

**LAWFUL DEVELOPMENT APPLICATION**  
**NOT FOR CONSTRUCTION**



Date	Rev.	Description
07.09.2021	00	Planning application

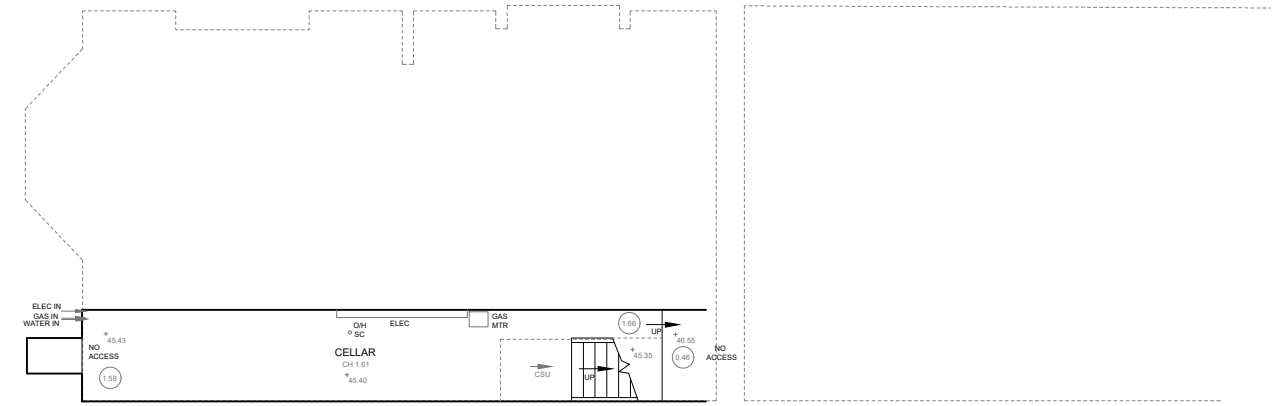
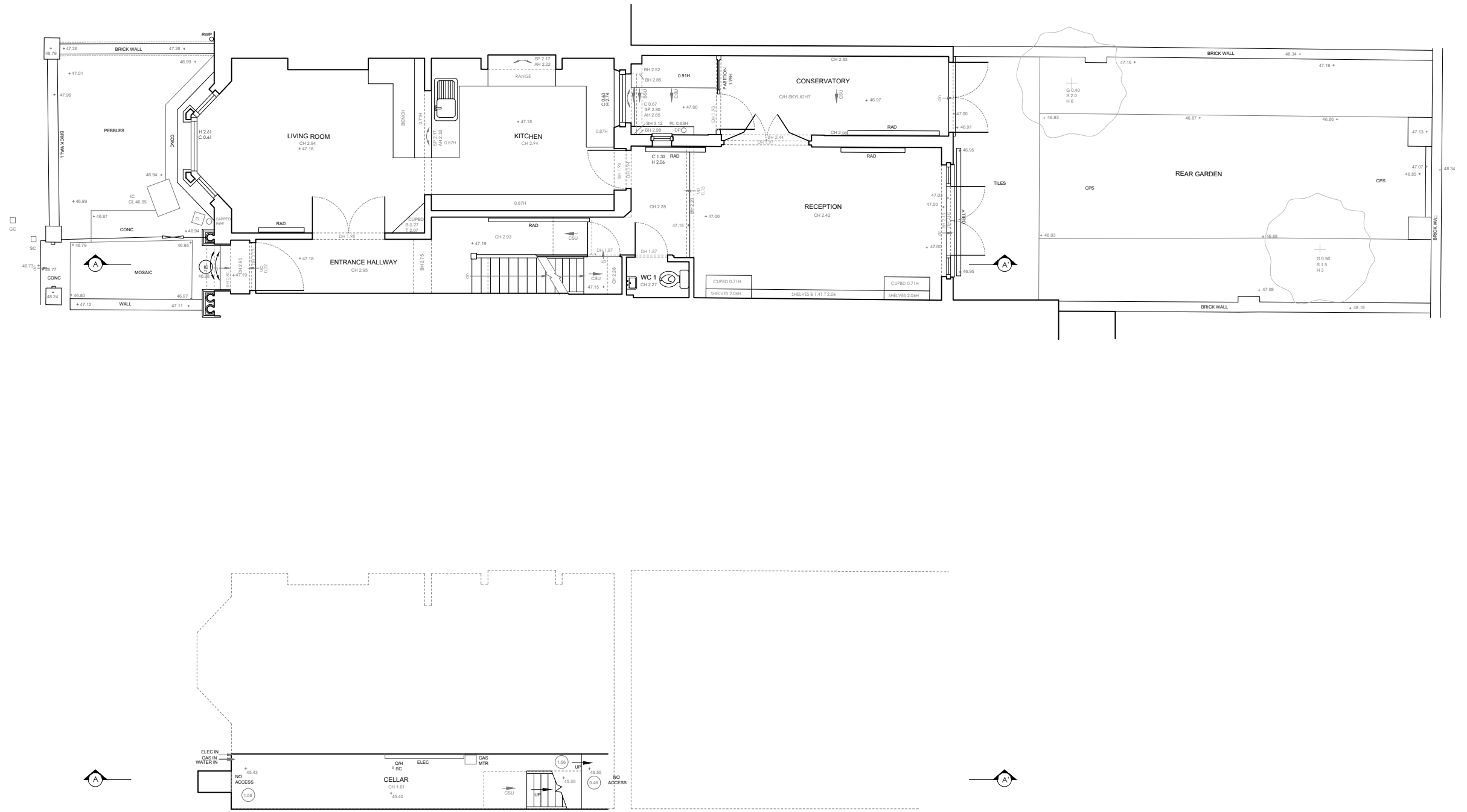
  

project title	: 32 Estelle Road, NW3 2JY
scale	: 1/1250@A3
drawing no.	: ER.EX.099
revision no.	: 00
status	: Planning
date	: 06.09.2021

**MAXWELL**

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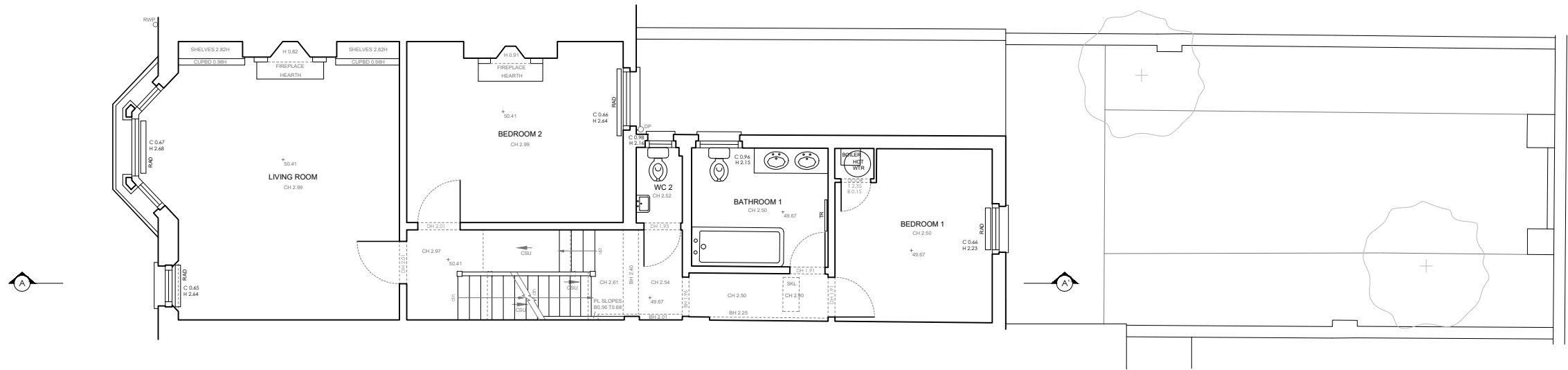


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07.09.2021	00	Planning application	
Date	Rev.	Description	
project title	: 32 Estelle Road, NW3 2JY		
scale	: Existing Basement & GF Plan		
drawing no.	: 1/100@A3		
revision no.	: ER.EX.001		
status	: 00		
date	: Planning		
	: 06.09.2021		
			All drawings to be read in conjunction with structural engineers drawings, specifications, structural report, and M&E drawings. Do not scale. All dimensions are to be checked on site. Discrepancies to be notified to the architect Copyright of this drawing remains with the architect.

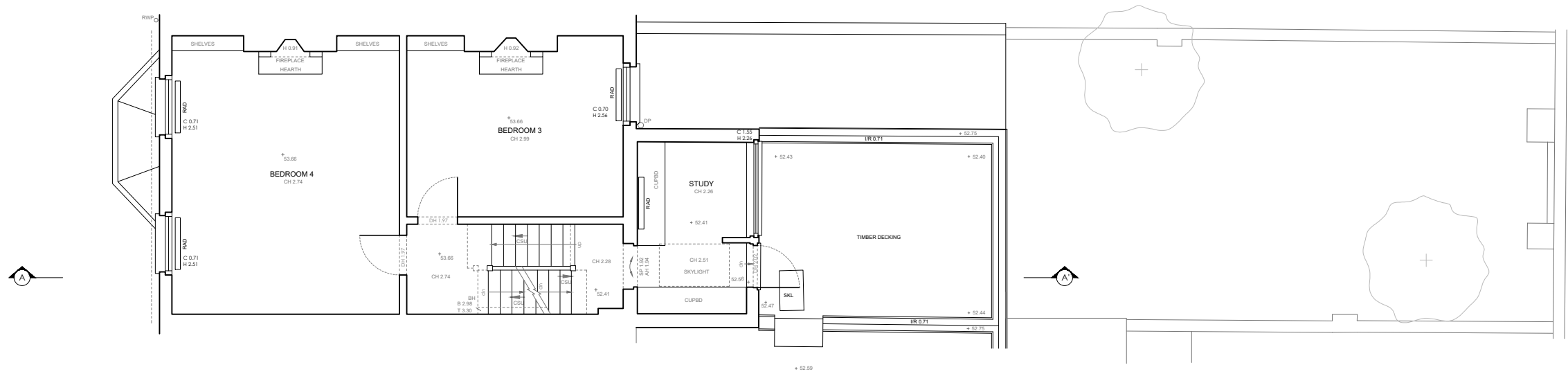


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Date	Rev.	Description	
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scale	: Existing First Floor Plan		
drawing no.	: 1/100@A3		
revision no.	: ER.EX.002		
status	: 00		
date	: Planning : 06.09.2021		

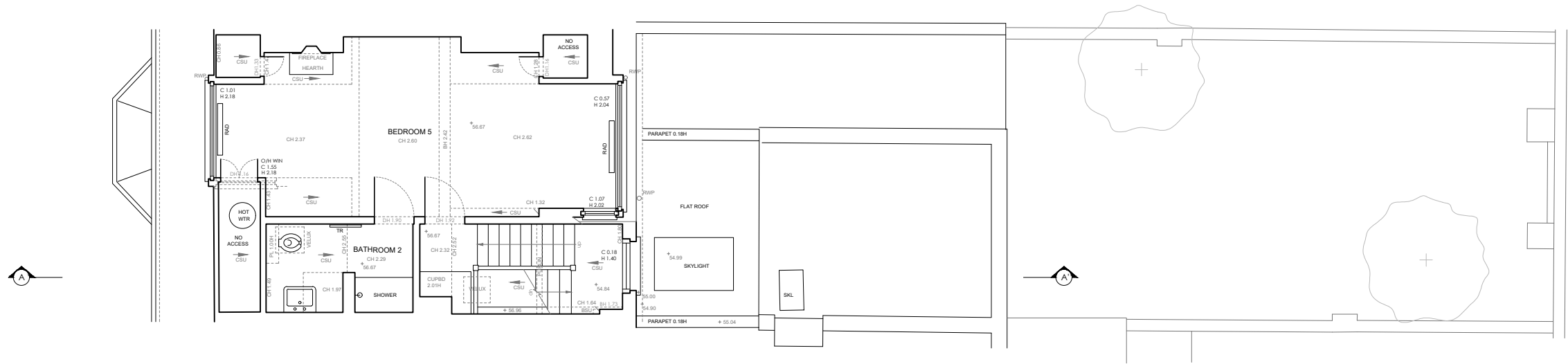


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07.09.2021	00	Planning application	
Date	Rev.	Description	
project title	: 32 Estelle Road, NW3 2JY		
scale	: Existing Second Floor Plan		
drawing no.	: 1/100@A3		
revision no.	: ER.EX.003		
status	: 00		
date	: Planning		
	: 06.09.2021		
		All drawings to be read in conjunction with structural engineers drawings, specifications, structural report, and M&E drawings. Do not scale. All dimensions are to be checked on site. Discrepancies to be notified to the architect Copyright of this drawing remains with the architect.	



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Date	Rev.	Description
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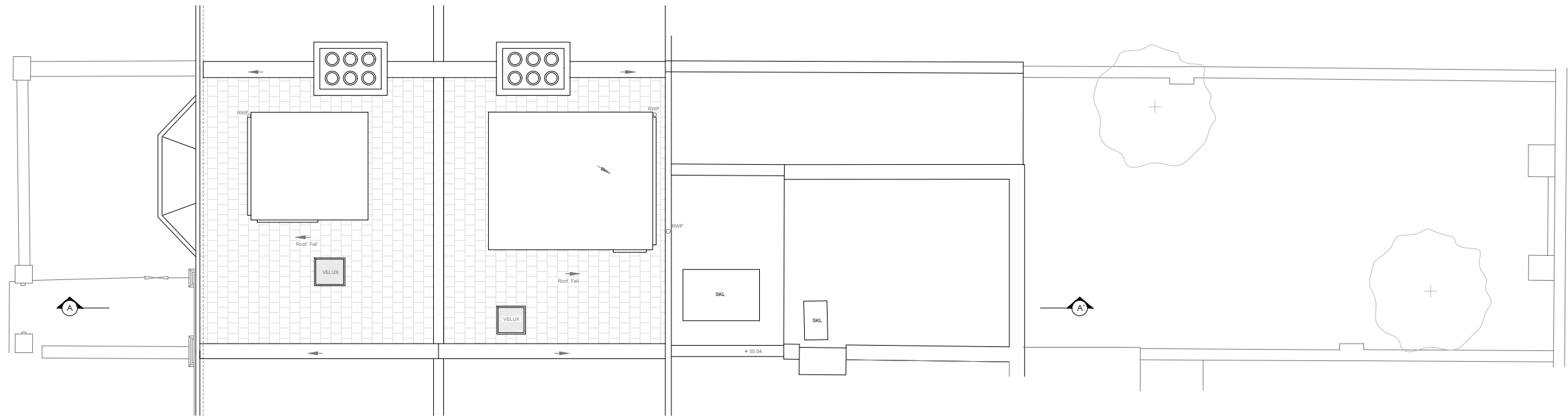
  

project title	: 32 Estelle Road, NW3 2JY
scale	: Existing Third Floor Plan
drawing no.	: 1/100@A3
revision no.	: ER.EX.004
status	: 00
date	: Planning
	: 06.09.2021

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project title : 32 Estelle Road, NW3 2JY  
 scale : 1/100@A3  
 drawing no. : ER.EX.005  
 revision no. : 00  
 status : Planning  
 date : 06.09.2021

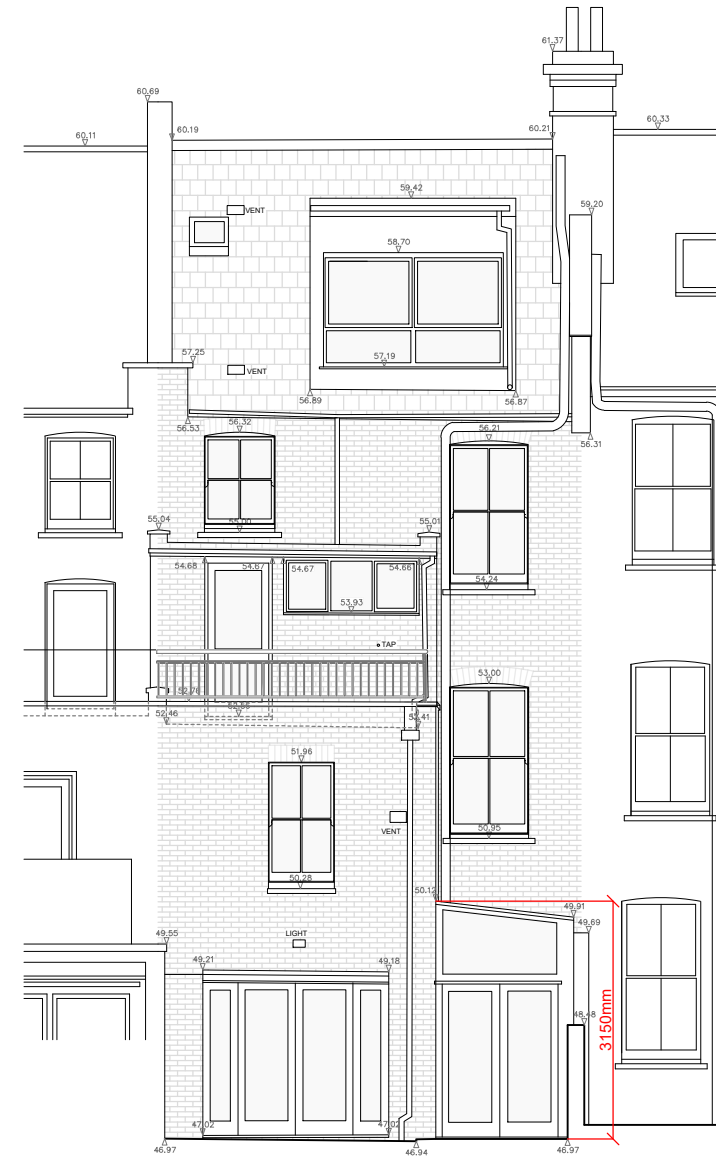
**M A X W E L L**

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DATUM 46.00m A.O.D.



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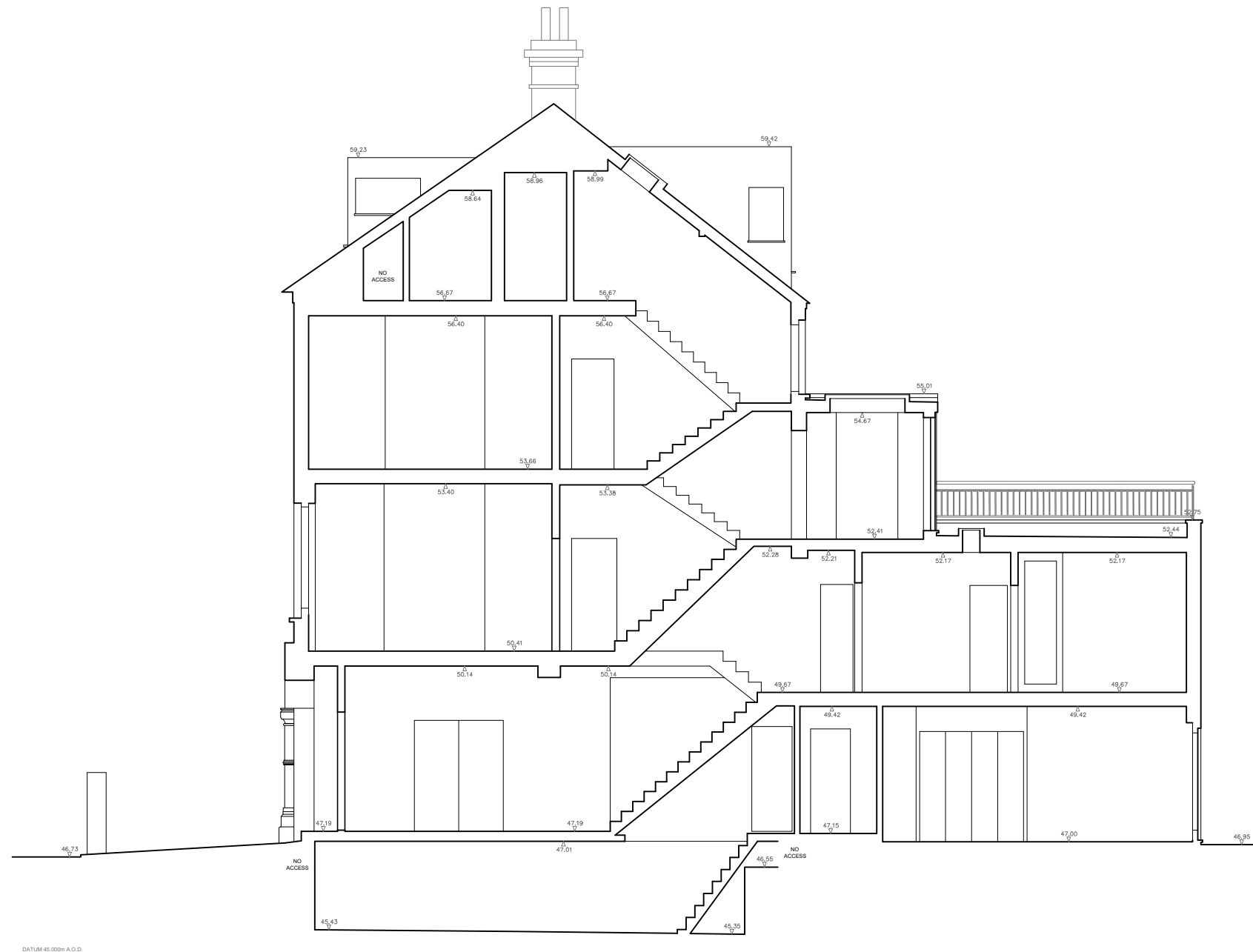
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07.09.2021	00	Planning application	
Date	Rev.	Description	
project title	: 32 Estelle Road, NW3 2JY	: Existing Front And Rear Elevation	All drawings to be read in conjunction with structural engineers drawings, specifications, structural report, and M&E drawings. Do not scale. All dimensions are to be checked on site. Discrepancies to be notified to the architect Copyright of this drawing remains with the architect.
scale	: 1/100@A3		
drawing no.	: ER.EX.006		
revision no.	: 00		
status	: Planning		
date	: 09.09.2021		



DATUM 45.000m A.O.D.

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07.09.2021	00	Planning application	
Date	Rev.	Description	
project title	: 32 Estelle Road, NW3 2JY		
scale	: Existing Section		
drawing no.	: 1/100@A3		
revision no.	: ER.EX.007		
status	: 00		
date	: Planning		
	: 06.09.2021		
		All drawings to be read in conjunction with structural engineers drawings, specifications, structural report, and M&E drawings. Do not scale. All dimensions are to be checked on site. Discrepancies to be notified to the architect Copyright of this drawing remains with the architect.	



3no. existing sash windows to be replace with new double glazed sash window to match existing in style and frame thickness.

Class A Permitted Development Side infill extension.

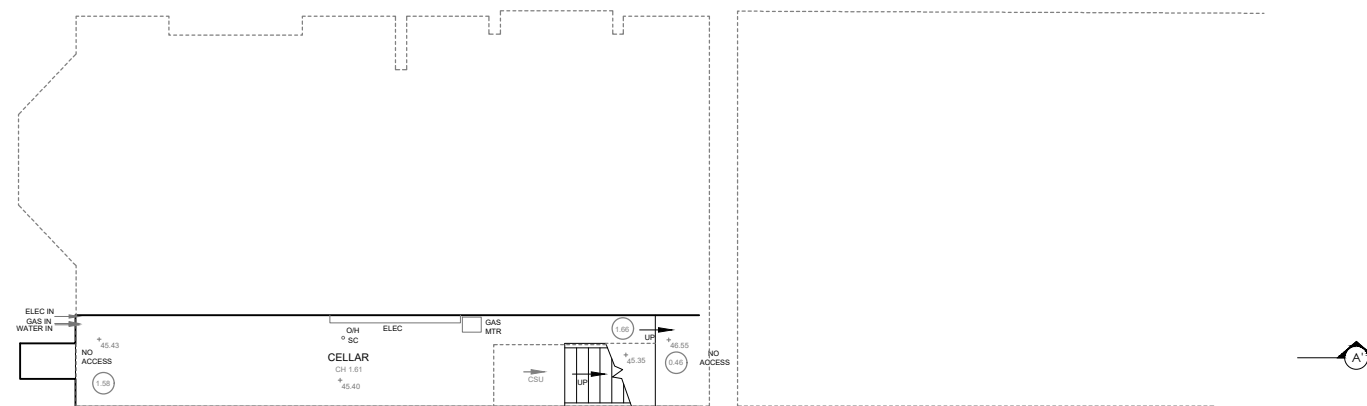
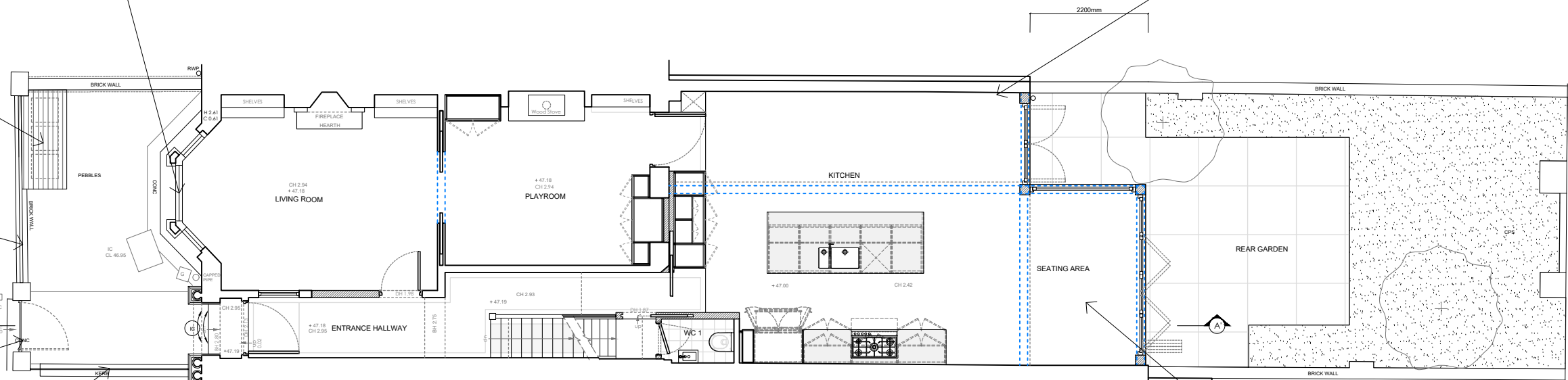
Class A Permitted Development Bin store ( temporary structure).

Class A Part (2) Minor Operation. Railings to be formed on top of wall to not exceed the height of the existing brick pier. (1.3m)

Class A Part (2) Minor Operation. Gate to be formed not to exceed the height of the existing brick Pier. (1.3m)

Class A Part (2) Minor Operation. Railings to be formed between 32 and 30. Style to match gate and wall railing.

Class A Permitted Development Rear extension.



Drawings to be read in conjunction with Permitted Development statement.

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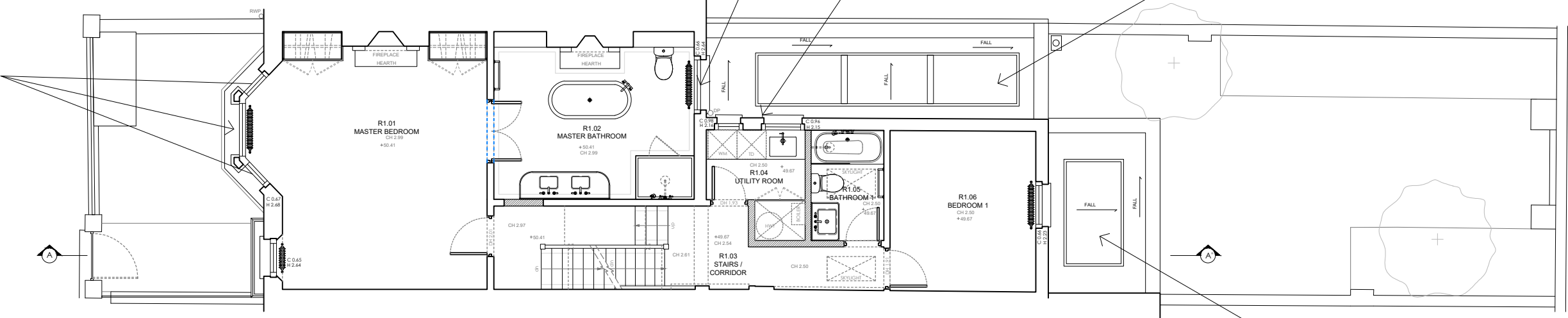
			<b>MAXWELL</b>
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Date	Rev.	Description	
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scale	: 1/100@A3		
drawing no.	: ER.PP.201		
revision no.	: 00		
status	: Planning		
date	: 23.09.2021		

All existing sash windows to be replaced with new double glazed sash window to match existing in style and frame thickness.

All existing sash windows to be replaced with new double glazed sash window to match existing in style and frame thickness.

2no. existing side facing casement windows to be upgraded with double glazed obscure glass.

Class A Permitted Development:  
Side infill extension less than 3 meters in height.  
  
Class C Permitted Development:  
skylight with height no greater than 150mm



Class A Permitted Development:  
Rear extension 2.2 meters in depth and less than 3 meters in height.  
  
Class C Permitted Development:  
skylight with height no greater than 150mm

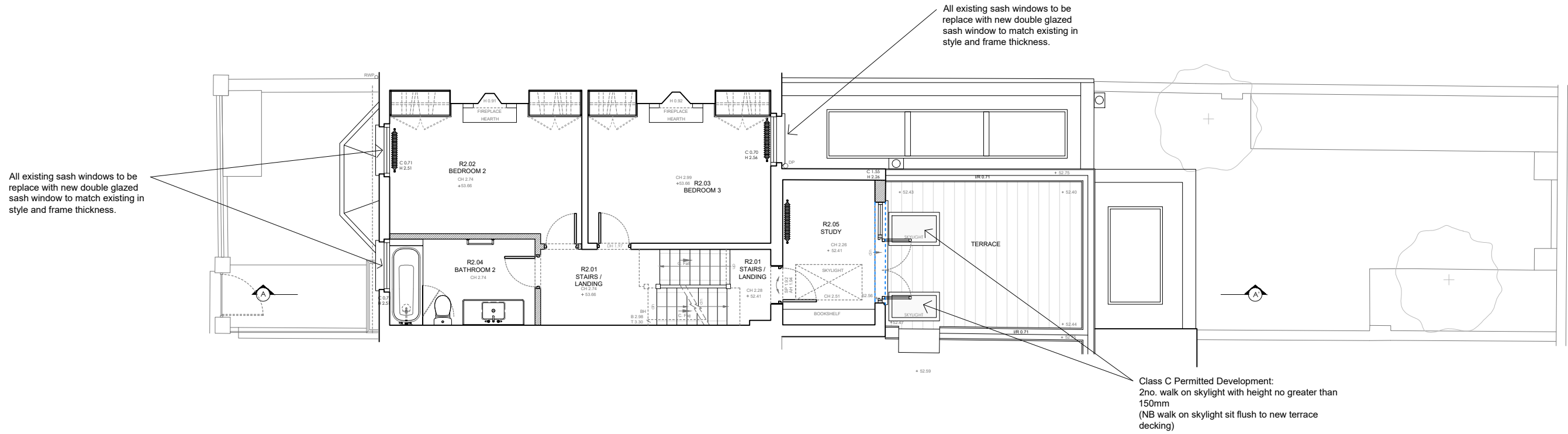
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scale	:	1/100@A3	
drawing no.	:	ER.PP.202	
revision no.	:	00	
status	:	Planning	
date	:	23.09.2021	



Drawings to be read in conjunction with Permitted Development statement.

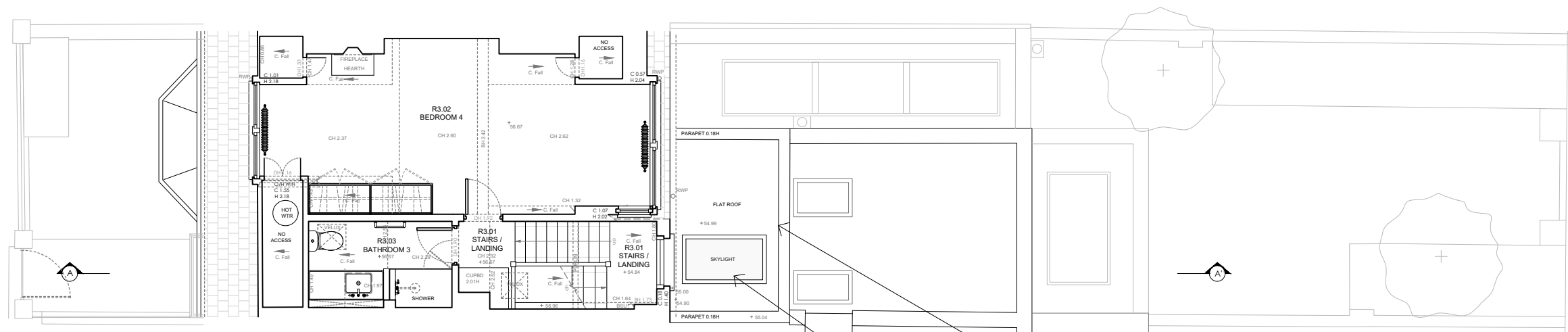
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07.09.2021	00	Planning application	
Date	Rev.	Description	
project title	: 32 Estelle Road, NW3 2JY : Proposed Second Floor Plan		All drawings to be read in conjunction with structural engineers drawings, specifications, structural report, and M&E drawings. Do not scale. All dimensions are to be checked on site. Discrepancies to be notified to the architect Copyright of this drawing remains with the architect.
scale	: 1/100@A3		
drawing no.	: ER.PP.203		
revision no.	: 00		
status	: Planning		
date	: 23.09.2021		



Class B Permitted Development:  
Existing mono-pitch roof to be altered to form a brick parapet roof. Door and window to be replaced with bi folding doors with glazing bars to match sash windows and enhance character of property.

Class C Permitted Development:  
Skylight with height no greater than 150mm to replace existing.

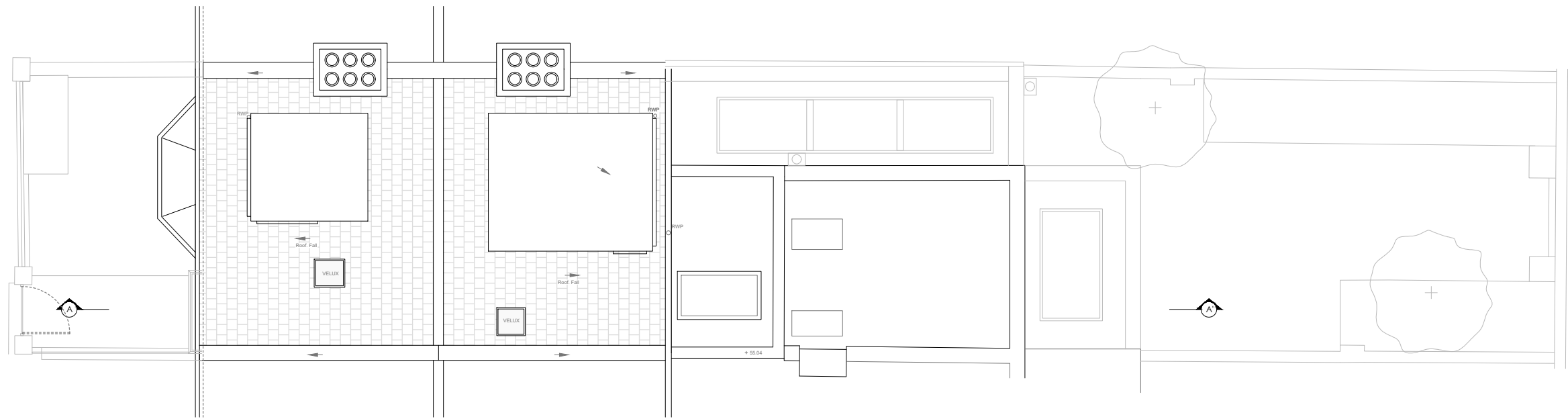
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scale	: 1/100@A3		
drawing no.	: ER.PP.204		
revision no.	: 00		
status	: Planning		
date	: 23.09.2021		



Drawings to be read in conjunction with Permitted Development statement.

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Scale 1:100

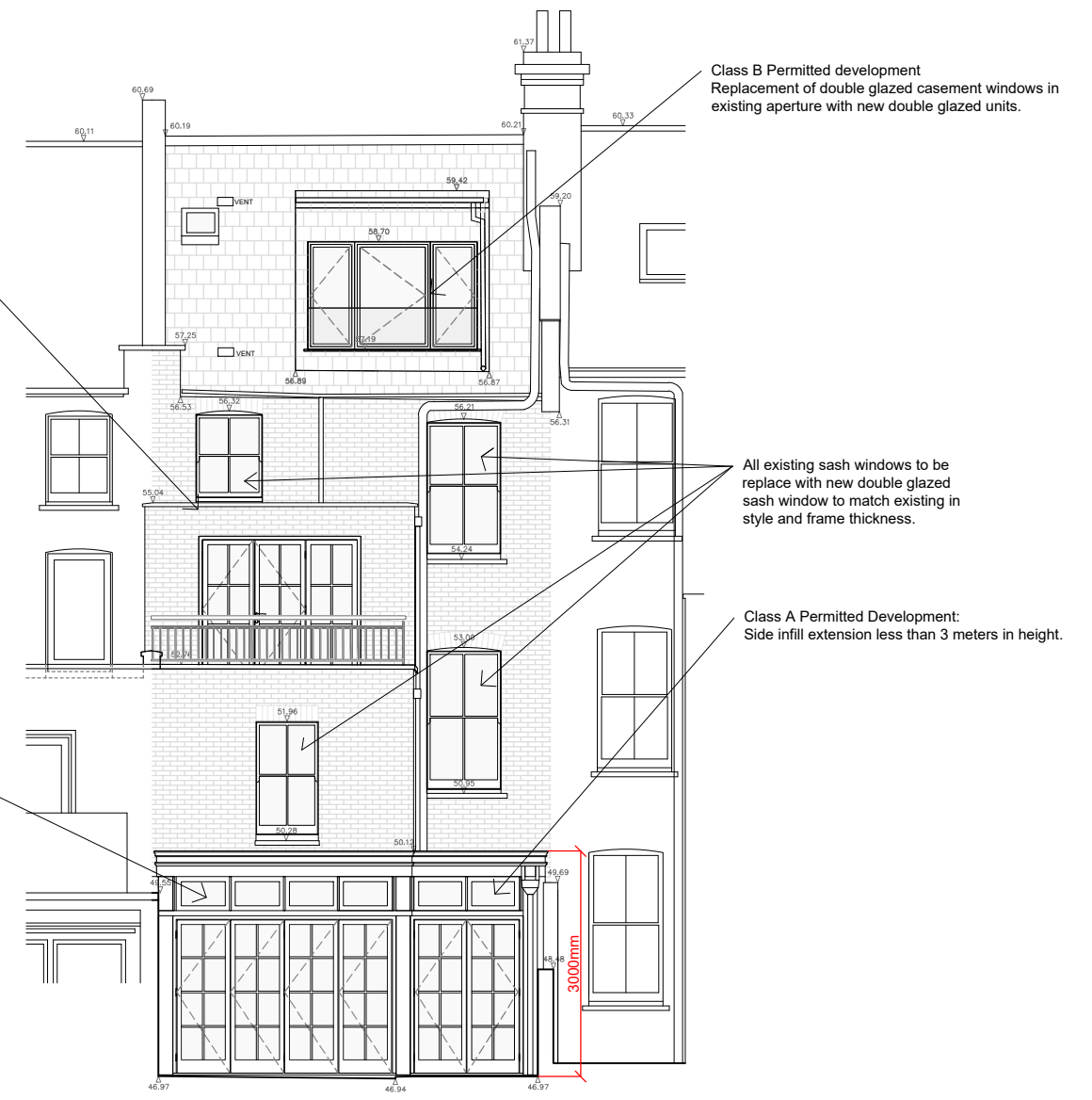


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scale	: 1/100@A3		
drawing no.	: ER.PP.205		
revision no.	: 00		
status	: Planning		
date	: 23.09.2021		



Class B Permitted Development:  
Existing mono-pitch roof to be altered to form a brick parapet roof. Door and window to be replaced with bi folding doors with glazing bars to match sash windows and enhance character of property.

Class A Permitted Development:  
Rear extension 2.2 meters in depth and less than 3 meters in height.



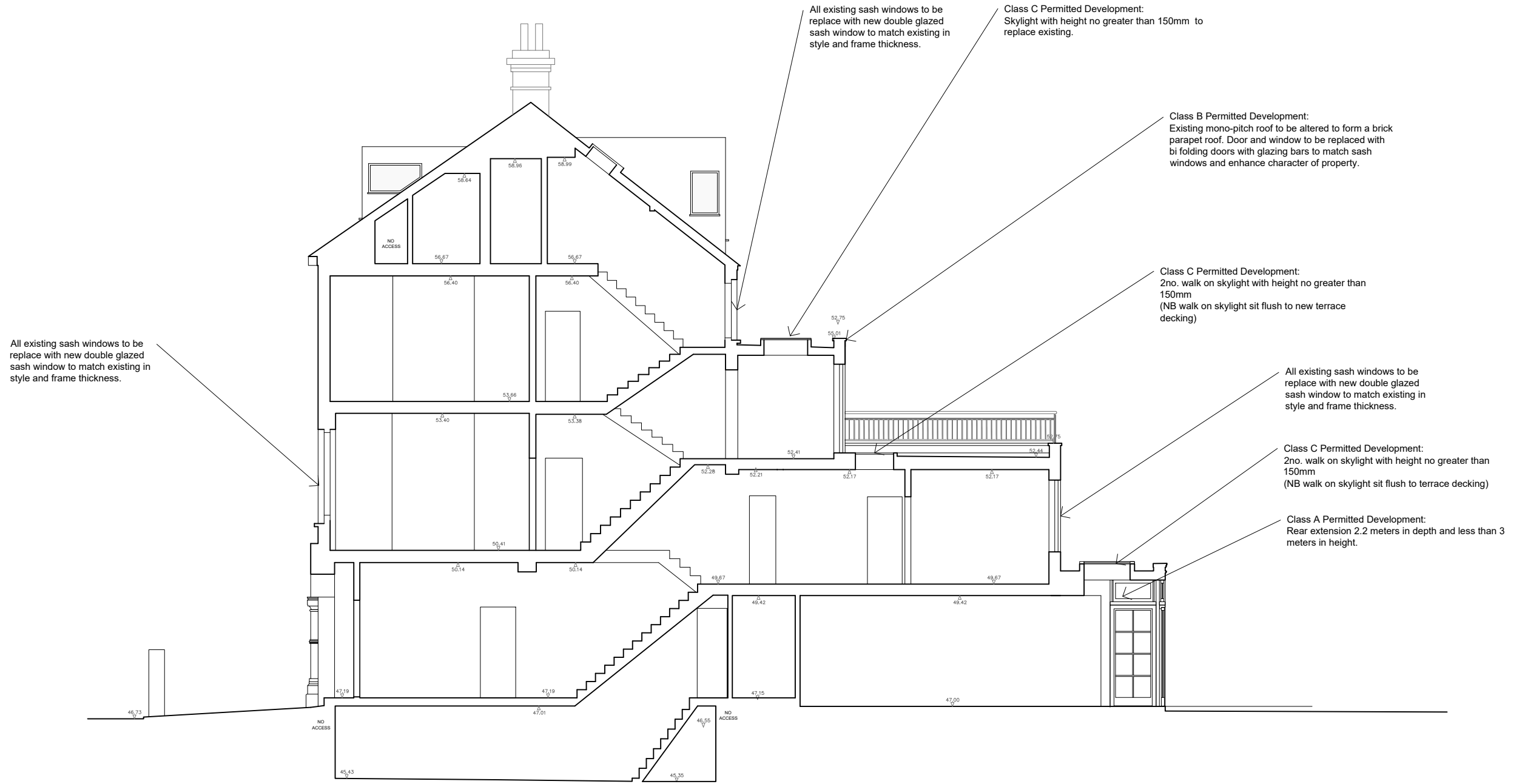
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scale	:	Proposed Front And Rear Elevation	
drawing no.	:	1/100@A3	
revision no.	:	ER.PP.206	
status	:	00	
date	:	Planning	
	:	23.09.2021	



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scale	: 1/100@A3		
drawing no.	: ER.PP.207		
revision no.	: 00		
status	: Planning		
date	: 23.09.2021		