



DESIGN AND ACCESS STATEMENT

10 DALEHAM MEWS, NW3 5DB

8.9.2021

10DM-DC-PL-01

Revision A

Submitted for Planning

Architect: Marko Milovanovic RIBA AADipl

Client: Mr. and Mrs. Davis

1 Summary

This proposal aims to maximise and improve the habitable and amenity space of No 10 Daleham Mews by internal layout adjustments, a rear extension over one of two existing first floor terraces, insertion of a rear dormer, four new rooflights and an introduction of sustainable energy though solar panels on front and rear side of the roof. The proposal also plans to refurbish and repair some of the existing street facing windows and doors, as well as bin store, while fully retaining the character and appearance of the existing building features.

The purpose of this Statement is to demonstrate the design intentions and their compliance with national and local planning policies as well as their sensitivity towards the historic character of the area in which the project is situated. This Design and Access statement should be read in conjunction with existing and proposed drawings that accompany this application.

2 Background

With its unique character, Daleham Mews forms part of the Belsize Park Conservation Area. Like all other two-storey Victorian terraced mews houses in this street, number 10 is a former stables with coachman’s quarters above that used to serve large town houses in Daleham Gardens. Number 10 Daleham Mews lies on the west side of the curtilage and its rear elevation faces the rear of the Daleham Gardens town houses. Like all other houses on this mews, number 10 has transformed from a stable to a garage to a fully residential purpose.

3 Planning History

The planning history of this property can be traced back to 1947. More recently, in 2001 the building underwent a major renovation which lead to the building that we see today. Substantial demolition of the building which included rear elevation and real extension (CWX0002877) was followed by change of use of the ground floor car repair workshop to residential use which also added two new bedrooms and a patio on the ground floor with two terraces on top of them on the level above all creating a 3 bedroom dwellinghouse. (PWX0002769).

The planning history information as found on Camden Planning Application search is listed below.

Application Number	Site Address	Development Description	Status	Date Registered	Decision
PWX0002769	10 DALEHAM MEWS LONDON NW3 5DB	Change of use of ground floor from car repair workshop (Class B2) and a residential flat on the first floor to provide a 3 bedroom dwellinghouse, together with additions and alterations including terraces at rear first floor level. as shown on drawing numbers L(0)1A and 2A (as existing) L(0)3D, 4E, 14A, 15A and 2 unnumbered extracts relating to folding doors (Solarlux and velux roof windows) , A(31) 1 and 2A.	FINAL DECISION	02-04-2001	Grant Full Planning Permission (conds)
CWX0002877	10 DALEHAM MEWS LONDON NW3 5DB	Substantial demolition of building including rear elevation and rear extension. as shown on drawing numbers L(0) 1A and 2A	FINAL DECISION	02-04-2001	Grant Conservation Area Consent (conds)
37860/SR52/7921	No. 10, Daleham Mews, Hampstead,	The continued use, for a limited period, of two rooms on the first floor of No. 10, Daleham Mews, Hampstead, social club.	FINAL DECISION	31-10-1952	conditional
TPBR37860	10, Daleham Mews, Hampstead,	The use for a limited period of the ground of two rooms on the first floor of 10, Daleham Mews, Hampstead,	FINAL DECISION	30-06-1947	Limited Period

4 Proposed works

This proposal aims to maximise and improve the habitable and amenity space of No 10 Daleham Mews as well as introducing green energy though solar panels and natural ventilation though new rooflight. A modest extension over one of two first floor terraces and a rear dormer will increase usable space.

With proposed works the usable internal area will increase from around 142sqm to around 154sqm (additional 12 sqm).

The proposed development will be fully in keeping with the existing building and neighbouring houses on Daleham Mews. General repair, refurbishment and restauration of front elevation windows, doors and bin store is also planned but without any major changes to the existing appearance (please refer to drawings for details).

Internal works

Layout and circulation changes will be made to reflect client’s needs and maximise the use of space. Additional space for dining room will be gained through terrace extension on First Floor (approx. 10.5sqm). Additional head height and therefore usable space will be gained in the loft though the construction of the rear dormer (approx. 1.5 sqm).



The proposed work to the front elevation will be mainly for repair and restoration purposes and completely in keeping with the existing house and other houses in the mews. Opaque glass is proposed for high level mews door ground floor glazing. Bin store will be rebuilt in timber to match existing. Two new roof lights will be introduced to the front elevation roof slope, consistent with a number of other properties in the street such as number 7, 16, 18, 23 and others. Also note that this property already has one roof light on this elevation that has been previously approved. The proposed solar panels between rooflights will use the same or similar system as neighbouring number 12 Daleham Mews (Application numbers: 2018/1051/P and 2015/6791/P).



Proposed Front Elevation

existing rooflight 650x900mm

new rooflights to match existing rooflight size (650x900mm) position is informed by internal structural components

4 all black in-roof solar panels

4 all black in-roof solar panels

new rooflight

new rooflight

slates

slates

No. 12

No. 10

Daleham Mews

No. 8

0 1.25m 2.5m 5m

1:50 1m

timber bin store rebuilt to match existing

alternative front door closed off and insulated, letter slot removed, general appearance not changed

front door refurbished to match existing condition, letter slot added, general appearance not changed

note: all front elevation timber windows will be refurbished to match existing condition

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Rear Elevation:
Rear Elevation of the property is not visible in its entirety from a public highway. Only North section of the roof will be visible when observed between numbers 18 and 20 Daleham Gardens. In comparison, number 22 Daleham Mews (Application number P9602766R1) has a significant presence in the Daleham Gardens street elevation. The proposed rear roof will have two roof lights and solar panels on the North side and a new dormer on the South side. A number of dormers at rear elevations have been recently approved and built in the street, for instance number 12 (Application numbers: 2018/1051/P and 2015/6791/P) and number 4 (Application number: 2018/4702/P). Also note that the back of number 10 Daleham Mews property with here proposed alterations is approximately 19 meters away from the back of properties it faces – numbers 18 and 20 Daleham Gardens and therefore the proposed development is not considered to result in a loss of privacy for the neighbouring occupants.

First floor extension will be facing a private patio. New privacy screen along the back wall to the gardens of 18 and 20 Daleham Gardens will match the height of the existing privacy screen with 12 Daleham Mews and it will be higher than the existing privacy screen.

Rear elevation ground floor and first floor glazing will be changed as per the drawings and it will not be publicly visible.

The proposed first floor extension in volume and shape mimics the extension of the neighbouring number 12 property (Application numbers: 2018/1051/P and 2015/6791/P) and it will provide a consistent and respectful back elevation.

5 Access and Scale

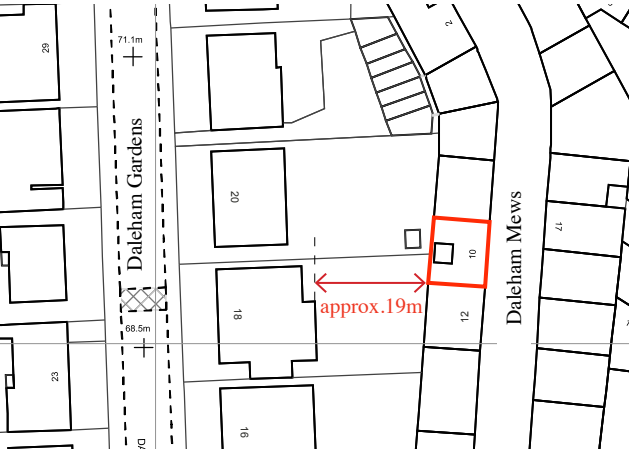
The point of access and scale of the building remains unchanged and in keeping with the surrounding area.



View towards the back of 22 Daleham Mews from between 12 and 14 Daleham Gardens.



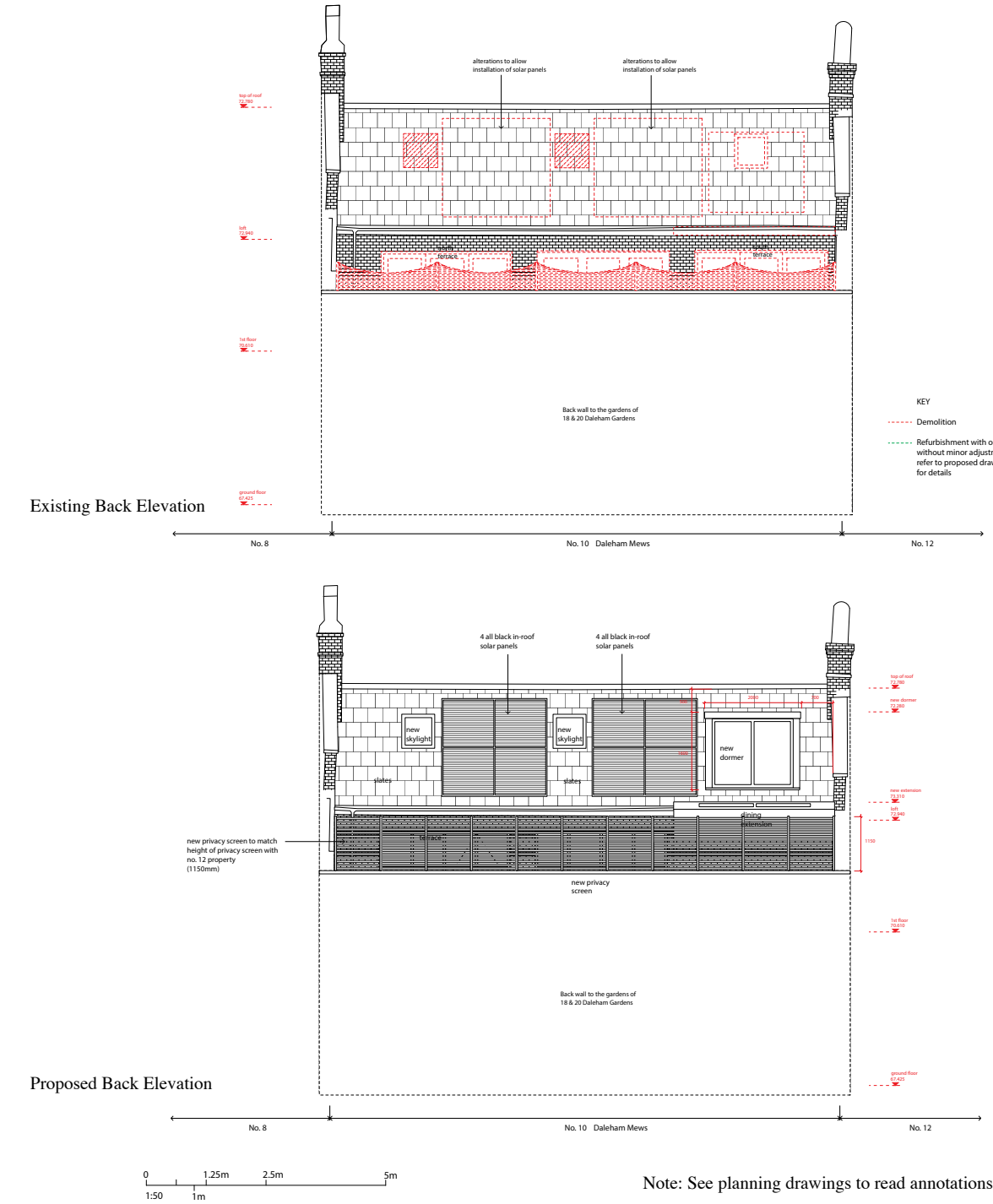
View towards the back of 10 Daleham Mews from between 18 and 20 Daleham Gardens. North section if the rear roof is visible.



Location plan with rear elevation distance to neighbouring house



Examples of properties in Daleham Mews with rear elevation dormers. Above are numbers 4 (left) and 12 (right) as seen from the car park at the back of number 22 Daleham Gardens



Note: See planning drawings to read annotations