

THIS DRAWING IS FOR BUILDING REGULATIONS APPROVAL ONLY
 BOUNDARY LINES ARE SHOWN INDICATIVELY ONLY. EXACT LOCATION TO BE CONFIRMED ON SITE
 REFER TO PLANNING DRAWINGS FOR:
 - DIMENSIONS RELATING TO PROPOSED MASS AND OPENINGS WHICH CANNOT BE EXCEEDED

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 All dimensions to be cross-checked on site prior to completing a Planning, structural engineering, the party wall process and construction.
 Print to scale (as actual size)

NOTES

All landscaping works to be discussed and agreed with the client

Loose furniture: layout to be confirmed by the client.

WCs: finishes, sanitarywares, and layout to be confirmed by the client.

Floors, walls, and ceilings: finishes to be confirmed by the client.

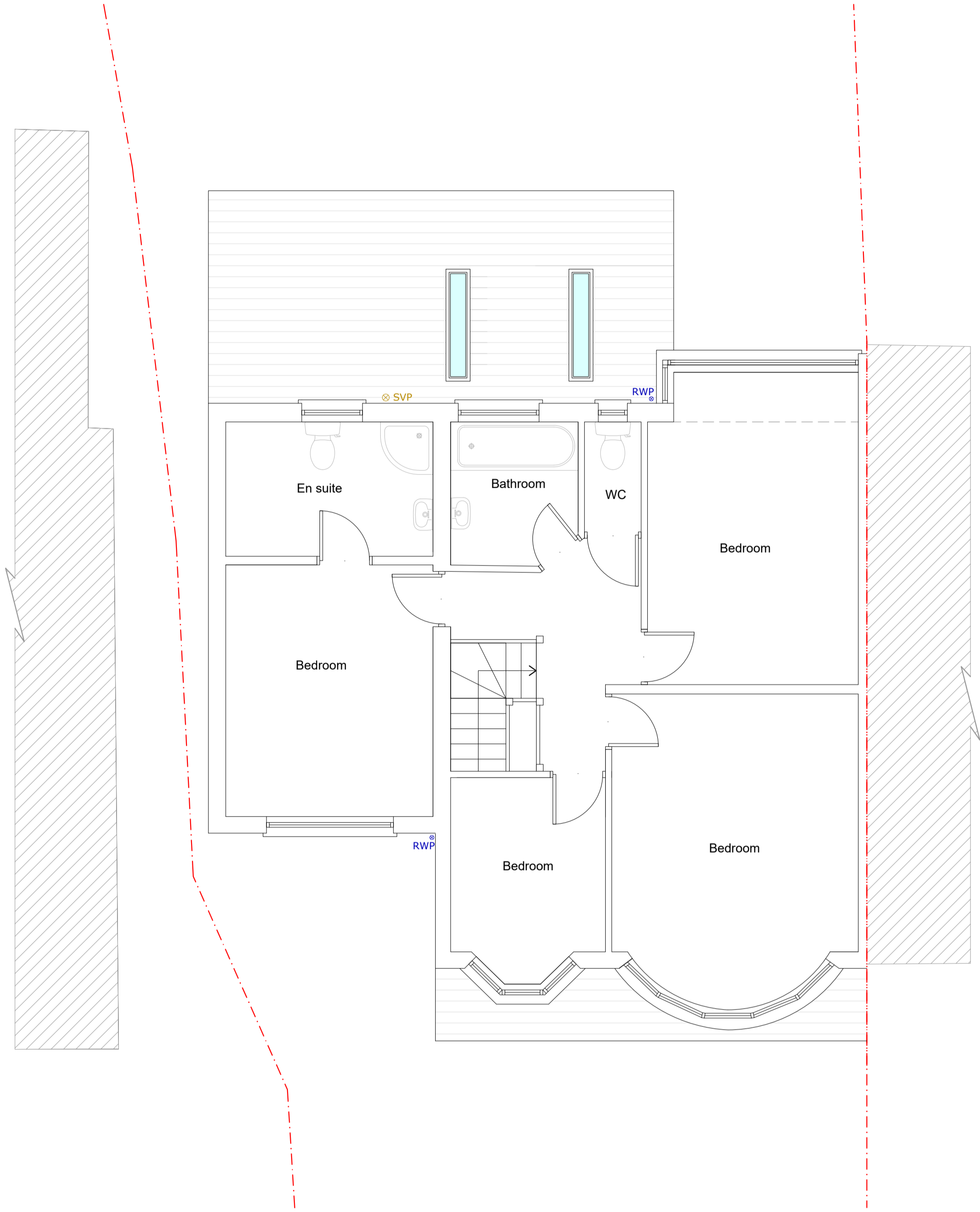
Glazing: details by a specialist glazing supplier.

Doors, windows and rooflights: details, dimensions and finishes to be discussed with client. Subject to recommendations from glazing supplier.

Contractor to inspect existing property prior to work commencement to assess conditions. Any remedial works to be discussed with client. Any remedial works required to retained elements affected by the works to be discussed and agreed with the client.

Contractor to install all fix furniture, appliances, sanitaryware, etc supplied by client. All to be discussed, confirmed and agreed with the client prior to commencement of the works.

Contractor to fully adhere to installation recommendations from supplier.



Proposed First Floor Plan

Proposed first floor area ca. 67.81 m²

FIRE STRATEGY KEYS

- Mains operated interlinked smoke detector
- Mains operated interlinked heat detector
- Escape door / window
- FD30 doors - finish to be confirmed by client
- Proposed walls - 30min fire rated
- Existing walls to be investigated if 30min fire rated and upgraded if necessary

DRAINAGE KEYS

- Rainwater downpipe
- Soil vent pipe
- Flow direction
- Sewer pipes

STRUCTURE KEYS

- Timber joists direction
- Padstone / bearing plate / engineering brick
- Double joists / double rafters
- Triple joists / triple rafters
- Timber post
- Beams
- Foundations

GENERAL KEYS

- Boundary line
- Existing walls
- Existing removed
- Proposed walls
- Proposed Rooflight

Refer to Structural Engineer design, details, specifications and calculations.

Contractors to verify all levels and setting out and to determine all dimensions and relationships on-site before fabrication commences.

Any discrepancy or irregularity to be reported to RESI immediately.

Contractors to be responsible for the design and supply of all temporary works (i.e. bracing, propping, shoring, tying, etc) and the security, stability, and safety of the building during works.

All concrete work to S/E design and details.

All steelwork to S/E design and details. Steelwork sub-contractor to be responsible for taking all necessary site measurements prior to fabrication to ensure the correct fit of the new works on-site. All structural steelwork to be dry fire cased to comply with the latest building regulations (refer to the specification sheet). All steelwork below ground to have minimum 50mm concrete casing. Where concrete encasement is required the steelwork is not to be painted.

All timbers to S/E design and details.

All loadbearing masonry to S/E design and details.

All structural elements are shown indicatively, refer to S/E details for setting out.

Setting out of structure and beams to be checked on site and agreed with client prior to ordering / installation.

Ventilation requirements for all existing floors to be assessed on-site by the contractor. If required, existing ventilation to be maintained and not made worse than the existing condition

Extract ventilation ducted to the outside air to be provided to WC (15 l/s), en-suites (15 l/s), utility rooms (30 l/s) and kitchen (30 l/s adjacent to hob or 60 l/s if elsewhere in the kitchen). The best route for ducting to the outside air to be checked and confirmed on-site by the main contractor

All habitable rooms to be provided with controllable background ventilation by means of trickle ventilators (or an equivalent means of ventilation). WC and en-suites to have minimum 2500mm² equivalent area. All others habitable rooms to have 5000mm² equivalent area

Position of all new sanitaryware, sinks, kitchen and utility appliances which require water supply and waste connection to be discussed, agreed and confirmed on-site between contractors and client prior to drainage 1st fix

REV	DESCRIPTION	DRN	CHK
PP6	PLANNING DRAWINGS	OM	FD
BR3	BUILDING REGULATIONS	DK	FD
		22/09/2021	22/09/2021



Job Title
 Internal alteration
 139 Broomfield Avenue,
 N13 4JR

Drawing Status
 Building Regulations

Client
 Jo Georgiou

Drawing Title
 Proposed First Floor Plan

Scale
 1/50 @ A2, 1/100 @ A4

Date
 September 2021

Drawn
 DK

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 21-1609 - 05