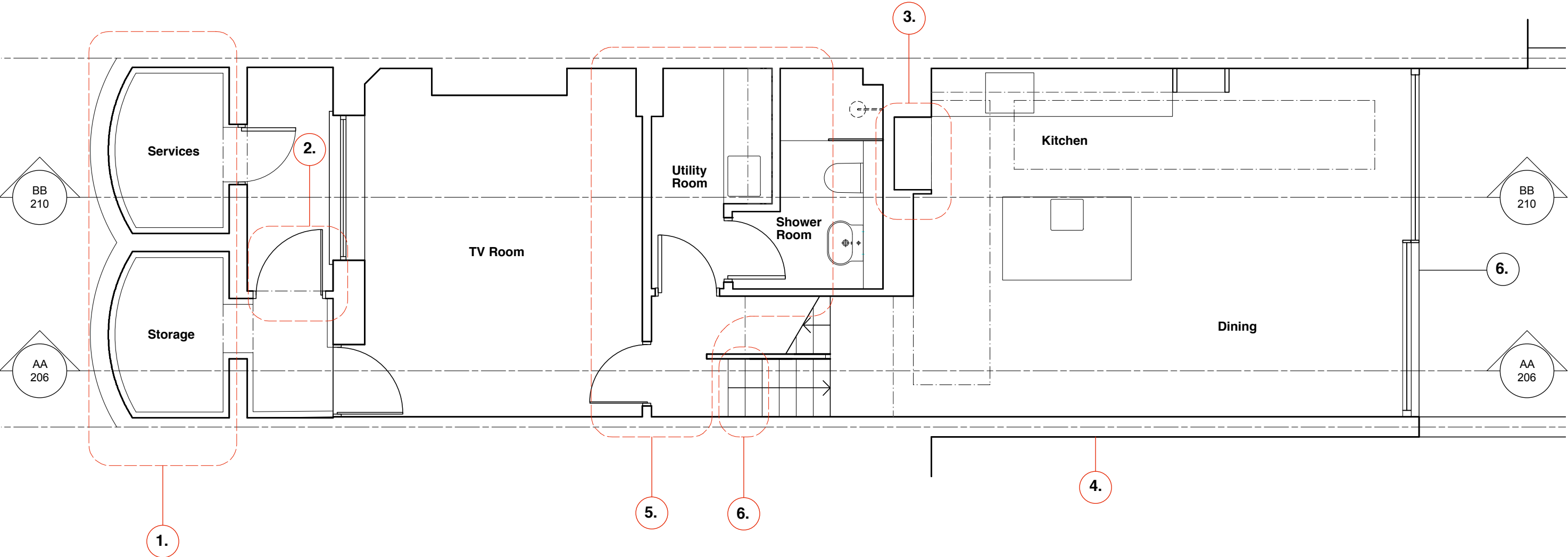


Revisions	
A 20.09.2021 Resubmitted as a combined PDF pack	

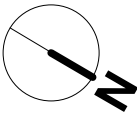
For planning	
ALC 100	Basement as existing
Scale 1:50 @ A3	
April 2021	111 Arlington Road London NW1 7LE
Appleton Weiner	
19 Wallace Road London N1 2PG	
Telephone 020 7253 8387	
ALL DIMENSIONS TO BE CHECKED ON SITE. DISCREPANCIES TO BE REFERRED TO APPLETON WEINER.	
DO NOT SCALE OFF THIS DRAWING. ALL DRAWINGS RETAIN APPLETON WEINER COPYRIGHT ©	



Key:

- 1. Tanking to vaults (reversible drained cavity membrane type not render)
- 2. New external door (aligns with existing external staircase flight above)
- 3. Chimney breast opened up to house floor to ceiling cupboard
- 4. Existing extension with a new roof
- 5. Spine wall restrained with additional stud wall to form a shower room
- 6. Basement level returned to single level throughout. Additional riser added to modern staircase. Please see site photographs

0 1000 2000 3000 4000 5000 6000 mm



Revisions

A 16.06.2021

Amended for listed building application

B 23.06.2021

Further amendments

C 25.06.2021

Further amendments

D 20.09.2021

Resubmitted as a combined PDF pack

For planning

ALC 200

Basement/Lower Ground as proposed

Scale 1:50 @ A3

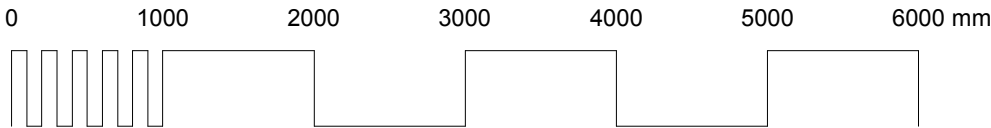
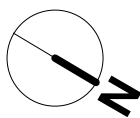
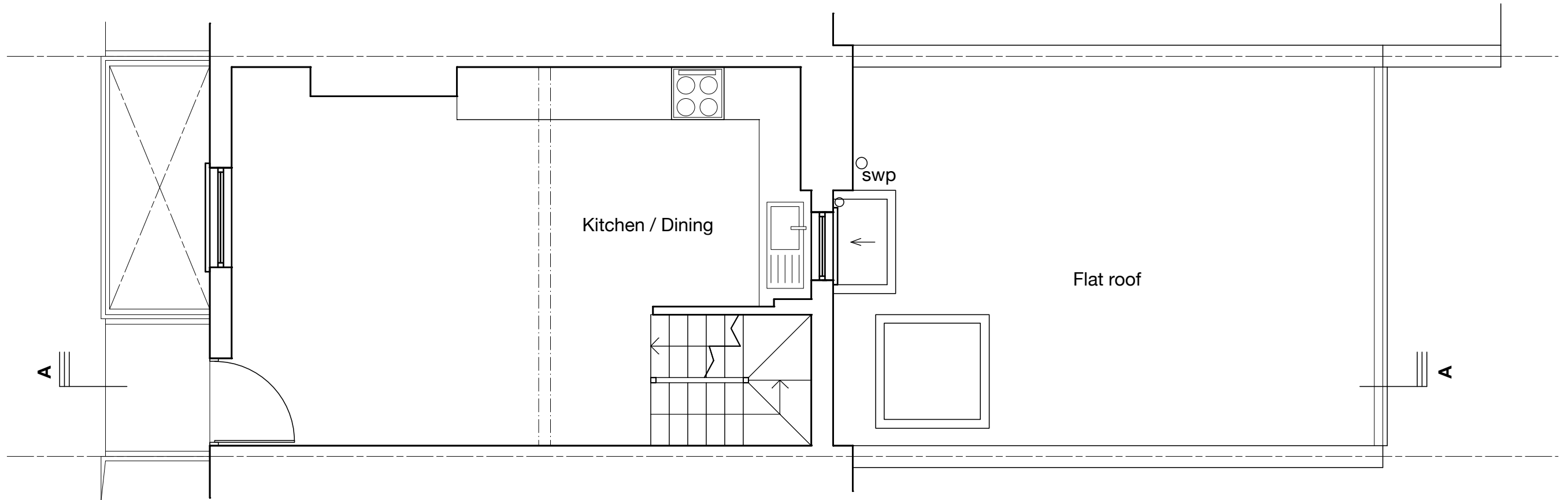
111 Arlington Road
London NW1 7LE

April 2021

Appleton Weiner

19 Wallace Road London N1 2PG
Telephone 020 7253 8387

ALL DIMENSIONS TO BE CHECKED ON SITE.
DISCREPANCIES TO BE REFERRED TO APPLETON WEINER.
DO NOT SCALE OFF THIS DRAWING.
ALL DRAWINGS RETAIN APPLETON WEINER COPYRIGHT ©



Revisions

A 20.09.2021 Resubmitted as a combined PDF pack

For planning

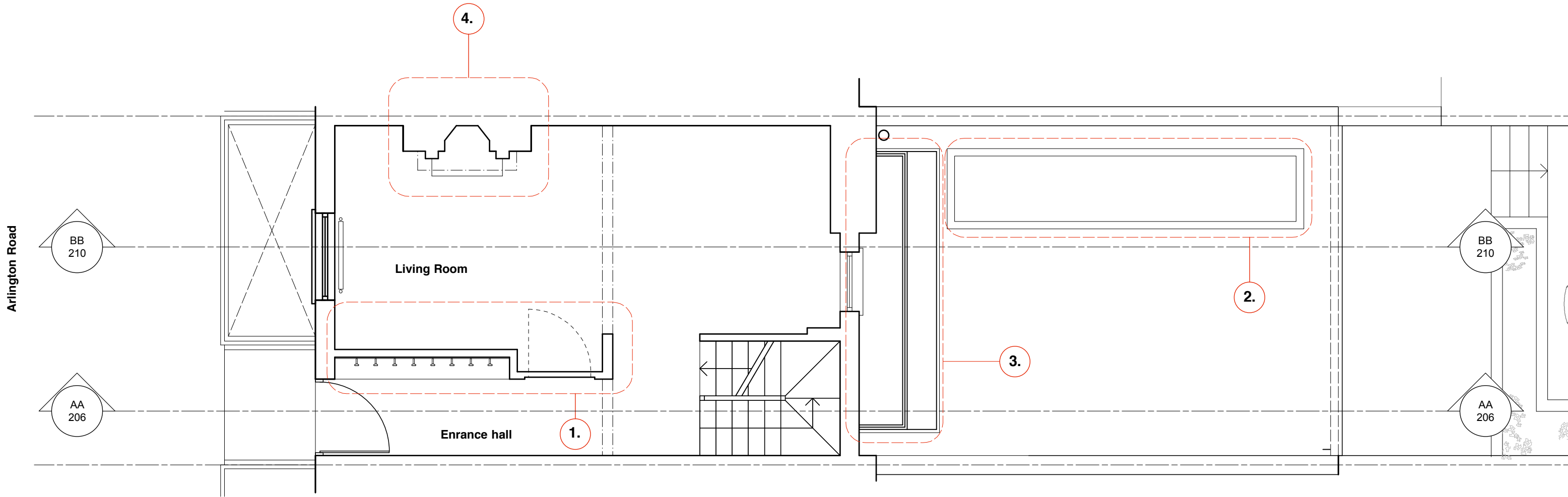
ALC 101	Ground floor as existing
Scale 1:50 @ A3	
April 2021	111 Arlington Road London NW1 7LE

Appleton Weiner

19 Wallace Road London N1 2PG
Telephone 020 7253 8387

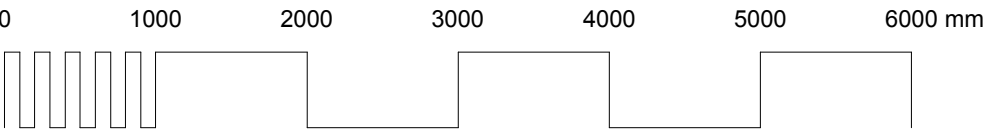
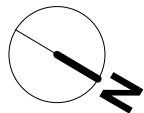
ALL DIMENSIONS TO BE CHECKED ON SITE.
DISCREPANCIES TO BE REFERRED TO APPLETON WEINER.

DO NOT SCALE OFF THIS DRAWING.
ALL DRAWINGS RETAIN APPLETON WEINER COPYRIGHT ©



Key:

- 1. Wall reinstated with rebated mirror in location of original door (original location of door shown with dashed line)
- 2. Rooflight over kitchen
- 3. Rooflight creating visual separation between host structure and extension
- 4. Period correct fireplace reinstated



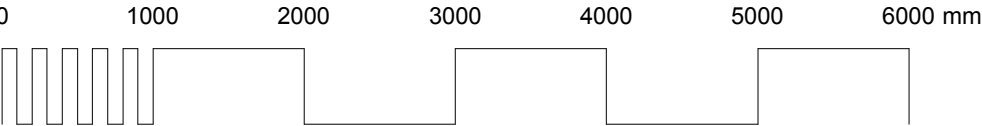
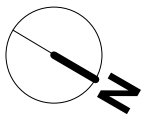
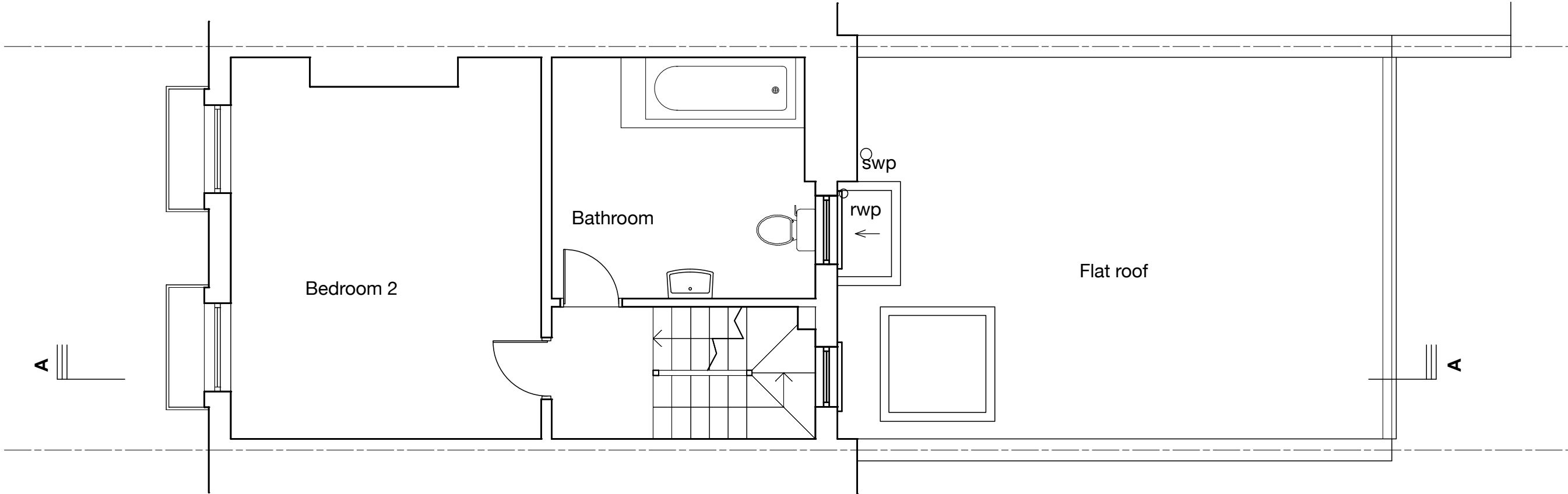
Revisions	
A 14.6.2021 Amended for listed building application	
B 23.06.2021 Further amendments	
C 20.09.2021 Resubmitted as a combined PDF pack	

For planning	
ALC 202	Basement/Lower Ground/Garden as proposed
Scale 1:50 @ A3	111 Arlington Road London NW1 7LE
April 2021	

Appleton Weiner

19 Wallace Road London N1 2PG
Telephone 020 7253 8387

ALL DIMENSIONS TO BE CHECKED ON SITE.
DISCREPANCIES TO BE REFERRED TO APPLETON WEINER.
DO NOT SCALE OFF THIS DRAWING.
ALL DRAWINGS RETAIN APPLETON WEINER COPYRIGHT ©



Revisions

A 20.09.2021 Resubmitted as a combined PDF pack

For planning

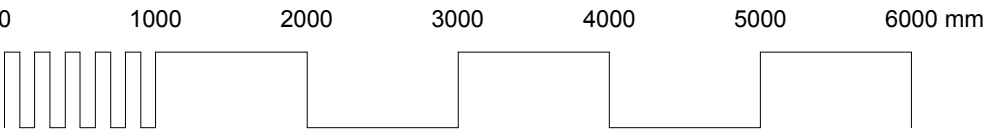
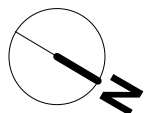
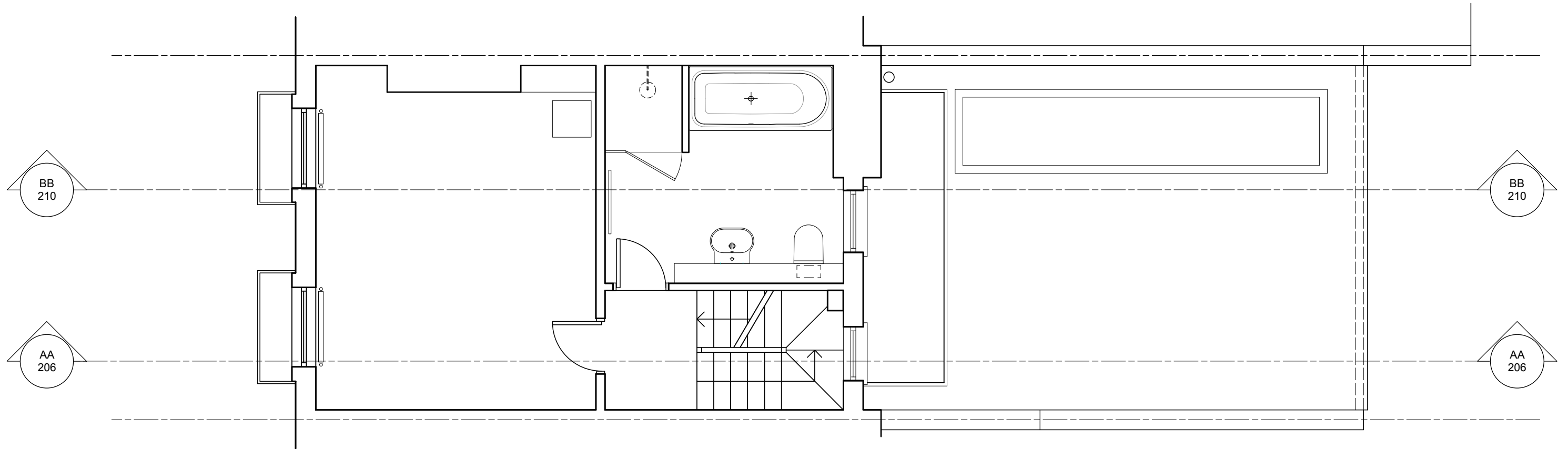
ALC 102	1st floor as existing
Scale 1:50 @ A3	
April 2021	111 Arlington Road London NW1 7LE

Appleton Weiner

19 Wallace Road London N1 2PG
Telephone 020 7253 8387

ALL DIMENSIONS TO BE CHECKED ON SITE.
DISCREPANCIES TO BE REFERRED TO APPLETON WEINER.

DO NOT SCALE OFF THIS DRAWING.
ALL DRAWINGS RETAIN APPLETON WEINER COPYRIGHT ©



Revisions	
A	16.06.2021 Amended for listed building application
B	20.09.2021 Resubmitted as a combined PDF pack

For planning	
ALC 203	First Floor as proposed
Scale 1:50 @ A3	
April 2021	111 Arlington Road London NW1 7LE

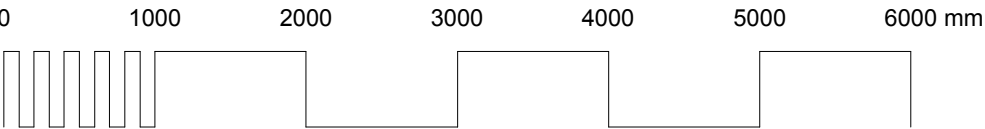
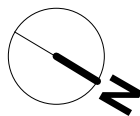
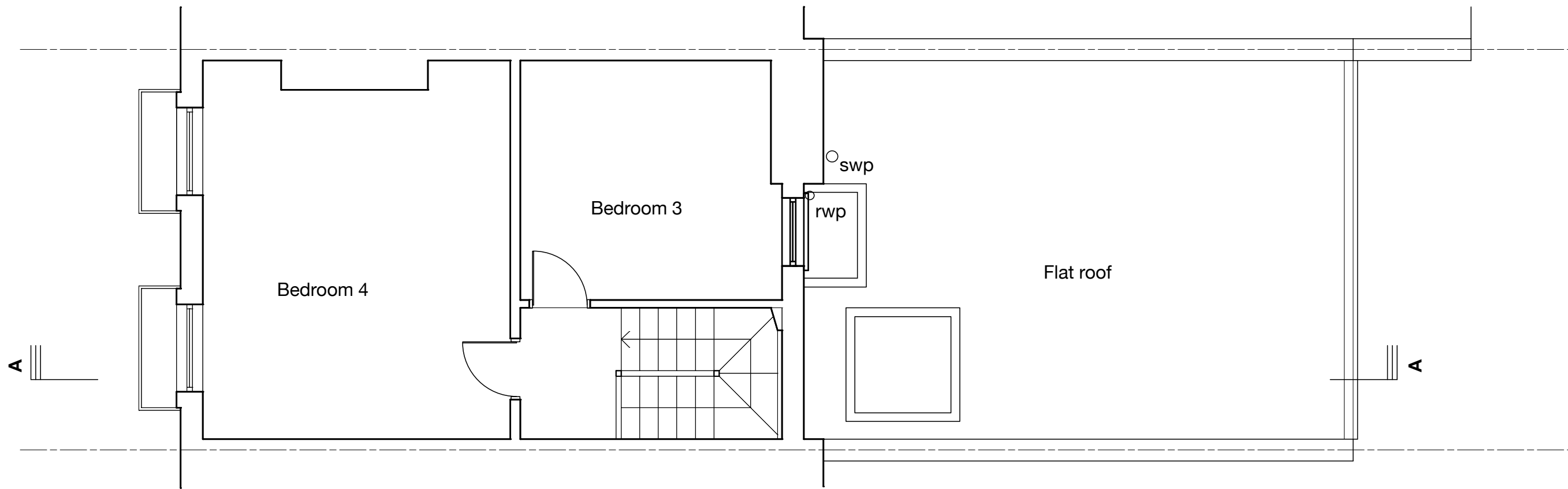
Appleton Weiner

19 Wallace Road London N1 2PG

Telephone 020 7253 8387

ALL DIMENSIONS TO BE CHECKED ON SITE.
DISCREPANCIES TO BE REFERRED TO APPLETON WEINER.

DO NOT SCALE OFF THIS DRAWING.
ALL DRAWINGS RETAIN APPLETON WEINER COPYRIGHT ©



Revisions

A 20.09.2021 Resubmitted as a combined PDF pack

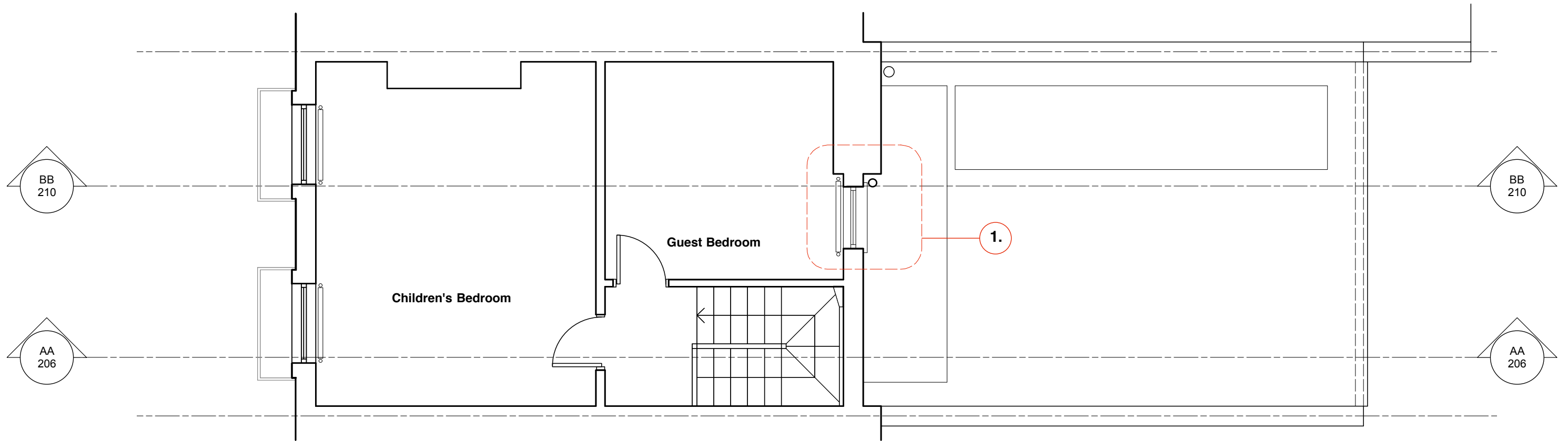
For planning

ALC 103	2nd floor as existing
Scale 1:50 @ A3	
April 2021	111 Arlington Road London NW1 7LE

Appleton Weiner

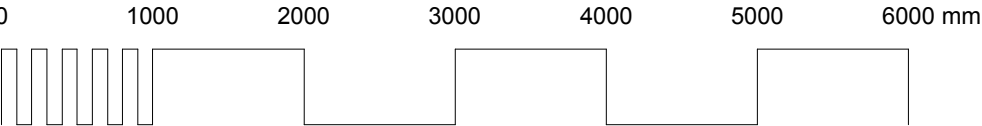
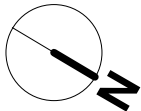
19 Wallace Road London N1 2PG
Telephone 020 7253 8387

ALL DIMENSIONS TO BE CHECKED ON SITE.
DISCREPANCIES TO BE REFERRED TO APPLETON WEINER.
DO NOT SCALE OFF THIS DRAWING.
ALL DRAWINGS RETAIN APPLETON WEINER COPYRIGHT ©



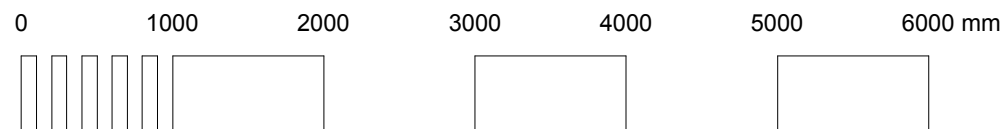
Key:

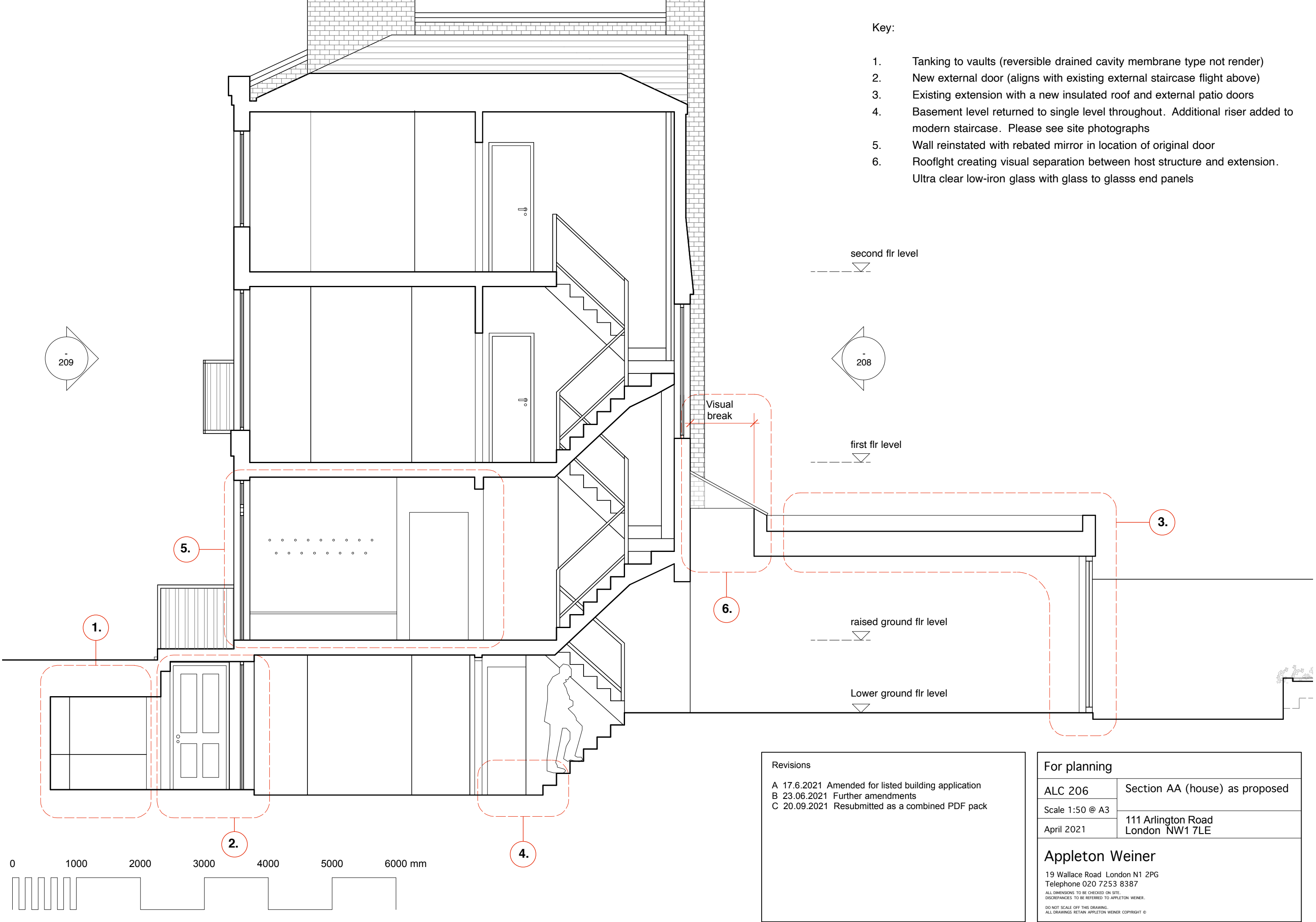
1.
- Original proportions of sash window reinstated.
Now matches proportions of equivalent window
of neighbouring houses



Revisions	
A 14.06.2021 Amended for listed building application	
B 20.09.2021 Resubmitted as a combined PDF pack	

For planning	
ALC 204	Second Floor as proposed
Scale 1:50 @ A3	
April 2021	111 Arlington Road London NW1 7LE
Appleton Weiner	
19 Wallace Road London N1 2PG Telephone 020 7253 8387	
ALL DIMENSIONS TO BE CHECKED ON SITE. DISCREPANCIES TO BE REFERRED TO APPLETON WEINER.	
DO NOT SCALE OFF THIS DRAWING. ALL DRAWINGS RETAIN APPLETON WEINER COPYRIGHT ©	



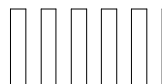


Revisions	
A	17.6.2021 Amended for listed building application
B	23.06.2021 Further amendments
C	20.09.2021 Resubmitted as a combined PDF pack

For planning	
ALC 206	Section AA (house) as proposed
Scale 1:50 @ A3	111 Arlington Road London NW1 7LE
April 2021	
Appleton Weiner 19 Wallace Road London N1 2PG Telephone 020 7253 8387 <small>ALL DIMENSIONS TO BE CHECKED ON SITE. DISCREPANCIES TO BE REFERRED TO APPLETON WEINER. DO NOT SCALE OFF THIS DRAWING. ALL DRAWINGS RETAIN APPLETON WEINER COPYRIGHT ©</small>	



0 1000 2000 3000 4000 5000 6000 mm



Revisions

For planning

ALC 106

Section BB as existing

Scale 1:50 @ A3

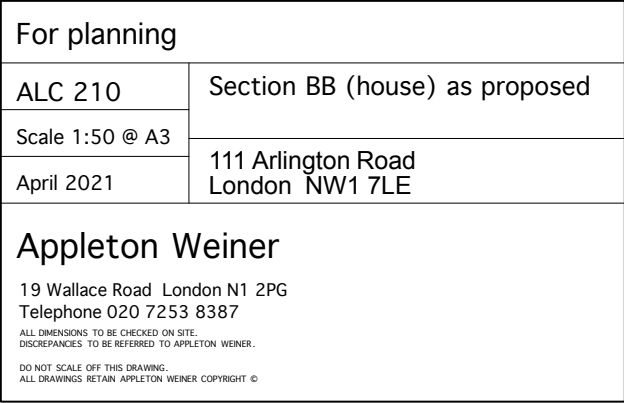
111 Arlington Road
London NW1 7LE

Appleton Weiner

19 Wallace Road London N1 2PG
Telephone 020 7253 8387

ALL DIMENSIONS TO BE CHECKED ON SITE.
DISCREPANCIES TO BE REFERRED TO APPLETON WEINER.

DO NOT SCALE OFF THIS DRAWING.
ALL DRAWINGS RETAIN APPLETON WEINER COPYRIGHT ©





Revisions

A 20.09.2021 Resubmitted as a combined PDF pack

For planning

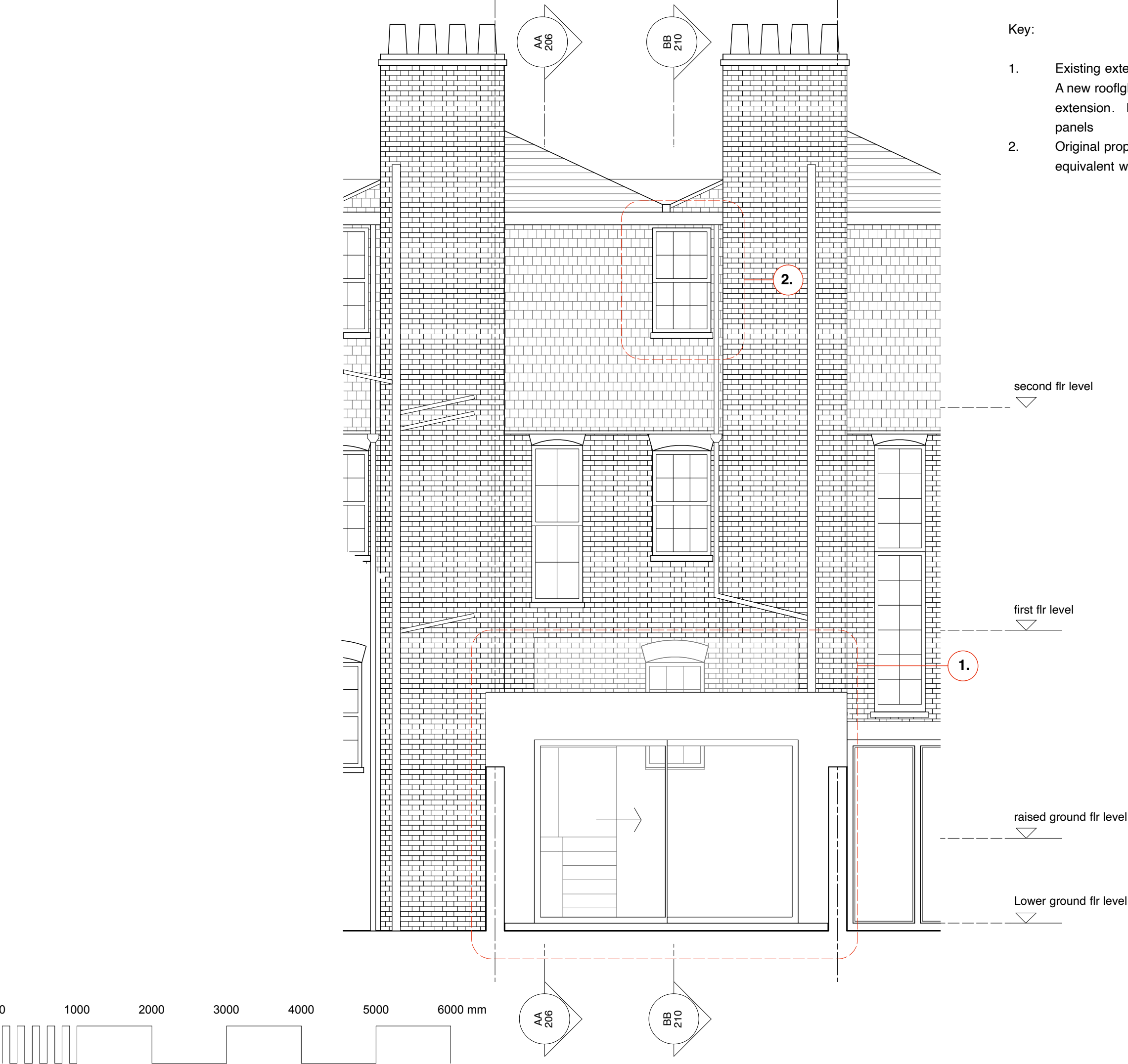
ALC 105	Rear elevation as existing
Scale 1:50 @ A3	111 Arlington Road London NW1 7LE
April 2021	

Appleton Weiner

19 Wallace Road London N1 2PG
Telephone 020 7253 8387

ALL DIMENSIONS TO BE CHECKED ON SITE.
DISCREPANCIES TO BE REFERRED TO APPLETON WEINER.

DO NOT SCALE OFF THIS DRAWING.
ALL DRAWINGS RETAIN APPLETON WEINER COPYRIGHT ©



Key:

- Existing extension with a new insulated roof and external patio doors.
A new rooflight creating visual separation between host structure and extension. Roof light with ultra clear low-iron glass with glass to glass end panels
- Original proportions of sash window reinstated. Now matches proportions of equivalent window of neighbouring houses

Revisions

- A 14.6.2021 Amended for listed building application
B 23.06.2021 Further amendments
C 20.09.2021 Resubmitted as a combined PDF pack

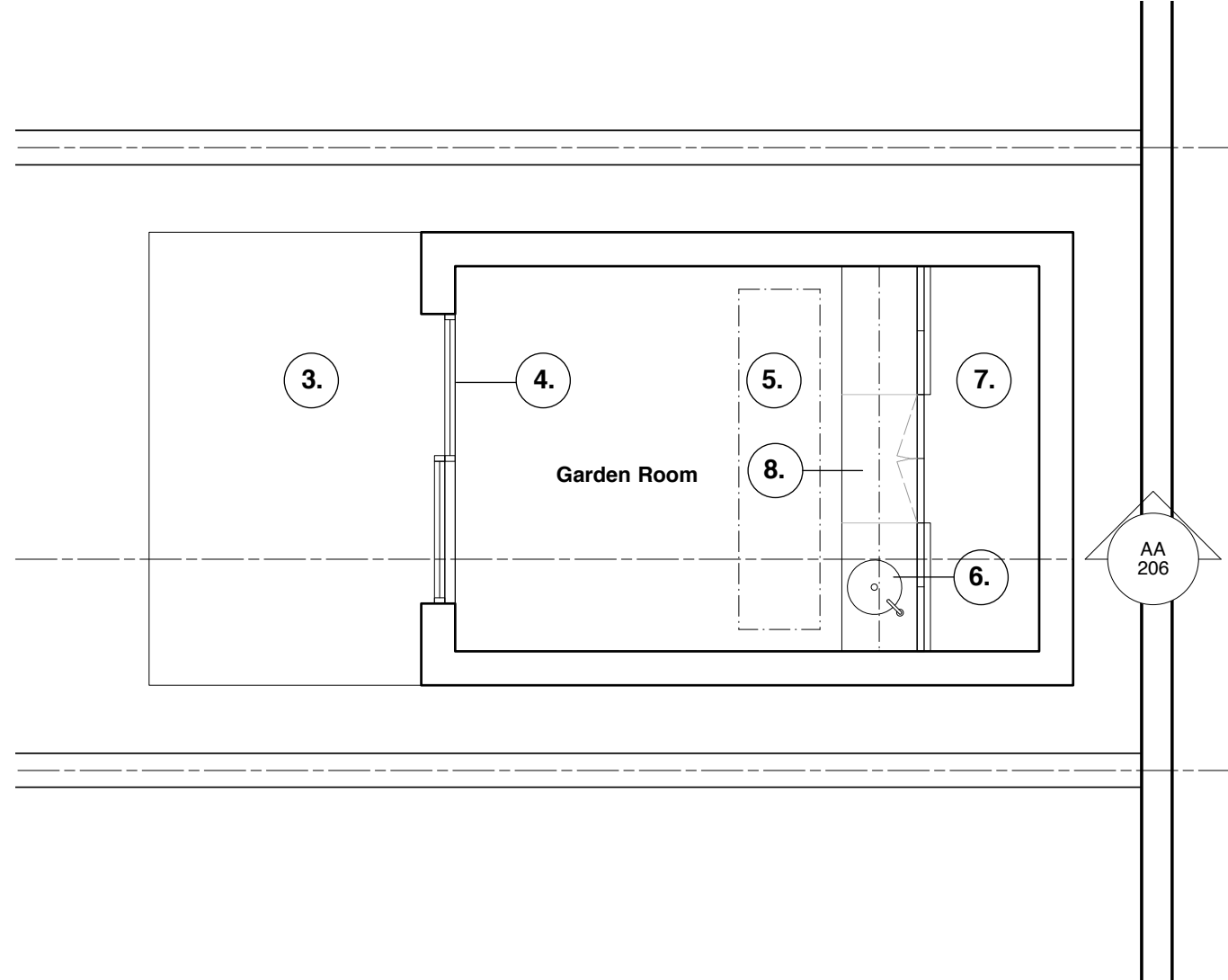
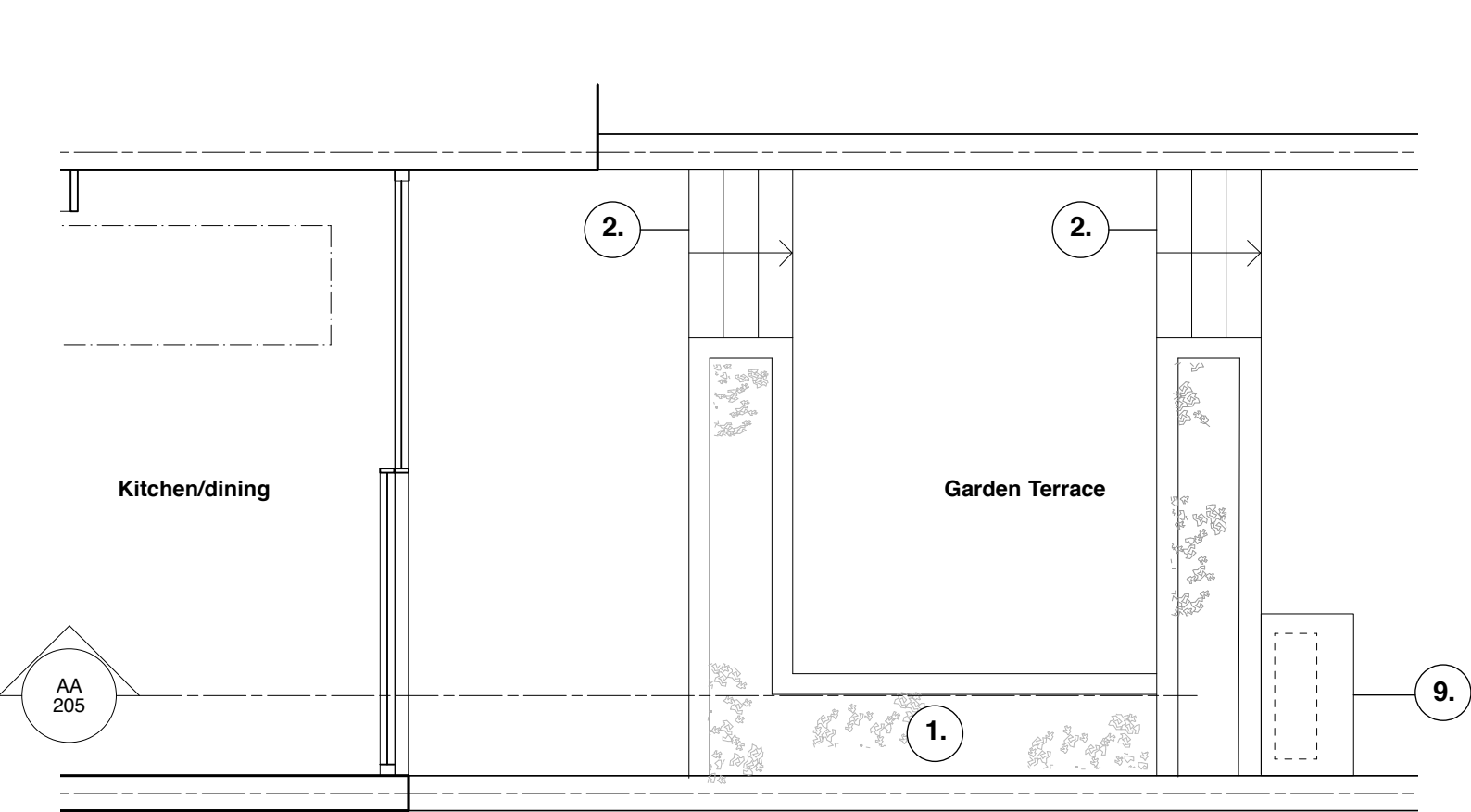
For planning

ALC 208	Rear Elevation as proposed
Scale 1:50 @ A3	111 Arlington Road London NW1 7LE
April 2021	

Appleton Weiner

19 Wallace Road London N1 2PG
Telephone 020 7253 8387

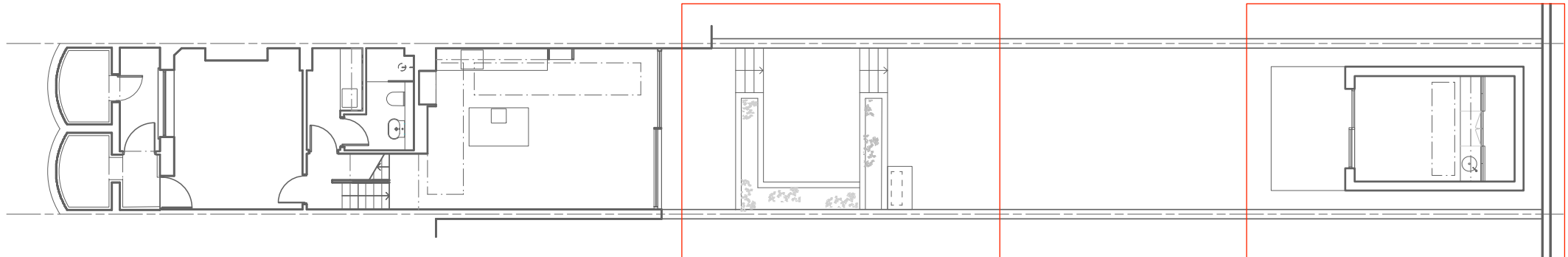
ALL DIMENSIONS TO BE CHECKED ON SITE.
DISCREPANCIES TO BE REFERRED TO APPLETON WEINER.
DO NOT SCALE OFF THIS DRAWING.
ALL DRAWINGS RETAIN APPLETON WEINER COPYRIGHT ©



Key:

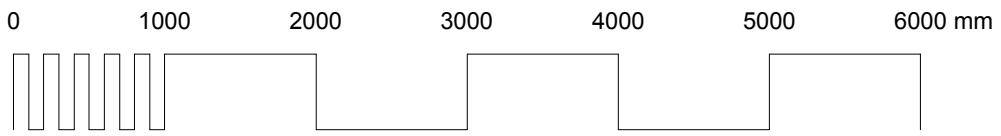
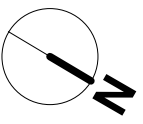
- 1. Planting
- 2. External steps
- 3. Patio
- 4. Sliding glazed doors
- 5. Rooflight
- 6. Small sink
- 7. Storage
- 8. Demountable shelves and mobile counter
- 9. Air conditioning outdoor unit within acoustic housing

Key Plan:



Rear terrace

Garden Room



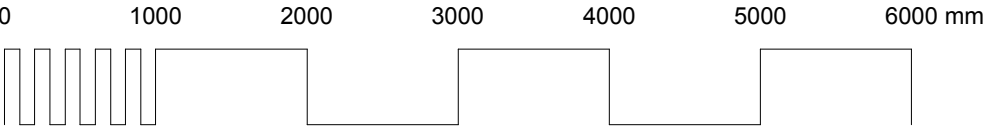
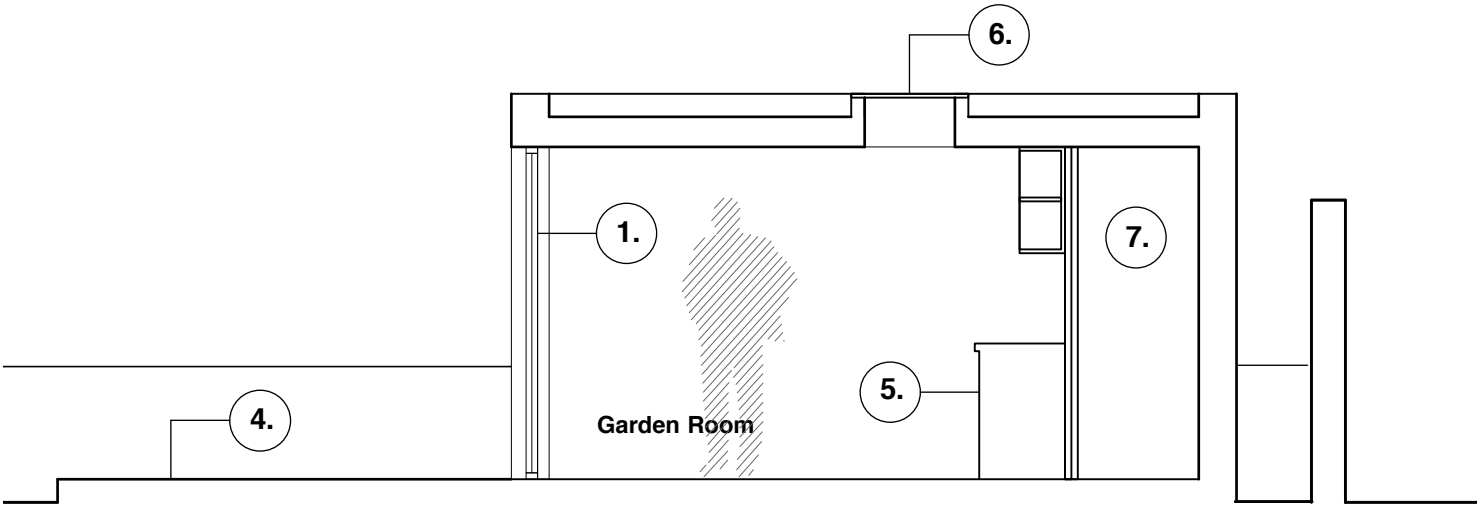
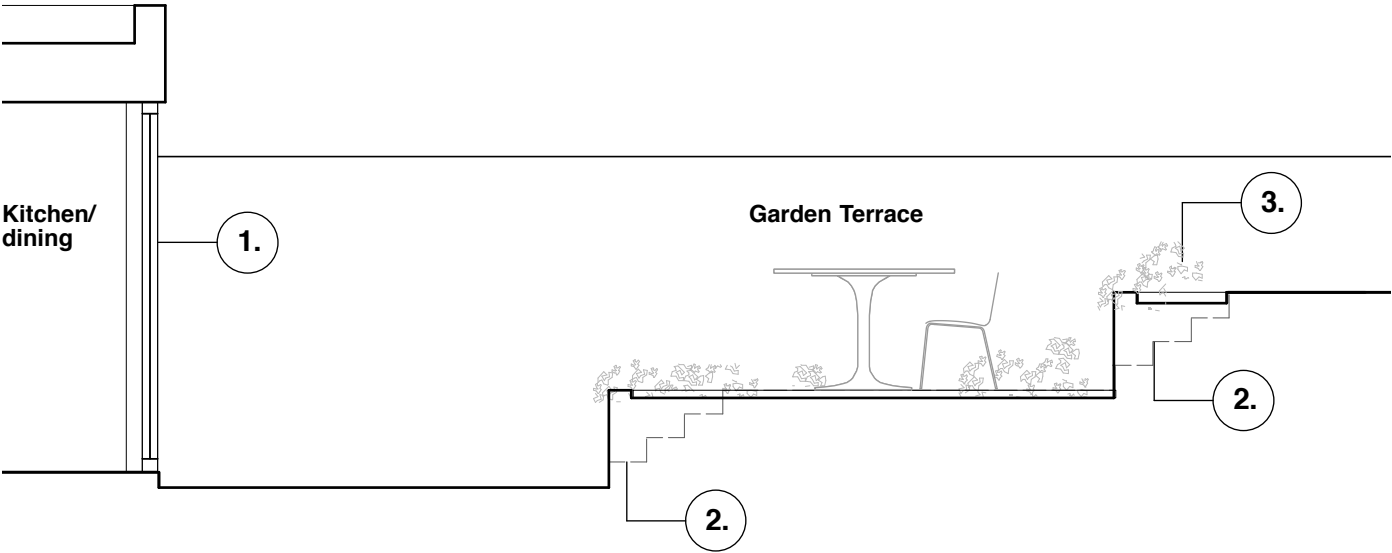
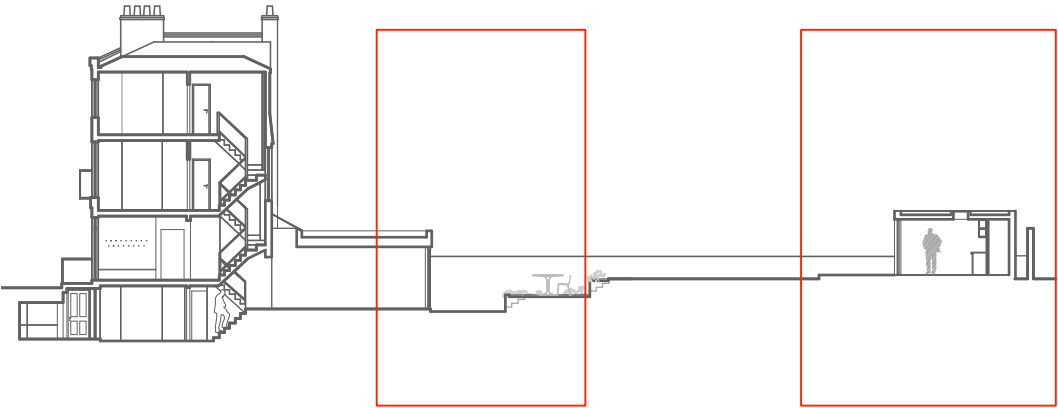
Revisions	
A 25.6.2021	Updated for the listed building application
B 20.09.2021	Resubmitted as a combined PDF pack

For planning	
ALC 201	Garden Terrace/room as proposed
Scale 1:50 @ A3	
April 2021	111 Arlington Road London NW1 7LE
Appleton Weiner	
19 Wallace Road London N1 2PG	
Telephone 020 7253 8387	
ALL DIMENSIONS TO BE CHECKED ON SITE. DISCREPANCIES TO BE REFERRED TO APPLETON WEINER.	
DO NOT SCALE OFF THIS DRAWING. ALL DRAWINGS RETAIN APPLETON WEINER COPYRIGHT ©	

Key:

- 1. New sliding glazed doors
- 2. New landscaped steps to garden terrace
- 3. New planters
- 4. Patio to garden room
- 5. Demountable fixtures/counters to access deep store
- 6. Skylight
- 7. Deep storage

Key Plan:



Revisions	
A 20.09.2021 Resubmitted as a combined PDF pack	

For planning	
ALC 207	Section AA (Garden) as proposed
Scale 1:50 @ A3	
April 2021	111 Arlington Road London NW1 7LE
Appleton Weiner	
19 Wallace Road London N1 2PG Telephone 020 7253 8387	
ALL DIMENSIONS TO BE CHECKED ON SITE. DISCREPANCIES TO BE REFERRED TO APPLETON WEINER.	
DO NOT SCALE OFF THIS DRAWING. ALL DRAWINGS RETAIN APPLETON WEINER COPYRIGHT ©	



Key:

- 1. Area below entry landing enclosed to provide access to vault storage from basement bedroom

Revisions
A 20.09.2021 Resubmitted as a combined PDF pack

For planning	
ALC 209	Front Elevation as proposed
Scale 1:50 @ A3	111 Arlington Road London NW1 7LE
April 2021	

Appleton Weiner
19 Wallace Road London N1 2PG
Telephone 020 7253 8387
ALL DIMENSIONS TO BE CHECKED ON SITE.
DISCREPANCIES TO BE REFERRED TO APPLETON WEINER.
DO NOT SCALE OFF THIS DRAWING.
ALL DRAWINGS RETAIN APPLETON WEINER COPYRIGHT ©

**111 Arlington Road
London NW1 7LE**

Photographs forming part of the listed building application



Photo 1. Front elevation of 111 Arlington Road within the street context
(centre house with black front door)



Photo 2. Existing front lightwell with one of the two doorways to the vaults visible on the LHS



Photo 3. Detail of one of the existing vaults. The brick arch will be preserved with the installation of a reversible drained cavity membrane system.



Photo 4. The proposed hardwood external door will be located in line with the entrance step above



Photo 5. The basement spine all and rear room internal door will be restored to the historic plan form



Photo 6. The existing ground to basement staircase is non-original. Most of the interior features have been lost prior to listing.



Photo 7. View looking towards the front door from the existing basement. We are seeking to reinstate the entrance hall enclosure to restore part of the historic plan form.



Photo 8. Looking towards the rear of the original house from the existing extension. The non-original opening is visible on the LHS. This will be retained



Photo 9. Looking down the staircase from the 2nd floor landing. The original handrail and balusters remain insitu.



Photo 10. Ground floor front room. A period correct fireplace will be installed on the RHS. On the LHS, the internal wall will be rebuilt.



Photo 11. Rear elevation showing non-original 2nd floor sash window within slates. We aim to reinstate the original proportions of this window as still extant on the two adjacent houses.



Photo 12. Rear elevation showing existing rear extension and obscured ground floor rear window.



Photo 13. Looking down the garden away from the house towards the site of the proposed garden room.

111 Arlington Road, London NW1 7LE

1.0 Historic England listing entry:

"Terrace of 23 houses. 1840s. Stock brick with rendered ground floor and basement. Slate roof with party wall stacks. 2 windows wide with door to right, three storeys and basement. Nos 101-131 with rendered parapets, those to Nos 109-131 with mouldings. Channelled ground floor to Nos 101-107 with voussoir mouldings. All windows with small-pane glazing bar sashes, the upper floors set in moulded architrave surrounds and the ground floor round arched with margin-lights, that to No.135 also round-arched but set under square head. Moulded doorcases with round-arched toplights under voussoirs, and all with panelled doors. No.133 with decorated fanlights. No.137 rebuilt in facsimile over first floor, with tie plates; Nos 101, 105 and 145 with mansard roof extensions not of special interest. INTERIORS not inspected. SUBSIDIARY FEATURES: all with attached railings to areas. An intact group of terraced houses, its special features little altered."

1.1 Schedule of proposed works:

- a) Drained cavity tanking to existing pavement vaults
- b) At basement level, reinstate spine wall and add a stud partition to create separate shower and utility rooms
- c) Replace the roof to the existing single storey rear extension with new roof lights and patio doors
- d) At ground floor level, reinstate stud wall to hallway and front room fireplace
- e) At 2nd floor level, reinstate original sash window proportions

1.2 Justification of proposed works

The house, along with others forming part of the above listing, has suffered neglect and loss of historic fabric prior to statutory protection. Most of the interior has been lost and this is particularly so at basement and ground floor levels. We intend to improve the environmental performance of the house whilst also reinstating lost walls and features. Below we describe these works.

a) Drained cavity tanking to existing pavement vaults

Using a drained cavity membrane tanking system (such as Delta) avoids the use of non-reversible renders. The tanking will be secured with screw fixings into the existing brickwork – the tanking could be removed in the future and remaining holes filled. This system will allow the currently unusable vaults become a space for utilities such as the boiler and pressurised hot water cylinder. We feel this is an appropriate use of this historic space.

b) At basement level, reinstate spine wall and add a stud partition to create separate shower and utility rooms

The current basement floor plan has lost much of its historic legibility. We aim to reinstate the spine wall and the internal door to what would have been the rear room thus restoring the original layout. The rear room will have a stud wall and door inserted to create separate utility and shower rooms. The latter work could be reversed, and we feel the benefits of the other basement works to reinstate the original room layouts outweighs any loss caused by the new wall.

- c) *Replace the roof to the existing single storey rear extension with new roof lights and patio doors*

The current roof has low level thermal insulation and obscures views of the original rear fenestration from both the garden and internally. Our proposal improves greatly on the environmental performance and the sloping roof light will allow the original fenestration reveal to be read.

- d) *At ground floor level, reinstate stud wall to hallway and front room fireplace*

All internal walls have been removed from the ground floor causing a total loss of the historic plan-form. We seek to reinstate a stud wall to recreate the original hallway layout. The location of the now lost internal doorway to the front room will be demarked with a recess. A period correct fireplace and surround will be fitted. We feel these works are a positive benefit to the historic building.

- e) *At 2nd floor level, reinstate original sash window proportions*

At some point before listing, this window was changed. The original proportions are still extant on the adjoining terraces.