the table.

The **highlighted areas** of the Draft table will be deleted by their respective teams during pre app review if these sections are no longer applicable.

**Pre app**

Community liaison	
CLOCS	
Transport	
Highways	
Parking	
Environmental health	
Sustainability	
Sign off	

**Draft**

Community liaison	
CLOCS	
Transport	
Highways	
<b>Parking</b>	
Environmental Health	
<b>Sustainability</b>	
Sign off	

## INTRODUCTION

The purpose of the **Construction Management Plan (CMP)** is to help developers to minimise construction impacts, and relates to both on site activity and the transport arrangements for vehicles servicing the site.

It is intended to be a live document whereby different stages will be completed and submitted for application as the development progresses.

The completed and signed CMP must address the way in which any impacts associated with the proposed works, and any **cumulative impacts of other nearby construction sites**, will be mitigated and managed. The level of detail required in a CMP will depend on the scale and kind of development. Further policy guidance is set out in Camden Planning Guidance (CPG) 6: Amenity and (CPG) 8: Planning Obligations.

This CMP follows the best practice guidelines as described in Transport for London's (TfL's Standard for Construction Logistics and Cyclist Safety (**CLOCS**) scheme) and Camden's Minimum Requirements for Building Construction (**CMRBC**).

The approved contents of this CMP must be complied with unless otherwise agreed with the Council in writing. The project manager shall work with the Council to review this CMP if problems arise in relation to the construction of the development. Any future revised plan must also be approved by the Council and complied with thereafter.

It should be noted that any agreed CMP does not prejudice or override the need to obtain any separate consents or approvals such as for road closures or hoarding licences.

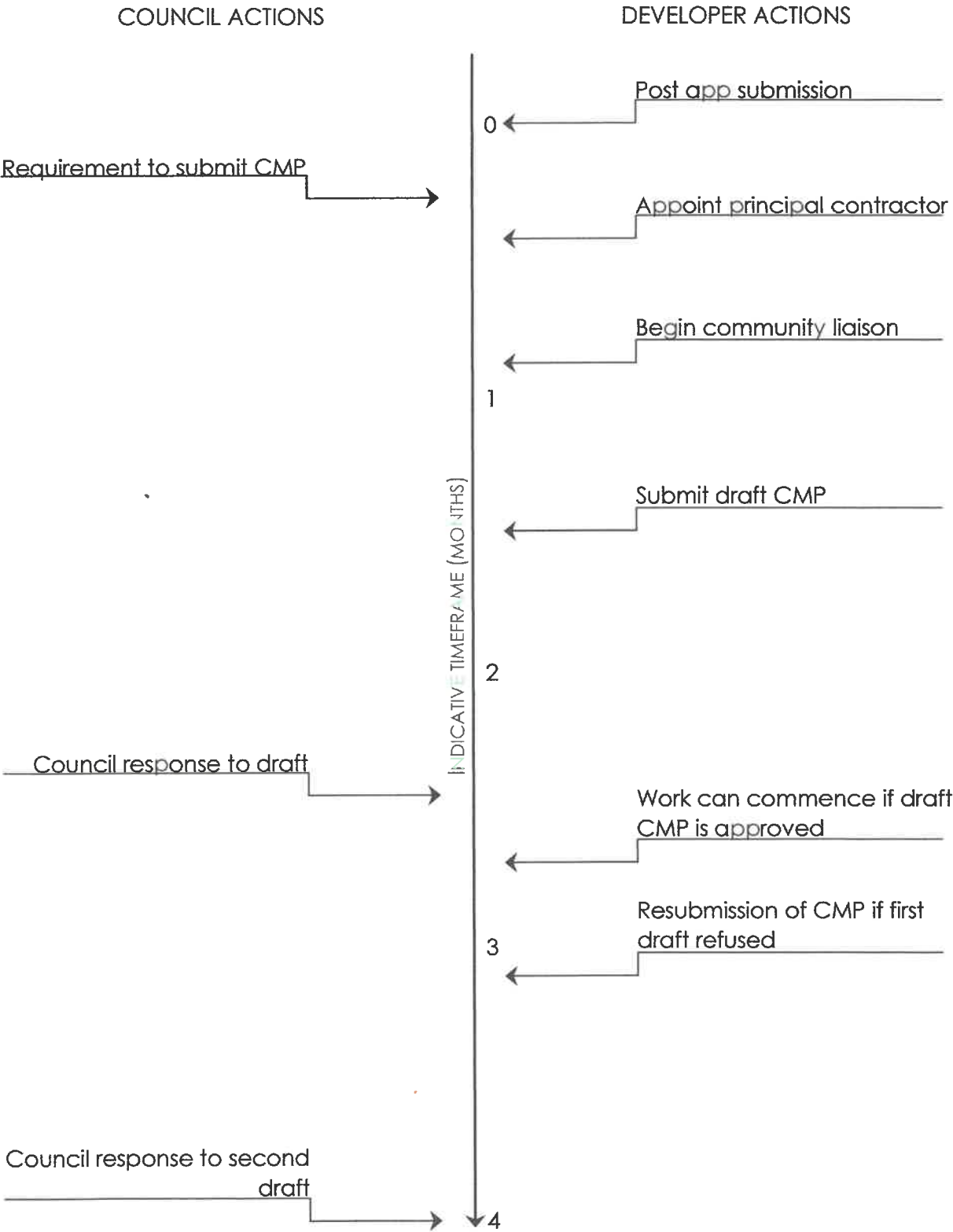
If your scheme involves any demolition, you need to make an application to the Council's Building Control Service.

Please complete the questions below with additional sheets, drawings and plans as required. The boxes will expand to accommodate the information provided, so please provide as much information as is necessary. It is preferable if this document is completed electronically and submitted as a Word file to allow comments to be easily documented.

(Note the term 'vehicles' used in this document refers to all vehicles associated with the implementation of the development, e.g. demolition, site clearance, delivery of plant & materials, construction, etc.)

Revisions to this document may take place periodically.

**TIMEFRAME**



# Contact

1. Please provide the full postal address of the site and the planning reference relating to the construction works.

Address: 31 Willoughby Road, London NW3 1RT

Planning reference number to which the CMP applies:

Type of CMP: **Planning Obligation**

2. Please provide contact details for the person responsible for submitting the CMP.

Name: Principal Contractor to be appointed

Address:

Email:

Phone:

3. Please provide full contact details of the site project manager responsible for day-to-day management of the works and dealing with any complaints from local residents and businesses.

Name: Principal Contractor to be appointed

Address:

Email:

Phone:

PBA Mayfair London



4. Please provide full contact details of the person responsible for community liaison and dealing with any complaints from local residents and businesses if different from question 3. In the case of Community Investment Programme (CIP), please provide contact details of the Camden officer responsible.

Name: Principal Contractor to be appointed

Address:

Email:

Phone:

5. Please provide full contact details including the address where the main contractor accepts receipt of legal documents for the person responsible for the implementation of the CMP.

Name: Principal Contractor to be appointed

Address:

Email:

Phone:

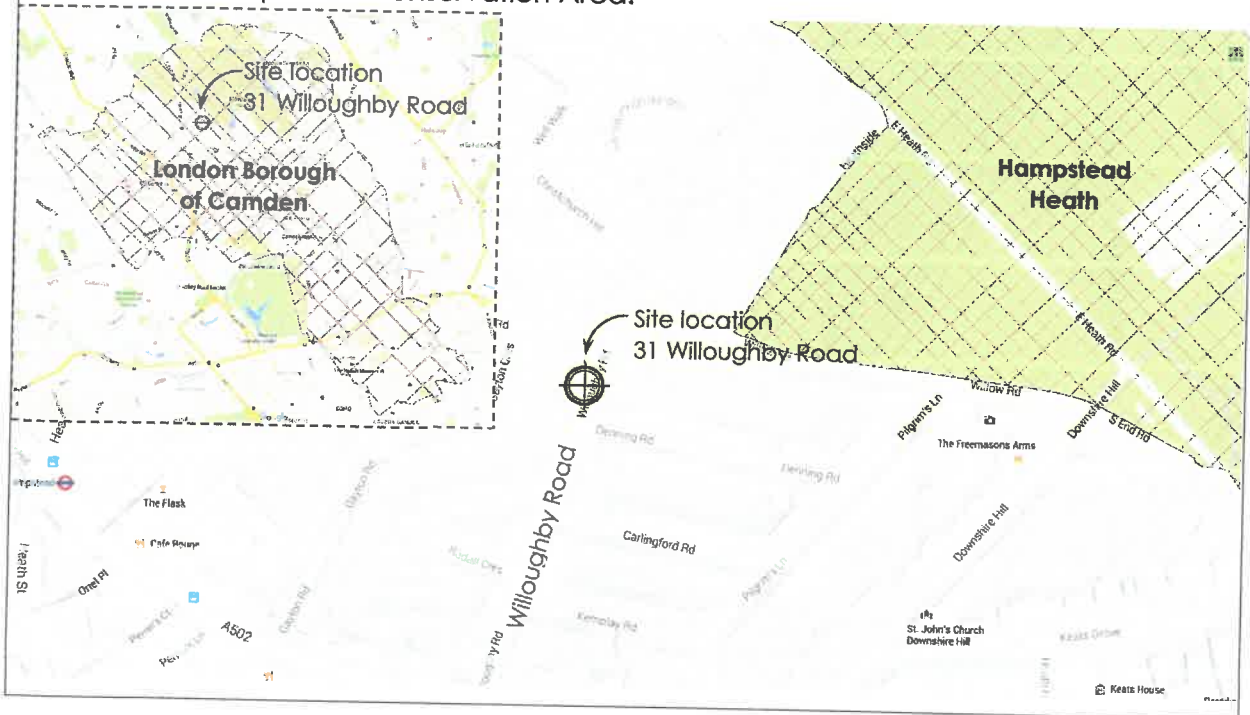
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**SITE**

**1. PLEASE PROVIDE A SITE LOCATION PLAN AND A BRIEF DESCRIPTION OF THE SITE, SURROUNDING AREA AND DEVELOPMENT PROPOSALS FOR WHICH THE CMP APPLIES.**

The property is situated on the west side of Willoughby Road and comprises a four storey terraced house with an existing basement partial cellar below and a front and rear patio garden. The street scene is characterised mainly by three storey terraced Victorian houses. The site is located within the Willoughby Road/Downshire Hill area of the Hampstead Conservation Area.



**2. PLEASE PROVIDE A VERY BRIEF DESCRIPTION OF THE CONSTRUCTION WORKS INCLUDING THE SIZE AND NATURE OF THE DEVELOPMENT AND DETAILS OF THE MAIN ISSUES AND CHALLENGES (E.G. NARROW STREETS, CLOSE PROXIMITY TO RESIDENTIAL DWELLINGS).**

31 Willoughby Road is now a terraced brick, four storey house comprising timber floors and load bearing masonry walls Victorian built. There is a cellar under part of the property approximately 1.8m deep. There are no signs of significant differential movement and the property appears to be in sound structural condition. It appears the property was originally semi-detached with what now appears to be a 1950's semi-detached property sharing the party wall.

The proposed single storey basement under the existing property extends into the rear garden forming a light well.

The proposed internal works comprise partial removal of the ground floor spine wall and an external wall with a small side extension. No structural works are proposed on the first, second or third floors.

The proposal is to form a new single storey basement structure under the property with light well at the rear with an excavation of approximately 4.1m below existing ground level. At the rear a small single storey extension is proposed, the majority of which replaces an existing extension, built in traditional loadbearing masonry.

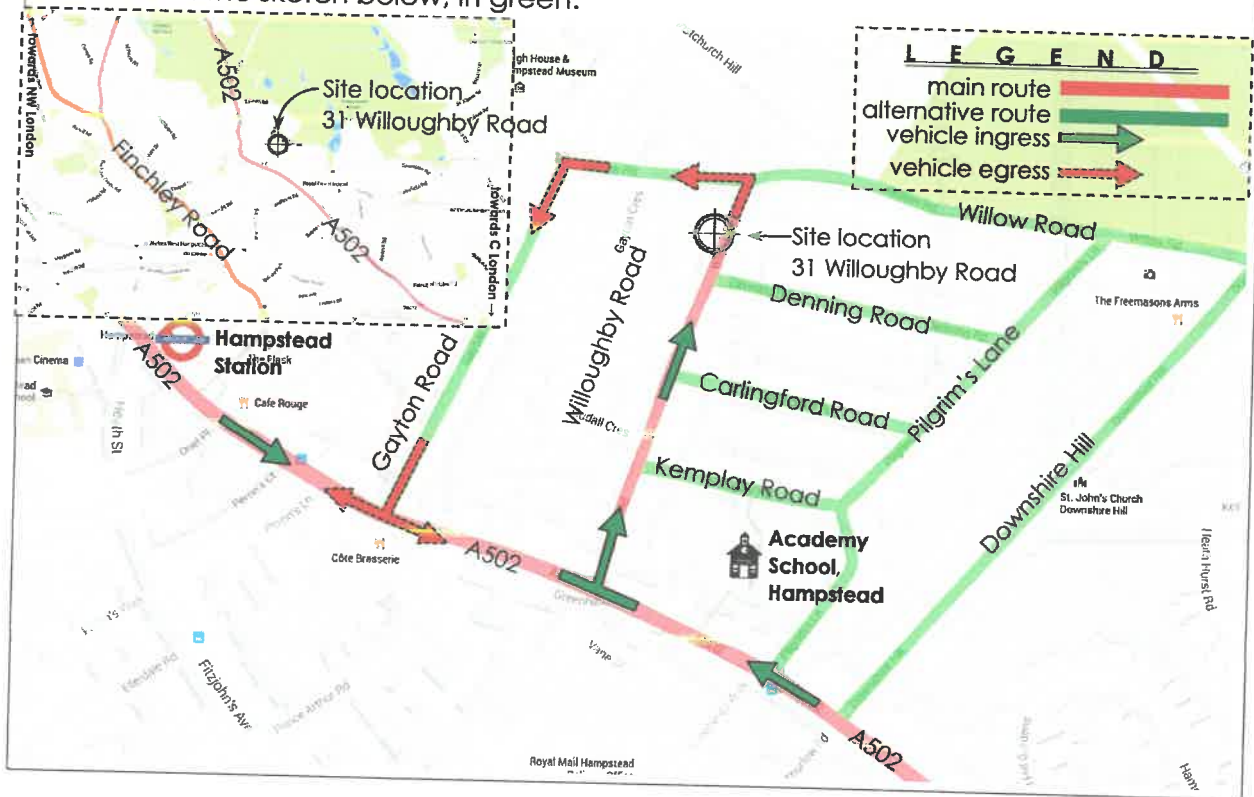


**3. PLEASE IDENTIFY THE NEAREST POTENTIAL RECEPTORS (DWELLINGS, BUSINESS, ETC.) LIKELY TO BE AFFECTED BY THE ACTIVITIES ON SITE (I.E. NOISE, VIBRATION, DUST, FUMES, LIGHTING, ETC.)**

As noted in Section 1 above, the site is located within the Willoughby Road/Downshire Hill Conservation Area, and the occupied residential dwellings adjacent to the site will be made aware of the construction activities – the measures detailed in this CMP will seek to mitigate; noise, vibration, dust, fumes, lighting, etc.

**4. PLEASE PROVIDE A SCALED PLAN DETAILING THE LOCAL HIGHWAY NETWORK LAYOUT IN THE VICINITY OF THE SITE. THIS SHOULD INCLUDE DETAILS OF ON-STREET PARKING BAY LOCATIONS, CYCLE LANES, FOOTWAY EXTENTS AND PROPOSED SITE ACCESS LOCATIONS.**

Due to the location of the site, all construction traffic will approach the site via the A502 which is part of the TFL Road Network and then turn directly onto Willoughby Road. The site is located at the end of Willoughby Road. Because cars can park on both sides of Willoughby Road, construction vehicles will not be able to turn around and will be required to leave the Willoughby Road area via Willow Road and then turn onto Gayton Road which leads back on to the A502. Alternative routes are provided as shown in the sketch below, in green.



**5. PLEASE PROVIDE THE PROPOSED START AND END DATES FOR EACH PHASE OF CONSTRUCTION AS WELL AS AN OVERALL PROGRAMME TIMESCALE. (A GANTT CHART WITH KEY TASKS, DURATIONS AND MILESTONES WOULD BE IDEAL).**

PROJECT START DATE:	TBA
PLANNED COMPLETION DATE:	TBA
ESTIMATED DURATION OF WORKS:	10 weeks – Activity Breakdown on Page 17

**6. PLEASE CONFIRM THE STANDARD WORKING HOURS FOR THIS SITE, NOTING THAT THE STANDARD WORKING**

**HOURS FOR CONSTRUCTION SITES IN CAMDEN ARE AS FOLLOWS:**

The site hours will be:

Monday – Friday	8:00 – 18:00	HGV delvs./coll. limited to 9.30-15.00
Saturday	8:00 – 13:00 (if required)	HGV delvs./coll. limited to 9-12.30 These hours are confirmed as site hours, but could be extended by agreement with neighbours to facilitate a time saving solution and in the interests of progress.
Sunday	N/A hours	

- 7. PLEASE INDICATE IF ANY CHANGES TO SERVICES ARE PROPOSED TO BE CARRIED OUT THAT WOULD BE LINKED TO THE SITE DURING THE WORKS (I.E. CONNECTIONS TO PUBLIC UTILITIES AND/OR STATUTORY UNDERTAKERS' PLANT). LARGER DEVELOPMENTS MAY REQUIRE NEW UTILITY SERVICES. IF SO, A STRATEGY AND PROGRAMME FOR COORDINATING THE CONNECTION OF SERVICES WILL BE REQUIRED. IF NEW UTILITY SERVICES ARE REQUIRED, PLEASE CONFIRM WHICH UTILITY COMPANIES HAVE BEEN CONTACTED (E.G. THAMES WATER, NATIONAL GRID, EDF ENERGY, BT. ETC.) YOU MUST EXPLORE OPTIONS FOR THE UTILITY COMPANIES TO SHARE THE SAME EXCAVATIONS AND TRAFFIC MANAGEMENT PROPOSALS. PLEASE SUPPLY DETAILS OF YOUR DISCUSSIONS.**

The site at 31 Willoughby Road has existing utility services that will need to be altered. We are aware of these works and will commission a utility services survey.

A detailed programme and plan of works will be developed with the respective utility companies to disconnect and or divert their services as necessary.

## COMMUNITY LIAISON

Significant time savings can be made by running an effective neighbourhood consultation process. This should be undertaken in the spirit of cooperation rather than one that is dictatorial and unsympathetic to the wellbeing of local residents and businesses.

These are most effective when initiated as early as possible and conducted in a manner that involves the local community. Involving locals in the discussion and decision making process helps with their understanding of what is being proposed in terms of the development process. Immediate neighbours will be consulted on submission of the application. This communication should then be ongoing during the build, with neighbours and any community liaison groups being regularly updated with programmed works and any changes that may occur due to unforeseen circumstances through newsletters, emails and meetings.

### **CUMULATIVE IMPACT**

SITES LOCATED WITHIN HIGH CONCENTRATIONS OF CONSTRUCTION ACTIVITY THAT WILL ATTRACT LARGE NUMBERS OF VEHICLE MOVEMENTS SHOULD CONSIDER ESTABLISHING CONTACT WITH OTHER SITES IN THE VICINITY IN ORDER TO MANAGE TRAFFIC ROUTEING AND VOLUMES. DEVELOPERS IN THE TOTTENHAM COURT ROAD AREA HAVE DONE THIS TO GREAT EFFECT.

#### Cumulative impact and effect:

We are aware of Camden's requirement for us to consider the cumulative effect of our construction site on the local neighbourhood and environment should there be concurrent construction sites in the immediate location of the site. We have defined what we understand to be the "Local Area" at section 3 (the Site) of this document and currently there are a number of significant construction projects underway – this is Hampstead and therefore no major regeneration works are in progress in this area for London.

The site and works are considered to be a small site and small works.

The power assisted work is to be carried out using small power hand tools via electrical generators, not diesel compressors. Piling works are to be undertaken by a system of auger bores via electrical generators.

Plant deliveries/collections are by Light Goods Vehicles under 3.5 Tonnes GVW

## 1. CONSULTATION

THE COUNCIL EXPECTS MEANINGFUL CONSULTATION. FOR LARGE SITES, THIS MAY MEAN TWO OR MORE MEETINGS WITH LOCAL RESIDENTS PRIOR TO SUBMISSION OF THE FIRST DRAFT CMP.

DETAILS SHOULD INCLUDE WHO WAS CONSULTED, HOW THE CONSULTATION WAS CONDUCTED AND A SUMMARY OF THE COMMENTS RECEIVED IN RESPONSE TO THE CONSULTATION. IN RESPONSE TO THE COMMENTS RECEIVED, THE CMP SHOULD THEN BE AMENDED WHERE APPROPRIATE AND, WHERE NOT APPROPRIATE, A REASON SHOULD BE GIVEN. THE REVISED CMP SHOULD ALSO INCLUDE A LIST OF ALL THE COMMENTS RECEIVED. DEVELOPERS ARE ADVISED TO CHECK PROPOSED APPROACHES TO CONSULTATION WITH THE COUNCIL BEFORE CARRYING THEM OUT. IF YOUR SITE IS ON THE BOUNDARY BETWEEN BOROUGHES THEN WE WOULD RECOMMEND CONTACTING THE RELEVANT NEIGHBOURING PLANNING AUTHORITY.

PLEASE PROVIDE DETAILS OF CONSULTATION OF DRAFT CMP WITH LOCAL RESIDENTS, BUSINESSES, LOCAL GROUPS (E.G. RESIDENTS/TENANTS AND BUSINESS ASSOCIATIONS) AND WARD COUNCILLORS.

- Our Site Manager will be our first point of contact for any liaison with the local community including addressing any complaints or concerns.
- The contact details for our site manager will be displayed prominently on the site gates with communication available with the site manager 24/7.
- Our Site Manager will maintain a log of all visits to the site by the public and neighbours where they wish to make any complaints – any such complaints will be acted upon and report at the Working Group.

## 2. CONSTRUCTION WORKING GROUP

PLEASE PROVIDE DETAILS OF COMMUNITY LIAISON PROPOSALS INCLUDING ANY CONSTRUCTION WORKING GROUP THAT WILL BE SET UP, ADDRESSING THE CONCERNS OF THE COMMUNITY AFFECTED BY THE WORKS, THE WAY IN WHICH THE CONTACT DETAILS OF THE PERSON RESPONSIBLE FOR COMMUNITY LIAISON WILL BE ADVERTISED TO THE LOCAL COMMUNITY, AND HOW THE COMMUNITY WILL BE UPDATED ON THE UPCOMING WORKS I.E. IN THE FORM OF A NEWSLETTER/LETTER DROP, OR WEEKLY DROP IN SESSIONS FOR RESIDENTS.

8 weeks prior to the proposed commencement of works, a leaflet drop will be organised to Willoughby Road, Gayton Road and Willow Road, informing the residents/occupiers of the proposed works. Responses or concerns raised will be considered and where possible integrated into the management plan

### 3. SCHEMES

PLEASE PROVIDE DETAILS OF ANY SCHEMES SUCH AS THE 'CONSIDERATE CONSTRUCTORS SCHEME', SUCH DETAILS SHOULD FORM PART OF THE CONSULTATION AND BE NOTIFIED TO THE COUNCIL. CONTRACTORS WILL ALSO BE REQUIRED TO FOLLOW THE "GUIDE FOR CONTRACTORS WORKING IN CAMDEN" ALSO REFERRED TO AS "CAMDEN'S CONSIDERATE CONTRACTORS MANUAL".

The site will be registered under the Considerate Constructors Scheme and evidence set on the site hoarding with relevant contact details.

Particular initiatives within this plan will include:

- Control of the works so that dust and waste from the construction activities cannot blow into surrounding areas;
- Noise minimisation consistent with good construction practice;
- Clean and neat front of house site presentation;
- Road cleaning as necessary;
- Courteous approach to the public by site personnel
- Carefully scheduled deliveries so that lorries do not back up; and
- Local employment wherever possible.
- A newsletter describing current works will be made available to local residence.
- A target of achieving a minimum score for each CCS inspection criteria of "very good".

### 4. NEIGHBOURING SITES

PLEASE PROVIDE A PLAN OF EXISTING OR ANTICIPATED CONSTRUCTION SITES IN THE LOCAL AREA AND PLEASE STATE HOW YOUR CMP TAKES INTO CONSIDERATION AND MITIGATES THE CUMULATIVE IMPACTS OF CONSTRUCTION IN THE VICINITY OF THE SITE. THE COUNCIL CAN ADVISE ON THIS IF NECESSARY.

We are aware of an application planning reference 2019/5420/L, currently lodged with Camden Council, at number 33 Willoughby Rd NW3. The works to that property will not coincide with the time scales of number 31, but when construction starts, we will communicate with the owner in order to achieve the initiatives as set out in bullet points 3 'SCHEMES' above. Construction traffic will be marshalled to minimize congestion.

## TRANSPORT

**THIS SECTION MUST BE COMPLETED IN CONJUNCTION WITH YOUR PRINCIPAL CONTRACTOR. IF ONE IS NOT YET ASSIGNED, PLEASE LEAVE THE RELEVANT SECTIONS BLANK UNTIL SUCH TIME WHEN ONE HAS BEEN APPOINTED.**

*Camden is a CLOCS Champion, and is committed to maximising road safety for Vulnerable Road Users (VRUs) as well as minimising negative environmental impacts created by motorised road traffic. As such, all vehicles and their drivers servicing construction sites within the borough are bound by the conditions laid out in the CLOCS Standard.*

*This section requires details of the way in which you intend to manage traffic servicing your site, including your road safety obligations with regard to VRU safety. It is your responsibility to ensure that your principal contractor is fully compliant with the terms laid out in the CLOCS Standard. It is your principal contractor's responsibility to ensure that all contractors and sub-contractors attending site are compliant with the terms laid out in the CLOCS Standard.*

*Checks of the proposed measures will be carried out by the council to ensure compliance. Please refer to the CLOCS Standard when completing this section. Guidance material which details CLOCS requirements can be accessed [here](#), details of the monitoring process are available [here](#).*

*Please contact [CLOCS@camden.gov.uk](mailto:CLOCS@camden.gov.uk) for further advice or guidance on any aspect of this section.*

**Please refer to the CLOCS Overview and Monitoring Overview documents which give a breakdown of requirements.**

### CLOCS CONSIDERATIONS

**1. NAME OF PRINCIPAL CONTRACTOR:**

TBA - To be appointed

**2. PLEASE SUBMIT THE PROPOSED METHOD FOR CHECKING OPERATIONAL, VEHICLE AND DRIVER COMPLIANCE WITH THE CLOCS STANDARD THROUGHOUT THE DURATION OF THE CONTRACT (PLEASE REFER TO OUR CLOCS**

**OVERVIEW DOCUMENT IN THE APPENDIX AND CLOCS STANDARD POINT 3.4.7).**

Having reviewed the CLOCS documentation we will be including within our sub contract orders the requirements for compliance, including:

- All contractors vehicles will be certified by the Fleet Operators Recognition Scheme (FORS)
- Any collisions or incidents involving vehicles serving our sites will be thoroughly investigated
- Traffic routing will be strictly policed (see routes defined earlier in the CMP)
- Vehicles will be fitted with all necessary warning signage, side protection, blind spot mirrors & vehicle manoeuvre warnings

**3.4.7 Supply chain compliance**

**Requirement**

Clients shall ensure contractor and sub-contractor compliance with requirements 3.1.1 to 3.3.2.

**Purpose**

To ensure that requirements are being adhered to across the supply chain.

**Demonstration**

The client should ensure that it is a contractual requirement for the contractor to check vehicles entering site and to take the appropriate action under the contract.

The client should request from the contractor a plan and / or process for complying with the contract.

The client should also undertake regular audits of the contractor's process and compliance checks. This audit should include random vehicle compliance checks undertaken by the client.

The client may request that every reporting period the contractor should submit to the client a summary of those checks and details the corrective action taken in the case of non-compliance.

- 3. PLEASE CONFIRM THAT YOU AS THE CLIENT/DEVELOPER AND YOUR PRINCIPAL CONTRACTOR HAVE READ AND UNDERSTOOD THE CLOCS STANDARD AND INCLUDED IT IN YOUR CONTRACTS. PLEASE SIGN-UP TO JOIN THE CLOCS COMMUNITY TO RECEIVE UP TO DATE INFORMATION ON THE STANDARD BY EXPRESSING AN INTEREST ONLINE.**

*I confirm that I have included the requirement to abide by the CLOCS Standard in my contracts to my contractors and suppliers:*

To be signed by the Principal Contractor after appointment

- \* Please contact [CLOCS@camden.gov.uk](mailto:CLOCS@camden.gov.uk) for further advice or guidance on any aspect of this section.

**SITE TRAFFIC**

SECTIONS BELOW SHOWN IN BLUE DIRECTLY REFERENCE THE CLOCS STANDARD REQUIREMENTS.  
THE CLOCS STANDARD SHOULD BE READ IN CONJUNCTION WITH THIS SECTION.

4. **Traffic routing:** "Clients shall ensure that a suitable, risk assessed vehicle route to the site is specified and that the route is communicated to all contractors and drivers. Clients shall make contractors and any other service suppliers aware that they are to use these routes at all times unless unavoidable diversions occur." (P19, 3.4.5)

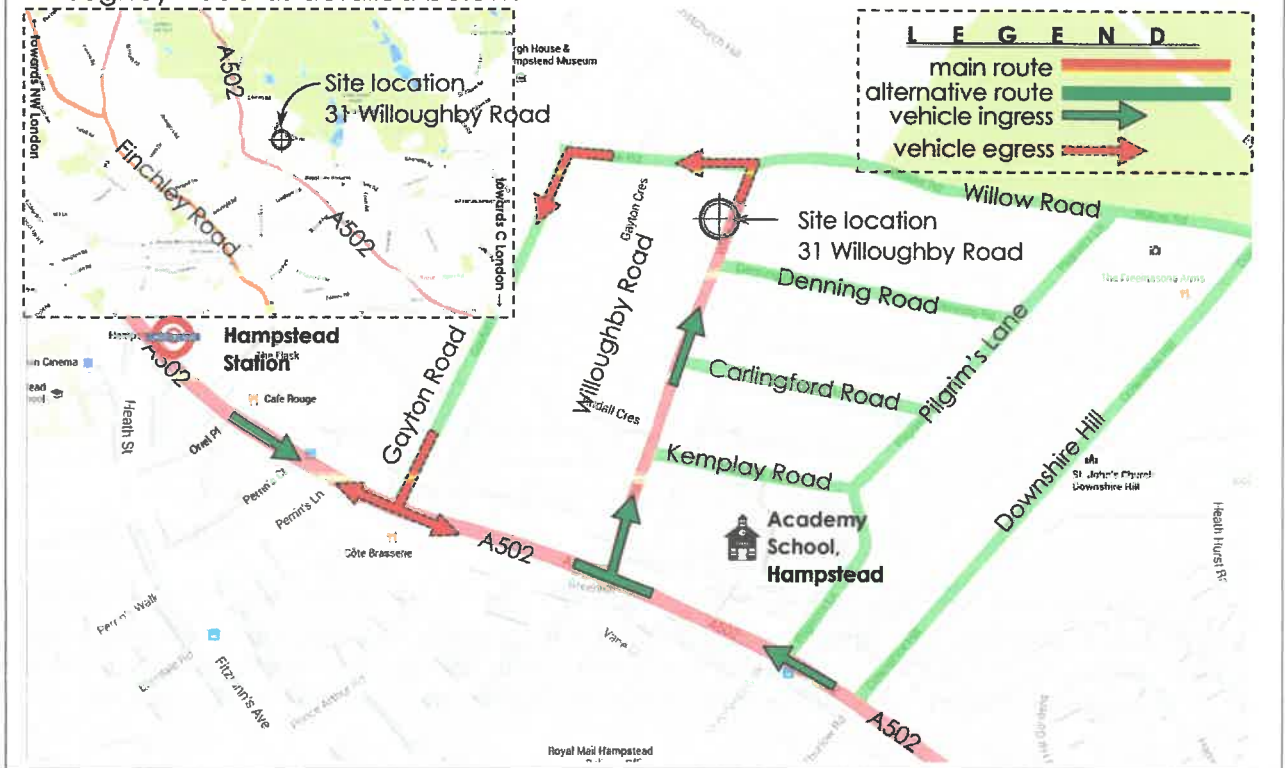
Routes should be carefully considered and risk assessed, taking into account the need to avoid where possible any major cycle routes and trip generators such as schools, offices, public buildings, museums etc. Where appropriate, on routes that use high risk junctions (i.e. those that attract high volumes of cycling traffic) installing Trixi mirrors to aid driver visibility should be considered.

Consideration should also be given to weight restrictions, low bridges and cumulative impacts of construction (including neighbouring construction sites) on the public highway network.

The route(s) to and from the site should be suitable for the size of vehicles that are to be used.

- a. PLEASE INDICATE ROUTES ON A DRAWING OR DIAGRAM SHOWING THE PUBLIC HIGHWAY NETWORK IN THE VICINITY OF THE SITE INCLUDING DETAILS OF LINKS TO THE TRANSPORT FOR LONDON ROAD NETWORK (TLRN).

All construction traffic will approach the site via the A502 which is part of the TFL Road Network and then turn directly onto Willoughby Road. The site is located at the end of Willoughby Road as detailed below.



- b. PLEASE CONFIRM HOW CONTRACTORS, DELIVERY COMPANIES AND VISITORS WILL BE MADE AWARE OF THE ROUTE (TO AND FROM THE SITE) AND OF ANY ON-SITE RESTRICTIONS, PRIOR TO UNDERTAKING JOURNEYS.



We will ensure that all sub-contractors and suppliers that are part of our supply chain who have to make deliveries to site will be members of Transport for London's Fleet Operator Recognition Scheme (FORS) or similar at the Bronze level. We will use our contractor selection process and procurement process to only select contractors who are members of FORS (or similar), by doing this we will be using drivers who are aware of the demands of driving large vehicles in central London in particular the awareness of cyclists.

By using suppliers and subcontractors who are FORS (or similar) members then all delivery vehicles will have:

- i. Have Side Guards fitted, unless it can be demonstrated to the reasonable satisfaction of the Employer, that the Lorry will not perform the function, for which it was built, if Side Guards are fitted.
- ii. Have a close proximity warning system fitted comprising of a front mounted, rear facing CCTV camera (or Fresnel Lens where this provides reliable alternative), a Close Proximity Sensor, an in-cab warning device (visual or audible) and an external warning device to make the road user in close proximity aware of the driver's planned manoeuvre.
- iii. Have a Class VI Mirror
- iv. Bear prominent signage on the rear of the vehicle to warn cyclists of the dangers of passing the vehicle on the inside.

Also, we will supply this Construction Management Plan to all companies which will be providing heavy deliveries or waste removals from site and notify them of the methods detailed in this plan and any specifics of the site. Where possible we will work with companies we have successfully collaborated with before in the past and whose drivers are familiar with our methodology.

5. Control of site traffic, particularly at peak hours: "Clients shall consider other options to plan and control vehicles and reduce peak hour deliveries" (P20, 3.4.6)

*Construction vehicle movements are generally acceptable between 9.30am to 4.30pm on weekdays and between 8.00am and 1.00pm on Saturdays). If there is a school in the vicinity of the site or on the proposed access and/or egress routes, then deliveries must be restricted to between 9.30am and 3pm on weekdays during term time. (Refer to the Guide for Contractors Working in Camden).*

*A delivery plan should ensure that deliveries arrive at the correct part of site at the correct time. Instructions explaining such a plan should be sent to all suppliers and contractors. Consideration should be given to the location of any necessary holding areas for large sites with high volumes of traffic. Vehicles must not wait or circulate on the public highway. Whilst deliveries should be given set times to arrive, dwell and depart, no undue time pressures should be placed upon the driver at any time.*

- a. PLEASE PROVIDE DETAILS OF THE TYPICAL SIZES OF ALL VEHICLES AND THE APPROXIMATE FREQUENCY AND TIMES OF DAY WHEN THEY WILL NEED ACCESS TO THE SITE, FOR EACH PHASE OF CONSTRUCTION. YOU SHOULD ESTIMATE THE AVERAGE DAILY NUMBER OF VEHICLES DURING EACH MAJOR PHASE OF THE WORK, INCLUDING THEIR DWELL TIME AT THE SITE. HIGH NUMBERS OF VEHICLES PER DAY AND/OR LONG DWELL TIMES MAY REQUIRE

VEHICLE HOLDING PROCEDURES.

Set out in the table below is the expected deliveries and vehicle movements. Clear directives will be given to all contractors and suppliers that if lorries are waiting to deliver to a site then engines must be turned off – there is to be no idling of engines.

Activity	Vehicle Frequency	Type of vehicle
<ul style="list-style-type: none"> <li>- Site set up</li> <li>- Preparation for Underpinning works</li> </ul> <p>(approx. 2 weeks)</p>	<ul style="list-style-type: none"> <li>- Max of 4 movements in total</li> </ul>	<ul style="list-style-type: none"> <li>- Skip lorries x 2,</li> <li>- Delivery/collection lorries (17 tonnes) x 2</li> </ul>
<ul style="list-style-type: none"> <li>- Groundworks</li> <li>- Underpinning</li> <li>- Steel installation</li> <li>- Excavation</li> </ul> <p>(approx. 16 weeks)</p>	<ul style="list-style-type: none"> <li>- Average of 1 per 2 days</li> <li>- Approximately 22 no.</li> <li>- 1 per day (15 no.).</li> </ul>	<ul style="list-style-type: none"> <li>- Grab lorries</li> <li>- Concrete lorries</li> </ul>
<ul style="list-style-type: none"> <li>- Superstructure works</li> </ul> <p>(approx. 10 weeks)</p>	<ul style="list-style-type: none"> <li>- Average of 1 per 2<sup>nd</sup> day, 3 - 4 LGV units per week</li> <li>- 1 no. HGV unit per 3 days – 14 no. HGV</li> </ul>	<ul style="list-style-type: none"> <li>- Rigid lorries and LGV's, delivering timber, plasterboard and fittings and 'wait and load' removal of arisings</li> </ul>
<ul style="list-style-type: none"> <li>- HGV delivery/collection daily times limited to between the hours of 9.30 – 15.00 in reference to Academy School</li> </ul>		

b. PLEASE PROVIDE DETAILS OF OTHER DEVELOPMENTS IN THE LOCAL AREA OR ON THE ROUTE.

We have assessed the local area and the main route to the site and believe that there are not any current projects of significance that will impact on our works or on theirs. Should other projects come on-line when we will liaise with these projects and expect them to contract us so that our planning and traffic management is coordinated.

c. PLEASE OUTLINE THE SYSTEM THAT IS TO BE USED TO ENSURE THAT THE CORRECT VEHICLE ATTENDS THE CORRECT PART OF SITE AT THE CORRECT TIME.

All deliveries will be pre booked and all delivery times will be known by the site. This will be controlled and managed by our on-site Manager. This will be achieved via the use of our sub-contractor and works coordination meetings where we will have short term look-a-head programmes that will include the booking of deliveries.

d. PLEASE IDENTIFY THE LOCATIONS OF ANY OFF-SITE HOLDING AREAS (AN APPROPRIATE LOCATION OUTSIDE THE BOROUGH MAY NEED TO BE IDENTIFIED, PARTICULARLY IF A LARGE NUMBER OF DELIVERY VEHICLES ARE EXPECTED) AND ANY MEASURES THAT WILL BE TAKEN TO ENSURE THE PROMPT ADMISSION OF VEHICLES TO SITE IN LIGHT OF TIME REQUIRED FOR NECESSARY COMPLIANCE CHECKS. PLEASE REFER TO QUESTION 5 IF ANY

PARKING BAY SUSPENSIONS WILL BE REQUIRED FOR THE HOLDING AREA.

Due to the nature of the works at 31 Willoughby Road, we do not anticipate the need for any off site holding areas, this being due to the fact that the project is a "small project" and all deliveries will be coordinated and managed on a "just-in-time" basis.

- e. PLEASE PROVIDE DETAILS OF ANY OTHER MEASURES DESIGNED TO REDUCE THE IMPACT OF ASSOCIATED TRAFFIC (SUCH AS THE USE OF CONSTRUCTION MATERIAL CONSOLIDATION CENTRES).

Due to the nature of the works at 31 Willoughby Road we do not anticipate the need for any construction material consolidation centres. We will be working with our supply chain to ensure that materials are delivered "just-in-time" for use on each site.

6. Site access and egress: "Clients shall ensure that access to and egress from the site is appropriately managed, clearly marked, understood and clear of obstacles." (P18, 3.4.3)

*Vehicles visiting and leaving the site should be carefully managed, Traffic Marshalls must ensure the safe passage of pedestrians, cyclists and other traffic when vehicles are entering and leaving site, particularly if reversing.*

- a. PLEASE DETAIL THE PROPOSED ACCESS AND EGRESS ROUTES TO AND FROM THE SITE

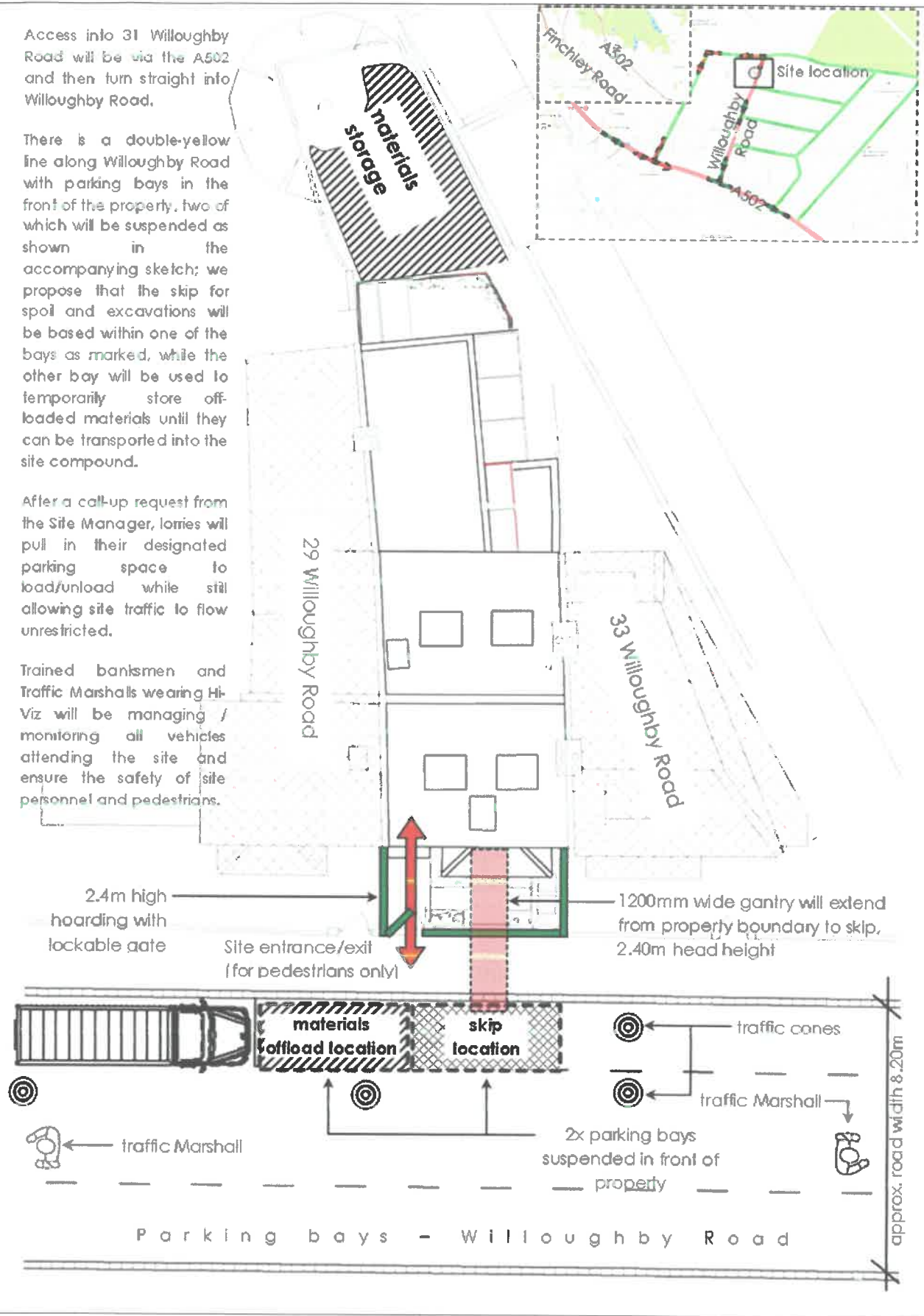
31 Willoughby Road, London NW3 1RT  
**CONSTRUCTION MANAGEMENT PLAN**

Access into 31 Willoughby Road will be via the A502 and then turn straight into Willoughby Road.

There is a double-yellow line along Willoughby Road with parking bays in the front of the property, two of which will be suspended as shown in the accompanying sketch; we propose that the skip for spoil and excavations will be based within one of the bays as marked, while the other bay will be used to temporarily store off-loaded materials until they can be transported into the site compound.

After a call-up request from the Site Manager, lorries will pull in their designated parking space to load/unload while still allowing site traffic to flow unrestricted.

Trained banksmen and Traffic Marshalls wearing Hi-Viz will be managing / monitoring all vehicles attending the site and ensure the safety of site personnel and pedestrians.



- b. PLEASE DESCRIBE HOW THE ACCESS AND EGRESS ARRANGEMENTS FOR CONSTRUCTION VEHICLES WILL BE MANAGED.

Vehicles will not enter the site, but wait and load/unload from the road side, as above. Site Manager to coordinate all deliveries and collections of materials. Vehicle drivers will contact the Site Manager via telephone prior to arrival.

Site manager will then dispatch 1 number operative/banksman to put out signage, cones and barriers in place as required.

One trained traffic marshal will go to the assigned areas to manage traffic whilst the banksman directs the lorry into the predetermined parking spaces so the loading/ Unloading can proceed. One operative will be on standby at all times to clean any Spillages of clay or other deposits instantly.

2 trained operatives will be posted at each side of the lorry ensuring that pedestrians are guided safely through the cordoned off area. Pedestrian safety is of paramount importance, lorries will be prevented from loading/unloading as necessary to ensure pedestrian safety.

Lorry is then dispatched off site when loading/unloading is finished which is between 20 and 30 minutes.

Two number operative's will clean road and footpath, traffic marshals will then remove all signs, cones and barriers into a site storage area.

- c. PLEASE PROVIDE SWEEP PATH DRAWINGS FOR ANY TIGHT MANOEUVRES ON VEHICLE ROUTES TO AND FROM THE SITE INCLUDING PROPOSED ACCESS AND EGRESS ARRANGEMENTS AT THE SITE BOUNDARY (IF NECESSARY).

Detailed swept path analysis has not been carried out due to the fact that the site is accessible for the expected vehicle deliveries.

- d. PROVISION OF WHEEL WASHING FACILITIES SHOULD BE CONSIDERED IF NECESSARY. IF SO, PLEASE PROVIDE DETAILS OF HOW THIS WILL BE MANAGED AND ANY RUN-OFF CONTROLLED.

Wheel wash facilities are not be required as vehicles will not enter the site. However, each site visit is accompanied by an inspection by the banksman to ensure that the site and vehicles remain clear and clean. Pavement and road sweeping is carried out within 5 minutes of any delivery or waste removal as necessary.

7. Vehicle loading and unloading: "Clients shall ensure that vehicles are loaded and unloaded on-site as far as is practicable." (P19, 3.4.4)

*If this is not possible, Traffic Marshalls must ensure the safe passage of pedestrians, cyclists and motor traffic in the street when vehicles are being loaded or unloaded.*

*Please provide details of the parking and loading arrangements for construction vehicles with regard to servicing and deliveries associated with the site (e.g. delivery of materials and plant, removal of excavated material). This is required as a scaled site plan, showing all points of access and where materials, skips and plant will be stored, and how vehicles will access and egress the site. If loading is to take place off site, please identify where this is due to take place and outline the measures you will take to ensure that loading/unloading is carried out safely. Please outline in question 8 if any parking bay suspensions will be required.*

As Item 6.b.

## HIGHWAY INTERVENTIONS

### 8. PARKING BAY SUSPENSIONS AND TEMPORARY TRAFFIC MANAGEMENT ORDERS

*Please note that a parking bay suspension should only be requested where absolutely necessary. Parking bay suspensions are permitted for a maximum of 6 months, suspensions whose duration exceeds 6 months must apply for a Temporary Traffic Order (TTO). For parking bay suspensions of one year or longer, a Traffic Management Order (TMO) must be applied for.*

PLEASE PROVIDE DETAILS OF ANY PROPOSED PARKING BAY SUSPENSIONS AND TEMPORARY TRAFFIC MANAGEMENT ORDERS WHICH WOULD BE REQUIRED TO FACILITATE CONSTRUCTION.

Parking bay suspensions are required – these applications will be applied for in advance of the works commencing and for durations to meet the programme. We envisage we will require 2 number parking bays to be suspended directly in front of the site for a period of no longer than 17 weeks.

### 9. SCALED DRAWINGS OF HIGHWAY WORKS

*Please note that use of the public highway for storage, site accommodation or welfare facilities is at the discretion of the Council and is generally not permitted. If you propose such use you must supply full justification, setting out why it is impossible to allocate space on-site. You must submit a detailed (to-scale) plan showing the impact on the public highway that includes the extent of any hoarding, pedestrian routes, parking bay suspensions and remaining road width for vehicle movements. We prefer not to close footways but if this is unavoidable, you should submit a scaled plan of the proposed diversion route showing key dimensions.*

- a. PLEASE PROVIDE ACCURATE SCALED DRAWINGS OF ANY HIGHWAY WORKS NECESSARY TO ENABLE CONSTRUCTION TO TAKE PLACE (E.G. CONSTRUCTION OF TEMPORARY VEHICULAR ACCESSES).

No highway works are necessary to enable construction works at 31 Willoughby Road.

- b. PLEASE PROVIDE DETAILS OF ALL SAFETY SIGNAGE, BARRIERS AND ACCESSIBILITY MEASURES SUCH AS RAMPS AND LIGHTING ETC.

We will deploy and use all necessary and appropriate safety signage and barriers to ensure that the public are protected and our operatives and work safely at all times. See image below of typical hoardings and signage on our sites:



## 10. DIVERSIONS

WHERE APPLICABLE, PLEASE SUPPLY DETAILS OF ANY DIVERSION, DISRUPTION OR OTHER ANTICIPATED USE OF THE PUBLIC HIGHWAY DURING THE CONSTRUCTION PERIOD (ALTERNATIVELY A PLAN MAY BE SUBMITTED).

No traffic diversions will be necessary. Delivery and spoil removal vehicles will be able to pull in next to the site to allow traffic to pass with the assistance from trained banksmen as detailed in Item 6.b. These measures, combined with timed deliveries will ensure no disturbance to traffic will take place.

## 11. VRU AND PEDESTRIAN DIVERSIONS, SCAFFOLDING AND HOARDING

PEDESTRIANS AND/OR CYCLIST SAFETY MUST BE MAINTAINED IF DIVERSIONS ARE PUT IN PLACE. VULNERABLE FOOTWAY USERS SHOULD ALSO BE CONSIDERED, THESE INCLUDE WHEELCHAIR USERS, THE ELDERLY, THOSE WITH WALKING DIFFICULTIES, YOUNG CHILDREN, THOSE WITH PRAMS, THE BLIND AND PARTIALLY SIGHTED. APPROPRIATE RAMPING MUST BE USED IF CABLES, HOSES, ETC. ARE RUN ACROSS THE FOOTWAY.

ANY WORK ABOVE GROUND FLOOR LEVEL MAY REQUIRE A COVERED WALKWAY ADJACENT TO THE SITE. A LICENCE MUST BE OBTAINED FOR SCAFFOLDING AND GANTRIES. THE ADJOINING PUBLIC HIGHWAY MUST BE KEPT CLEAN AND FREE FROM OBSTRUCTIONS. LIGHTING AND SIGNAGE SHOULD BE USED ON TEMPORARY STRUCTURES/SKIPS/ HOARDINGS, ETC.

A SECURE HOARDING WILL GENERALLY BE REQUIRED TO THE SITE BOUNDARY WITH A LOCKABLE ACCESS

- a. PLEASE PROVIDE DETAILS DESCRIBING HOW PEDESTRIAN AND CYCLIST SAFETY WILL BE MAINTAINED, INCLUDING ANY PROPOSED ALTERNATIVE ROUTES (IF NECESSARY), AND ANY TRAFFIC MARSHALL ARRANGEMENTS.

When vehicles are parking at or leaving the site, these will be supervised by our traffic marshals, Vehicles will be unloaded into loading areas which will be defined- these are noted on the site logistics plans.

The general public/pedestrians will have the right of way along the pathways that surround the site. We do not envisage the need for any pavement closures.

The construction site gates will be kept closed, only when deliveries are made to the site will they be opened. All delivery vehicles will be supervised/controlled by a traffic marshal. Where vehicles are offloading, priority will be given to pedestrians and cyclists for access past such vehicles.

The Site Manager will also ensure the site is regularly patrolled to ensure that any debris is kept clear of the pavements.

Should there be any complaints arising from the works, local residents will be able to call personally to the site offices. Any residents visiting site to raise a complaint will be requested to sign-in.

We will as part of our sub-contractor procurement process ensure that all sub-contractors and suppliers delivering materials to the site follow the conditions outlined in the Standard for Construction Logistics and Cyclist Safety (CLOCS).



The appointed Contracts Manager will deal personally with comments or complaints from the public or neighbours and will ensure that they are resolved swiftly. A record will be kept of all comments and complaints.

- b. PLEASE PROVIDE DETAILS OF ANY TEMPORARY STRUCTURES WHICH WOULD OVERHANG THE PUBLIC HIGHWAY (E.G. SCAFFOLDING, GANTRIES, CRANES ETC.) AND DETAILS OF HOARDING REQUIREMENTS OR ANY OTHER OCCUPATION OF THE PUBLIC HIGHWAY.

All hoarding will be within the confines of the site.

A gantry to facilitate the conveyor to traverse the pavement will be required. This will be 1200mm in width and will extend from the property boundary to the bay suspended for skip storage- as detailed on Section 6a. Gantry to have minimum 2.40m head height for pedestrians to pass under.  
No parts of the gantry (including supporting poles) will bear onto the pavement underneath.

## ENVIRONMENT

To answer these sections please refer to the relevant sections of **Camden's Minimum Requirements for Building Construction (CMRBC)**.

- 1. PLEASE LIST ALL NOISY OPERATIONS AND THE CONSTRUCTION METHOD USED, AND PROVIDE DETAILS OF THE TIMES THAT EACH OF THESE ARE TO BE CARRIED OUT.**

By its nature, construction works can cause noise, noise being created by: mechanical plant, cutting, drilling, hammering and sawing. All noisy work will be restricted to be after 8.30 and before 5.00pm. We will always seek to not carry out noisy work on a Saturday when we are permitted to work between 8am and 1pm.

Detailed earlier in this CMP under the "Site" section there is a description of the sequence of the works setting out the operations that will take place.

The activities that will create "noisy" operation are:

- Use of electrical percussion tools in removal of masonry
- Power saws, angle grinders and the like
- Drilling & the use of nail guns during the fit out

- 2. PLEASE CONFIRM WHEN THE MOST RECENT NOISE SURVEY WAS CARRIED OUT (BEFORE ANY WORKS WERE CARRIED OUT) AND PROVIDE A COPY. IF A NOISE SURVEY HAS NOT TAKEN PLACE PLEASE INDICATE THE DATE (BEFORE ANY WORKS ARE BEING CARRIED OUT) THAT THE NOISE SURVEY WILL BE TAKING PLACE, AND AGREE TO PROVIDE A COPY.**

No noise survey has been carried out

- 3. PLEASE PROVIDE PREDICTIONS FOR NOISE AND VIBRATION LEVELS THROUGHOUT THE PROPOSED WORKS.**

Where possible noise produced by work activities will be reduced or removed by design. When this is not possible controls will be introduced to reduce exposure so as to avoid harm or injury to persons on site or others within the vicinity of the site works. It is envisaged that during the sub-structure works stage, that the use of percussion tools will be 'muffled' by the fact the areas of activity for which they are used is below ground level and therefore will not present unacceptable levels of noise at street level or within adjacent properties

- 4. PLEASE PROVIDE DETAILS DESCRIBING MITIGATION MEASURES TO BE INCORPORATED DURING THE CONSTRUCTION/DEMOLITION WORKS TO PREVENT NOISE AND VIBRATION DISTURBANCES FROM THE ACTIVITIES ON THE SITE, INCLUDING THE ACTIONS TO BE TAKEN IN CASES WHERE THESE EXCEED THE PREDICTED LEVELS.**

The following steps will be taken to ensure that disruptive sound levels will be kept to a minimum. A variety of measures will be used to effect the reduction of noise transmitted from site using best practicable means, this will include:

- Coordinated delivery times and efficient traffic management to prevent queuing traffic accessing the site.
- Ensuring all plant has sound reduction measures (mufflers, baffles or silencers).
- Utilising construction techniques that minimise the production of noise.
- Strict adherence to the site working hours.

**5. PLEASE PROVIDE EVIDENCE THAT STAFF HAVE BEEN TRAINED ON BS 5228:2009**

The principal contractor will ensure that any site managers have successfully completed the Site Managers Safety Training Scheme as run by the CITB. All sub-contractors supervisors will have attended the Site Supervisors Safety Training Scheme as run by the CITB.

Noise awareness will be further enforced via toolbox talks.

**6. PLEASE PROVIDE DETAILS ON HOW DUST NUISANCE ARISING FROM DUSTY ACTIVITIES, ON SITE, WILL BE PREVENTED..**

Demolitions are of a very minor section of the works and can be more accurately described as alteration to minor parts of the existing domestic structure, i.e. apertures and the like.

No demolition of any substantial nature is envisaged

- Water suppression will be used during all masonry removal, with arisings 'bagged up' for removal by wait and load vehicle, thereby removing the possibility of the generation of dust external to the structure
- Light electrical percussion tools will be used in the removal of brickwork, with works being progressed in a 'top down' method, course by course, where possible hand tools will be used, which will limit noise and possible vibration levels

**6.1 Dust impacts**

Dust emissions arising from construction are not significant as the works elements which require dust generating activities are of very small volumes. However, even with a rigorous dust management plan in place, it is not possible to guarantee that the dust mitigation measures will be effective all of the time, for instance under adverse weather conditions. The local community may therefore experience occasional, short-term dust annoyance, the scale of this would not normally be considered sufficient to change the conclusion that the effects will not be significant.

**7. PLEASE PROVIDE DETAILS DESCRIBING HOW ANY SIGNIFICANT AMOUNTS OF DIRT OR DUST THAT MAY BE SPREAD ONTO THE PUBLIC HIGHWAY WILL BE PREVENTED AND/OR CLEANED.**

No vehicles will be entering the site, however the roadway will be checked and cleaned by operatives after any vehicle leaving site

**8. PLEASE PROVIDE DETAILS DESCRIBING ARRANGEMENTS FOR MONITORING OF NOISE, VIBRATION AND DUST LEVELS.**

See statements at parts 4 & 6 above.

9. PLEASE CONFIRM THAT A RISK ASSESSMENT HAS BEEN UNDERTAKEN AT PLANNING APPLICATION STAGE IN LINE WITH THE GLA'S CONTROL OF DUST AND EMISSIONS SUPPLEMENTARY PLANNING GUIDANCE (SPG), AND THE RISK LEVEL THAT HAS BEEN IDENTIFIED, WITH EVIDENCE. PLEASE ATTACH THE RISK ASSESSMENT AS AN APPENDIX IF NOT COMPLETED AT THE PLANNING APPLICATION STAGE.

Planning stage in progress

10. PLEASE CONFIRM THAT ALL OF THE GLA'S 'HIGHLY RECOMMENDED' MEASURES FROM THE SPG DOCUMENT RELATIVE TO THE LEVEL OF RISK IDENTIFIED IN QUESTION 9 HAVE BEEN ADDRESSED BY COMPLETING THE GLA MITIGATION MEASURES CHECKLIST. PLEASE ATTACH THIS AS AN APPENDIX.

Dust control measures in these instances do not require consideration under these measures.

11. IF THE SITE IS A HIGH RISK SITE, 4 REAL TIME DUST MONITORS WILL BE REQUIRED, AS DETAILED IN THE SPG. PLEASE CONFIRM THE LOCATION, NUMBER AND SPECIFICATION OF THE MONITORS IN LINE WITH THE SPG AND CONFIRM THAT THESE WILL BE INSTALLED 3 MONTHS PRIOR TO THE COMMENCEMENT OF WORKS, AND THAT REAL TIME DATA AND QUARTERLY REPORTS WILL BE PROVIDED TO THE COUNCIL DETAILING ANY EXCEEDANCES OF THE THRESHOLD AND MEASURES THAT WERE IMPLEMENTED TO ADDRESS THESE.

The site is not a high risk site.

12. PLEASE PROVIDE DETAILS ABOUT HOW RODENTS, INCLUDING RATS, WILL BE PREVENTED FROM SPREADING OUT FROM THE SITE. YOU ARE REQUIRED TO PROVIDE INFORMATION ABOUT SITE INSPECTIONS CARRIED OUT AND PRESENT COPIES OF RECEIPTS (IF WORK UNDERTAKEN).

The site is currently a residential terraced property with no history of rodent or pest infestation. Should rodents or pests be detected during the course of the works, an approved pest control Company will be brought to site to implement the necessary steps for removal of such infestation. Good and hygienic site housekeeping prevents such infestation, good and hygienic site housekeeping will be rigidly enforced.

13. PLEASE CONFIRM WHEN AN ASBESTOS SURVEY WAS CARRIED OUT AT THE SITE AND INCLUDE THE KEY FINDINGS.

In 1992, planning permission was granted to carry out building work, and site work supervised by Camden Building Control. No asbestos was discovered prior or during the works. The property was built in the late 1800's when asbestos was not in use for building works. Any other hazardous 'notifiable' materials will be removed by approved specialists to approved & licenced tips as necessary.

14. COMPLAINTS OFTEN ARISE FROM THE CONDUCT OF BUILDERS IN AN AREA. PLEASE CONFIRM STEPS BEING TAKEN TO MINIMISE THIS E.G. PROVISION OF SUITABLE SMOKING AREA, TACKLING BAD LANGUAGE AND UNNECESSARY SHOUTING.

The Principal contractor will have, maintain and enforce site rules, which will relate to the areas immediately surrounding the site:

- No radios on site
- No unnecessary noise or shouting on site
- No coarse language
- Courtesy to be extended to all visitors and pedestrians where such persons are or become affected by site works
- Any person or operative who breaches such rules, will be removed from site.

## AGREEMENT

The agreed contents of this Construction Management Plan must be complied with unless otherwise agreed in writing by the Council. This may require the CMP to be revised by the Developer and reapproved by the Council. The project manager shall work with the Council to review this Construction Management Plan if problems arise in relation to the construction of the development. Any future revised plan must be approved by the Council in writing and complied with thereafter.

It should be noted that any agreed Construction Management Plan does not prejudice further agreements that may be required such as road closures or hoarding licences.

Signed: \_\_\_\_\_

Date: \_\_\_\_\_

Print Name: \_\_\_\_\_

Position: \_\_\_\_\_