

statutory legislation, relevant

codes of practice and British

Standards

www.morsharte.com

- Site boundary assumed and indicated as shown based on

- Should exact clarification of boundary be required then a third party

interpretation of topographical survey.

boundary professional must be appointed

Private Client

1:50 / 1:100 A1 / A3 August 21

Project No.

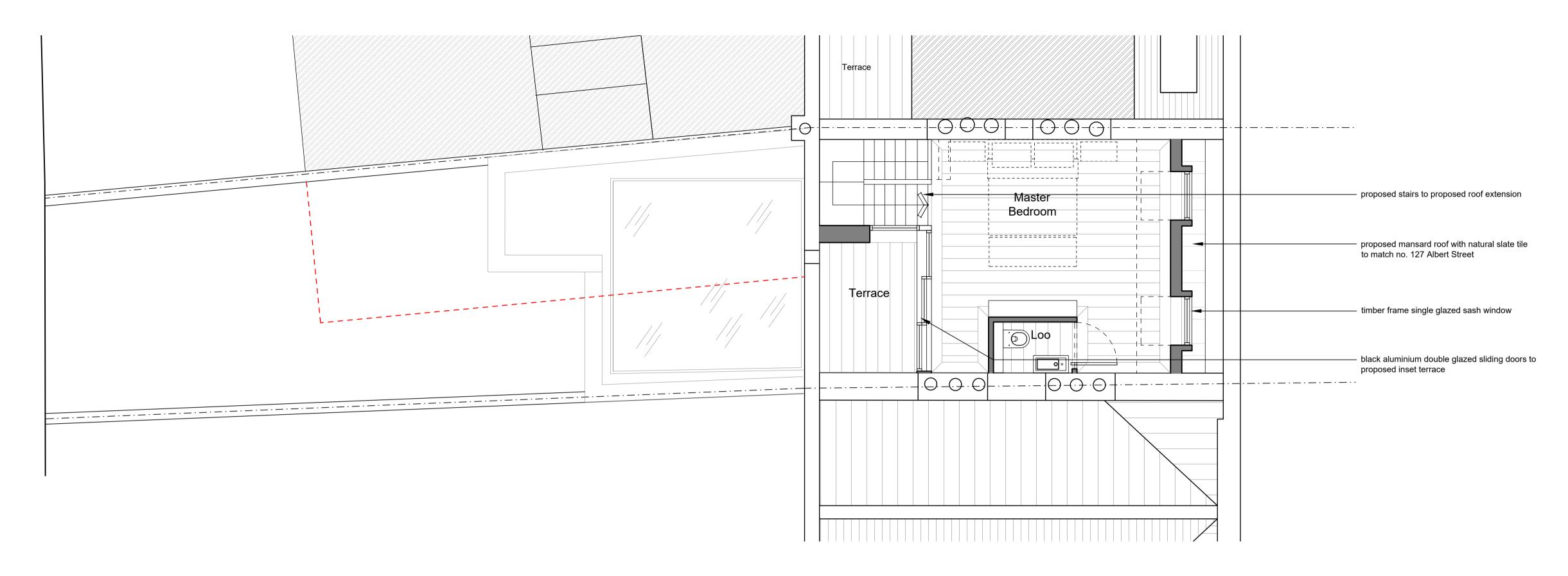
052/2

Rev

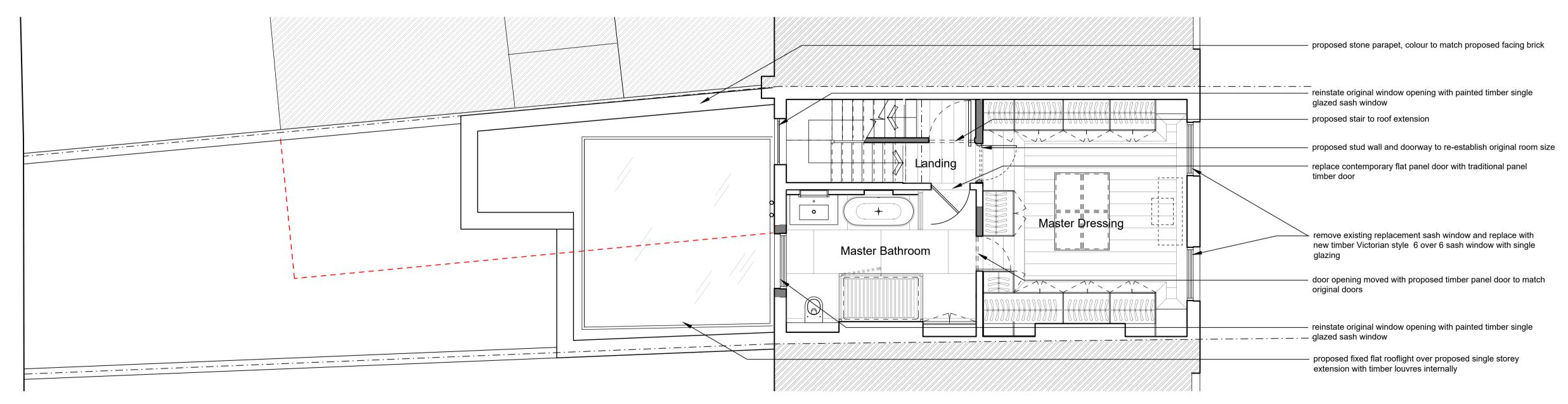
Planning

Drawing No.

PL-1.00



Proposed Third Floor Plan
PL-1.01 -



PL-1.01 - Proposed Second Floor Plan

MORS+HARTE

ARCHITECTS

www.morsharte.com

1. Drawing used for the status 4. Drawing to be read in indicated only 2. All dimensions and setting out shall be checked and confirmed and any discrepancies to be reported

to the Architect prior to

3. All work and materials to be in accordance with current

statutory legislation, relevant

codes of practice and British

Standards

accordance with relevant consultants and sub-contractors drawings and specifications commencement of any work

0 0.5m 1 1.5 2 2.5 SCALE = 1:100 @ A3 0 0.5m 1 1.5 2 2.5 SCALE = 1:50 @ A1

Date Revision Comment

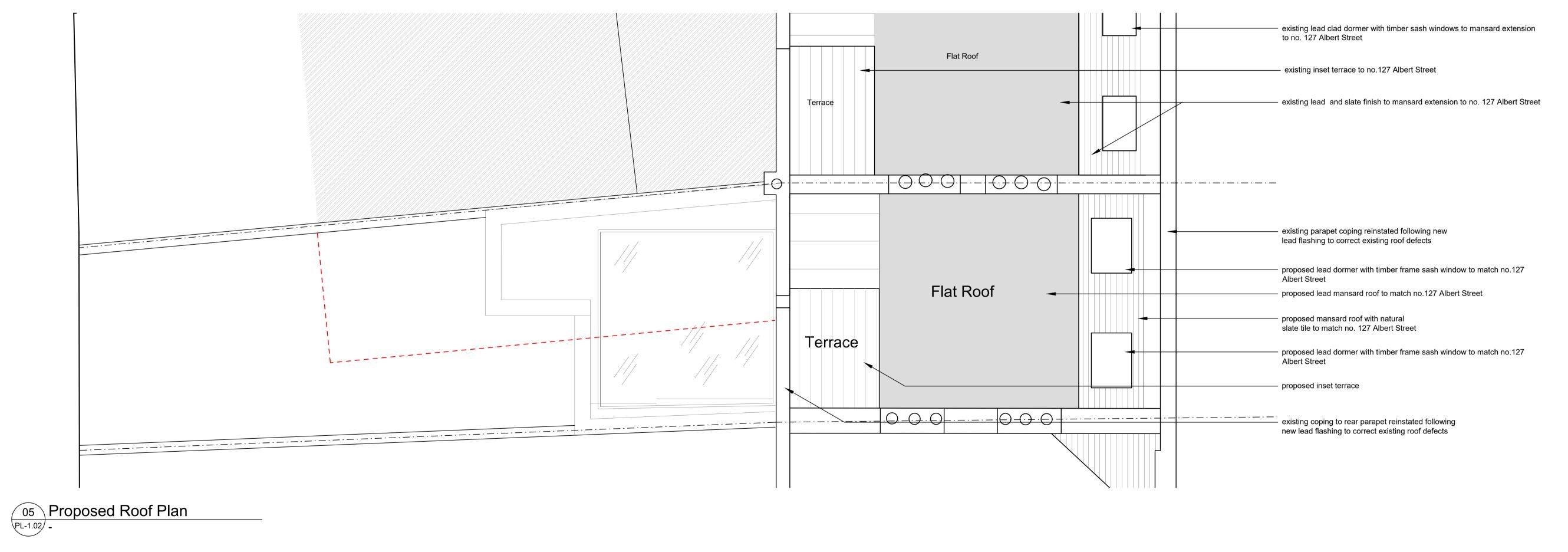
Site Boundary: - Site boundary assumed and indicated as shown based on interpretation of topographical survey. - Should exact clarification of boundary be required then a third party boundary professional must be appointed

Proposed Plans No. 125 Albert Street Camden **NW1 7NB**

1:50 / 1:100 A1 / A3 August 21

Project No. **Drawing Status Private Client Planning** 052/2 Drawing No. Rev

PL-1.01





ARCHITECTS

www.morsharte.com

1. Drawing used for the status 4. Drawing to be read in indicated only accordance with relevant 2. All dimensions and setting out consultants and shall be checked and confirmed and any discrepancies to be reported to the Architect prior to commencement of any work

statutory legislation, relevant

codes of practice and British

Standards

sub-contractors drawings and specifications 3. All work and materials to be in accordance with current

0 0.5m 1 1.5 2 2.5 SCALE = 1:100 @ A3 0 0.5m 1 1.5 2 2.5 SCALE = 1:50 @ A1

Site Boundary: - Site boundary assumed and indicated as shown based on interpretation of topographical survey.

- Should exact clarification of boundary be required then a third party

boundary professional must be appointed

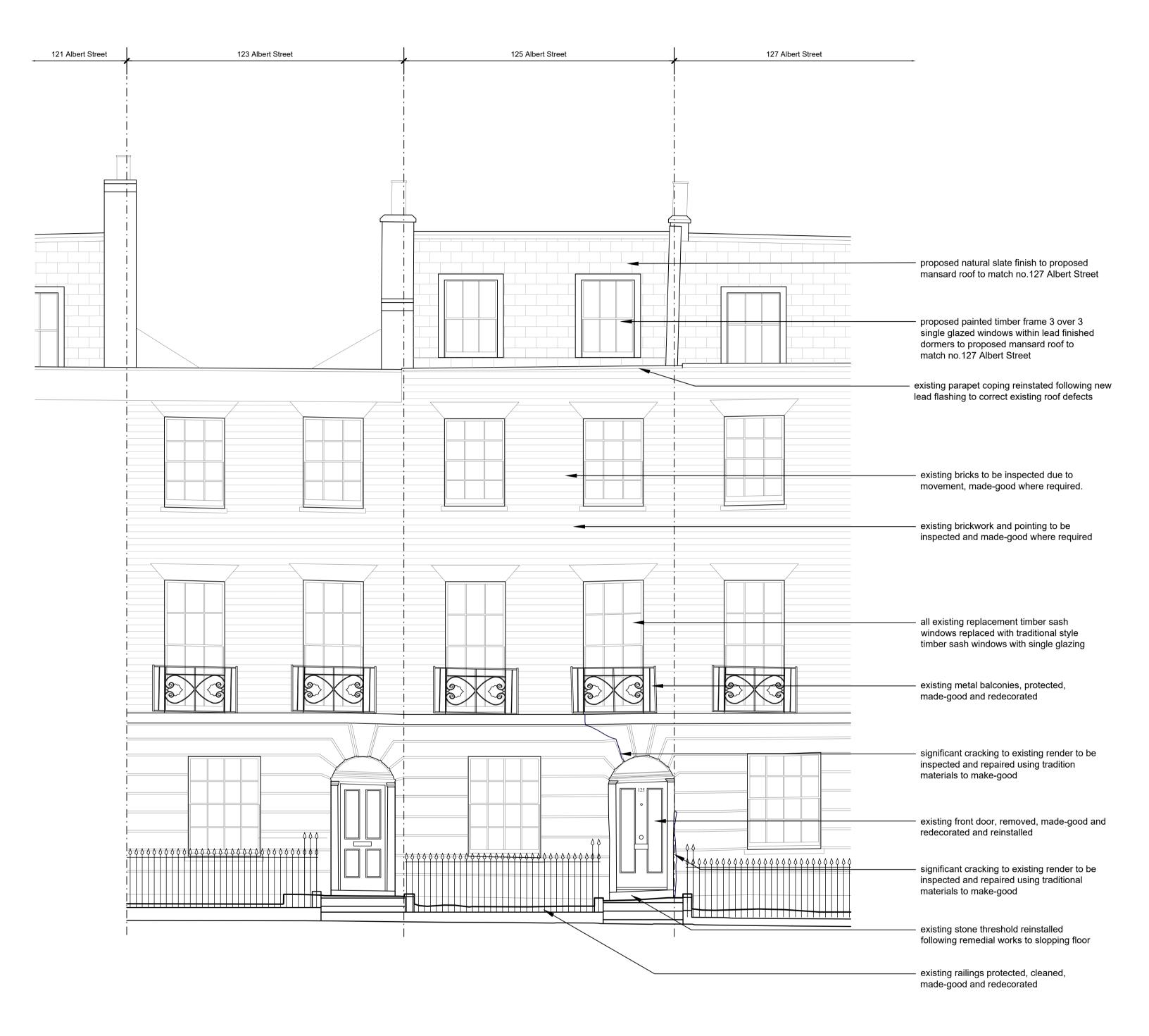
Revision

Comment

Date

Proposed Plans No. 125 Albert Street Camden **NW1 7NB**

Drawing Status Project No. **Private Client** 052/2 **Planning** Drawing No. Rev 1:50 / 1:100 A1 / A3 August 21 PL-1.02



127 Albert Street 125 Albert Street 123 Albert Street 121 Albert Street proposed lead roof to proposed mansard roof with roll coil detailing proposed black metal frame heritage double glazed sliding door to connect to proposed inset terrace existing coping to parapet reinstated following new lead flashing to correct existing roof defects existing cast iron rainwater downpipe and SVP replaced with painted cast iron goods original opening reinstated with painted timber 6 over 6 single glazed sash window original opening reinstated and 6 over 6 timber sash window installed existing window replaced with traditional painted timber single glazed sash window original sash window retained, protected and refurbished to first floor landing proposed brick to proposed extension to compliment existing yellow stock brick and brick to Albert Street proposed stone coping, colour to match proposed facing brick to form lightweight glazed infill extension proposed brick pier to form lightweight glazed infill proposed timber frame with double glazed heritage glass pivot door to garden - proposed traditional style timber frame with double glazed heritage glass sash windows existing brick garden boundary wall

Proposed Front Elevation

Proposed Rear Elevation

Revision

MORS+HARTE

ARCHITECTS

www.morsharte.com

1. Drawing used for the status 4. Drawing to be read in indicated only 2. All dimensions and setting out consultants and shall be checked and confirmed and any specifications discrepancies to be reported

commencement of any work 3. All work and materials to be in accordance with current statutory legislation, relevant codes of practice and British Standards

to the Architect prior to

accordance with relevant sub-contractors drawings and

0 0.5m 1 1.5 2 2.5 SCALE = 1:100 @ A3 0 0.5m 1 1.5 2 2.5 SCALE = 1:50 @ A1

Site Boundary: - Site boundary assumed and indicated as shown based on interpretation of topographical survey. - Should exact clarification of boundary be required then a third party boundary professional must be appointed

Comment

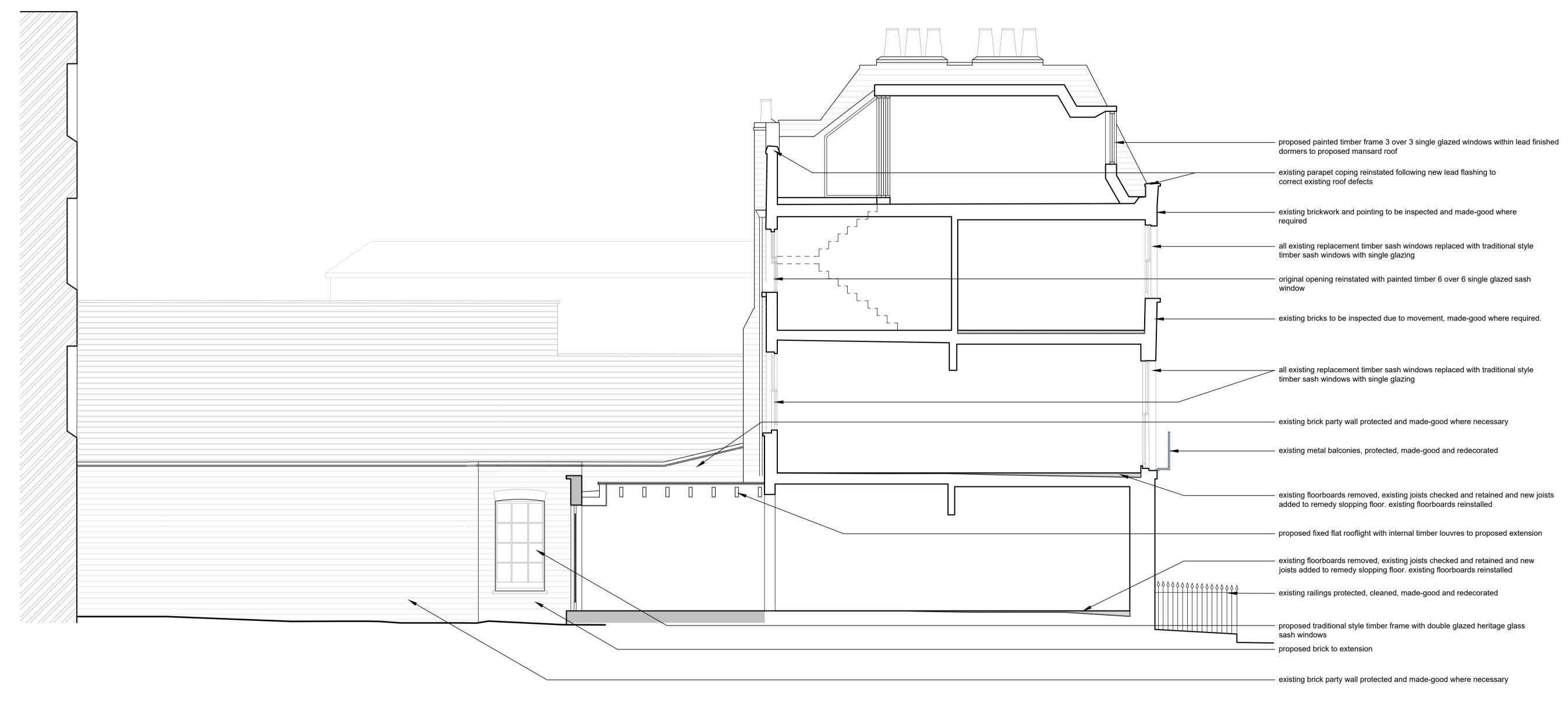
Date

Proposed Elevations No. 125 Albert Street Camden **NW1 7NB** Client **Drawing Status** Project No. **Private Client Planning** 052/2 Drawing No. Rev

August 21

PL-2.00

1:50 / 1:100 A1 / A3



Proposed Side Elevation/Section A-A

MORS+HARTE

www.morsharte.com

ARCHITECTS

1. Drawing used for the status 4. Drawing to be read in indicated only 2. All dimensions and setting out shall be checked and confirmed and any discrepancies to be reported to the Architect prior to commencement of any work
3. All work and materials to be in

accordance with current

. Standards

statutory legislation, relevant

codes of practice and British

accordance with relevant consultants and sub-contractors drawings and specifications

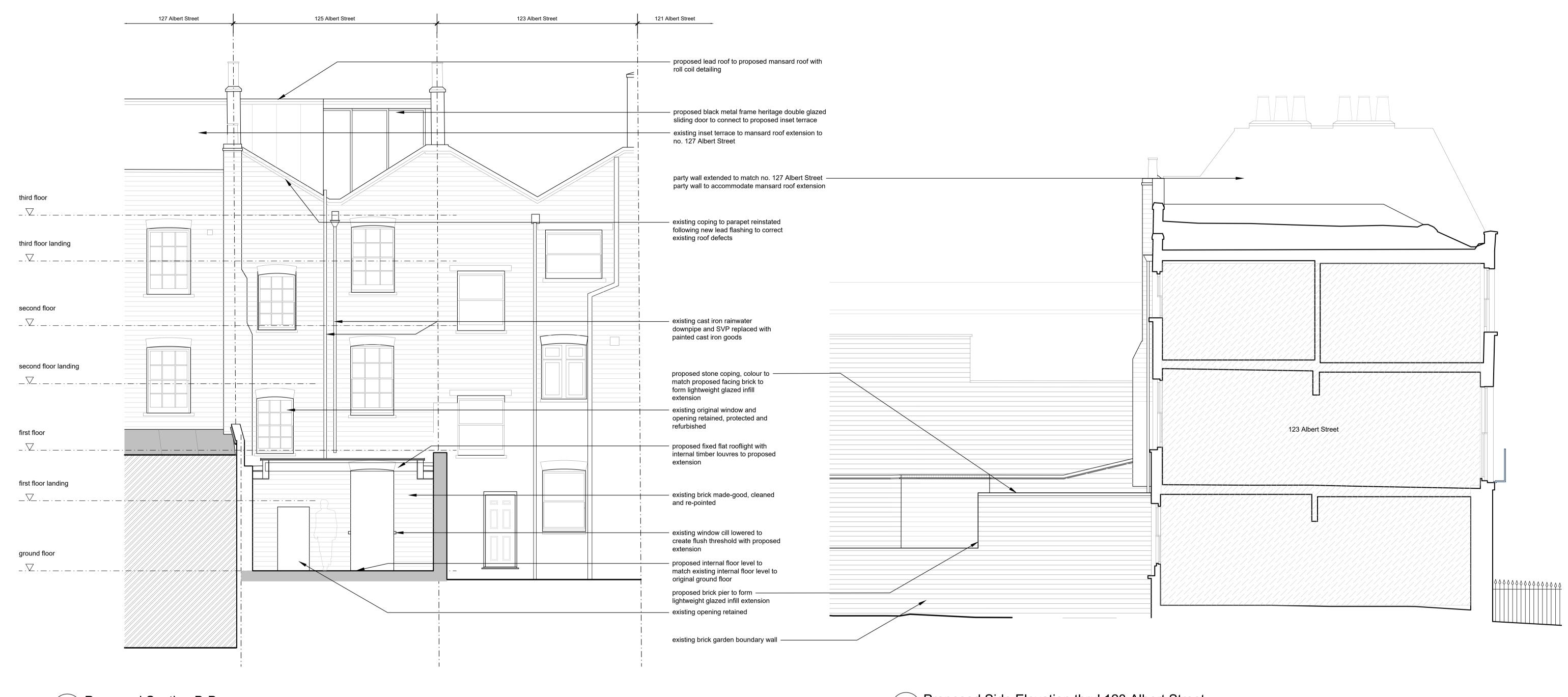
0 0.5m 1 1.5 2 2.5 SCALE = 1:100 @ A3 0 0.5m 1 1.5 2 2.5 SCALE = 1:50 @ A1

Revision Date Comment Site Boundary: - Site boundary assumed and indicated as shown based on interpretation of topographical survey.

Proposed Elevations No. 125 Albert Street Camden **NW1 7NB** Client **Drawing Status** Project No. **Private Client Planning** 052/2

Rev

- Should exact clarification of boundary be required then a third party boundary professional must be appointed Drawing No. 1:50 / 1:100 A1 / A3 PL-2.01 August 21



PL-2.02 - Proposed Section B-B

PL-2.02 - Proposed Side Elevation thru' 123 Albert Street

MORS+HARTE

ARCHITECTS

www.morsharte.com

1. Drawing used for the status indicated only

2. All dimensions and setting out shall be checked and confirmed and any discrepancies to be reported

4. Drawing to be read in accordance with relevant consultants and sub-contractors drawings and specifications

. Standards

discrepancies to be reported to the Architect prior to commencement of any work

3. All work and materials to be in accordance with current statutory legislation, relevant codes of practice and British

0 0.5m 1 1.5 2 2.5 5m

SCALE = 1:100 @ A3

0 0.5m 1 1.5 2 2.5 5m

SCALE = 1:50 @ A1

Site Boundary:

- Site boundary assumed and indicated as shown based on interpretation of topographical survey.

- Should exact clarification of boundary be required then a third party boundary professional must be appointed

- Should exact clarification of boundary be required then a third party boundary professional must be appointed

- Should exact clarification of boundary be required then a third party boundary professional must be appointed

- Should exact clarification of boundary be required then a third party boundary professional must be appointed

- Should exact clarification of boundary be required then a third party boundary professional must be appointed

Date

Revision

Comment

Project
No. 125 Albert Street
Camden
NW1 7NB

Client

Drawing Status

Project No.

Private Client

Planning

052/2

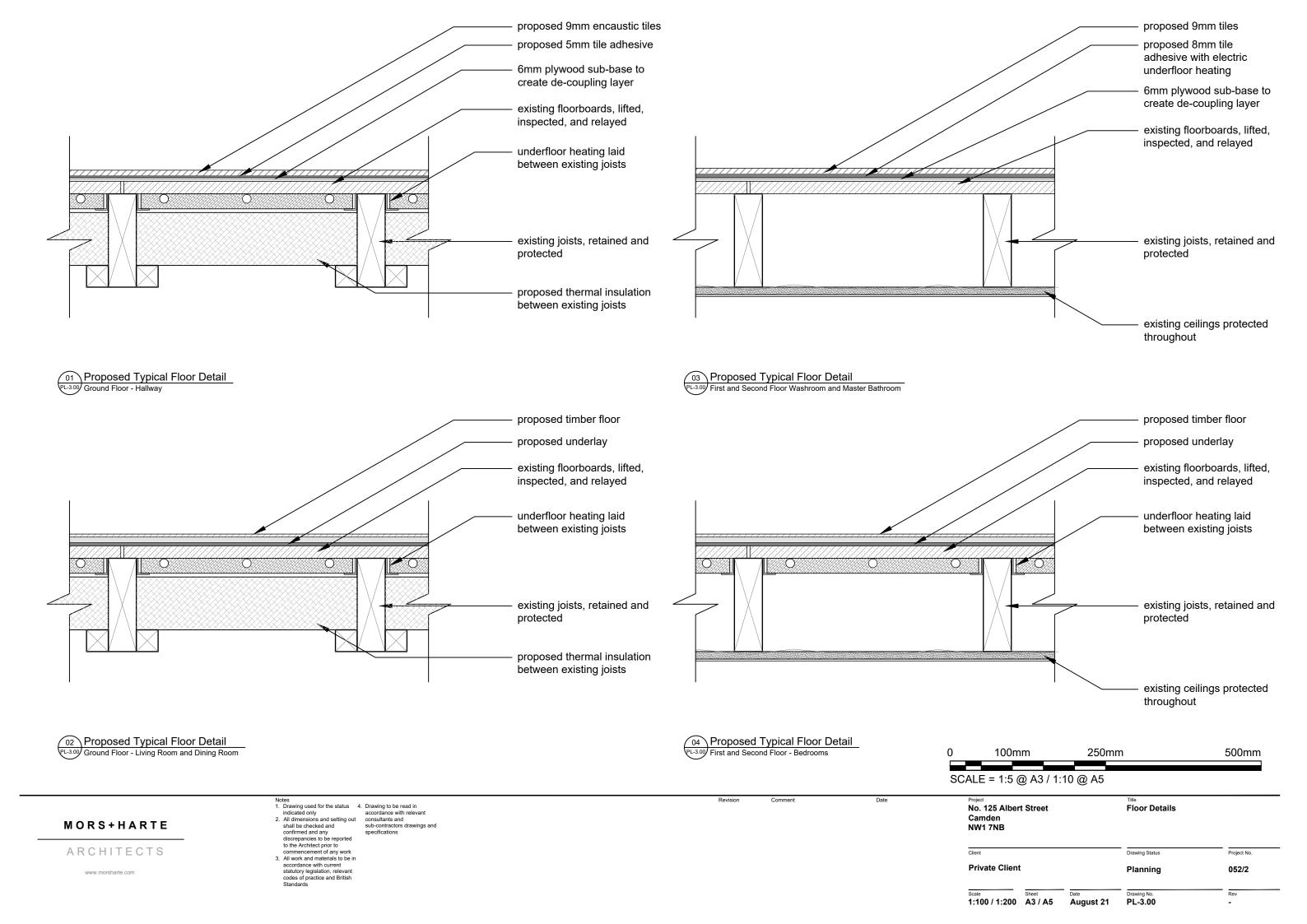
Scale
Sheet
Date
Drawing No.
Prawing No.
Prawing No.
Prawing No.
Rev
1:50 / 1:100

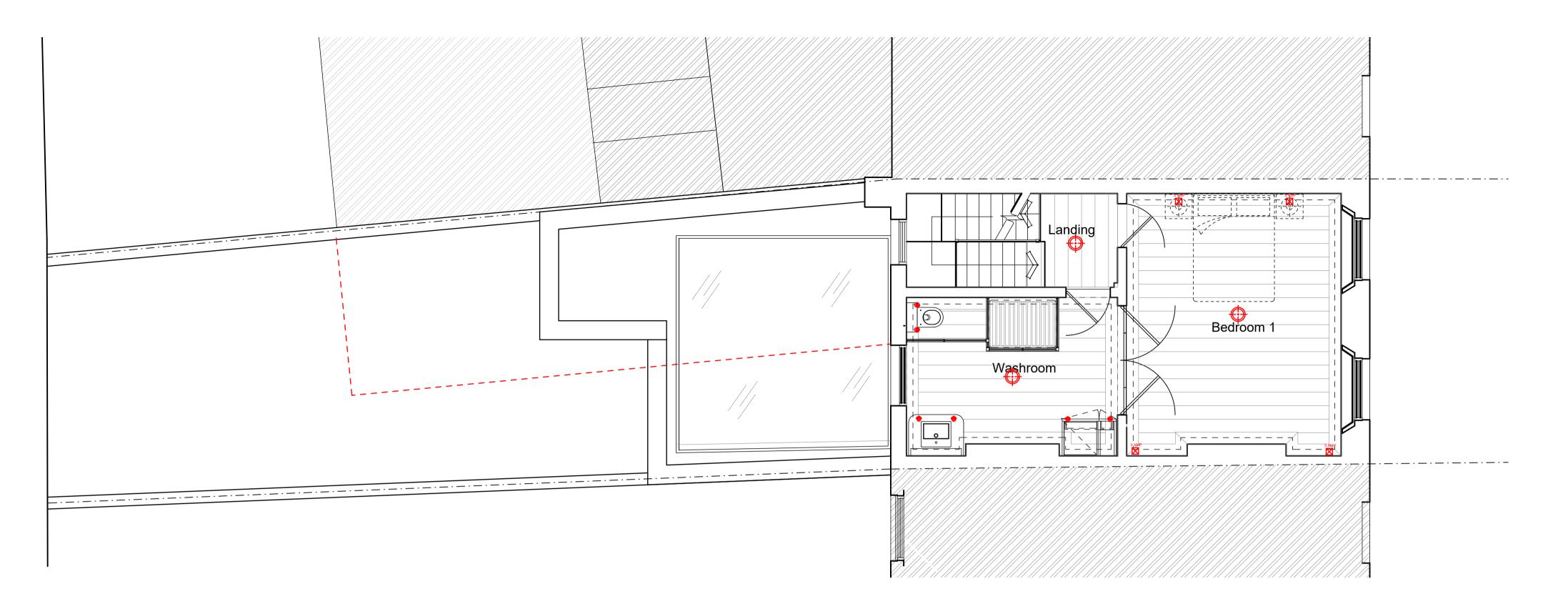
A1 / A3

August 21

Proposed Elevations

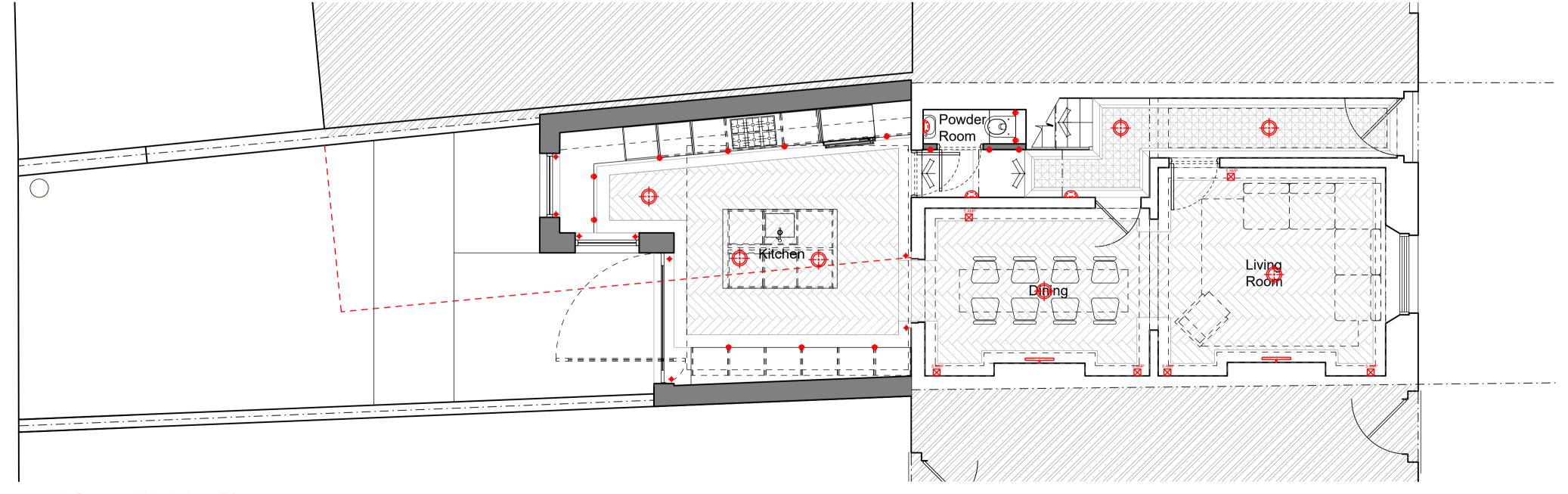
Project No.
Project No.
Project No.
Project No.





Lighting Key Pendant 5 amp - low level (for lamps) Floor washers - low level (within joinery) Wall light Picture light LED strip (within joinery) floor uplighter (within proposed floor and substrates only)

PL-3.01 - Proposed First Lighting Plan



Proposed Ground Lighting Plan

MORS+HARTE

ARCHITECTS

1. Drawing used for the status 4. Drawing to be read in indicated only 2. All dimensions and setting out shall be checked and confirmed and any discrepancies to be reported

statutory legislation, relevant codes of practice and British

. Standards

accordance with relevant consultants and sub-contractors drawings and specifications to the Architect prior to commencement of any work
3. All work and materials to be in accordance with current

0 0.5m 1 1.5 2 2.5 SCALE = 1:100 @ A3 0 0.5m 1 1.5 2 2.5 SCALE = 1:50 @ A1

Revision Date Comment Site Boundary: - Site boundary assumed and indicated as shown based on

- Should exact clarification of boundary be required then a third party

interpretation of topographical survey.

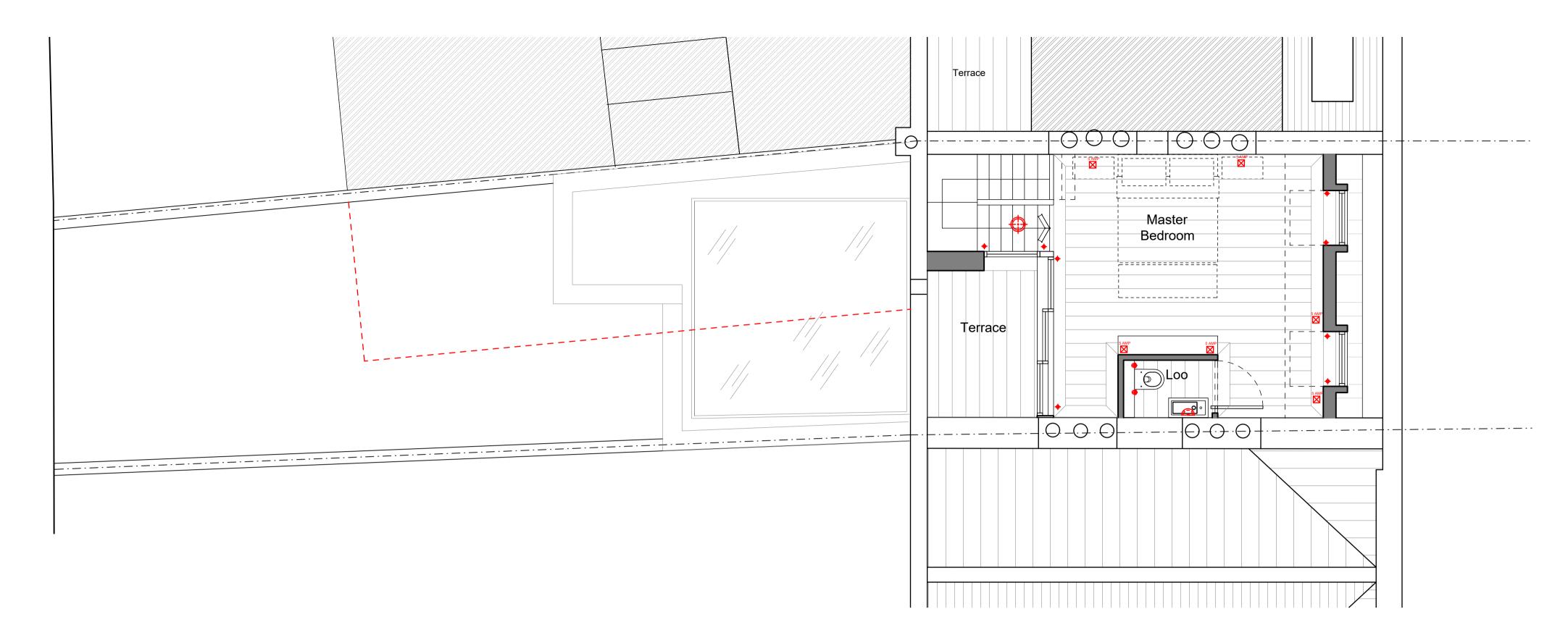
boundary professional must be appointed

No. 125 Albert Street Camden **NW1 7NB Private Client**

Proposed Lighting - Plans **Drawing Status** Project No. 052/2 **Planning**

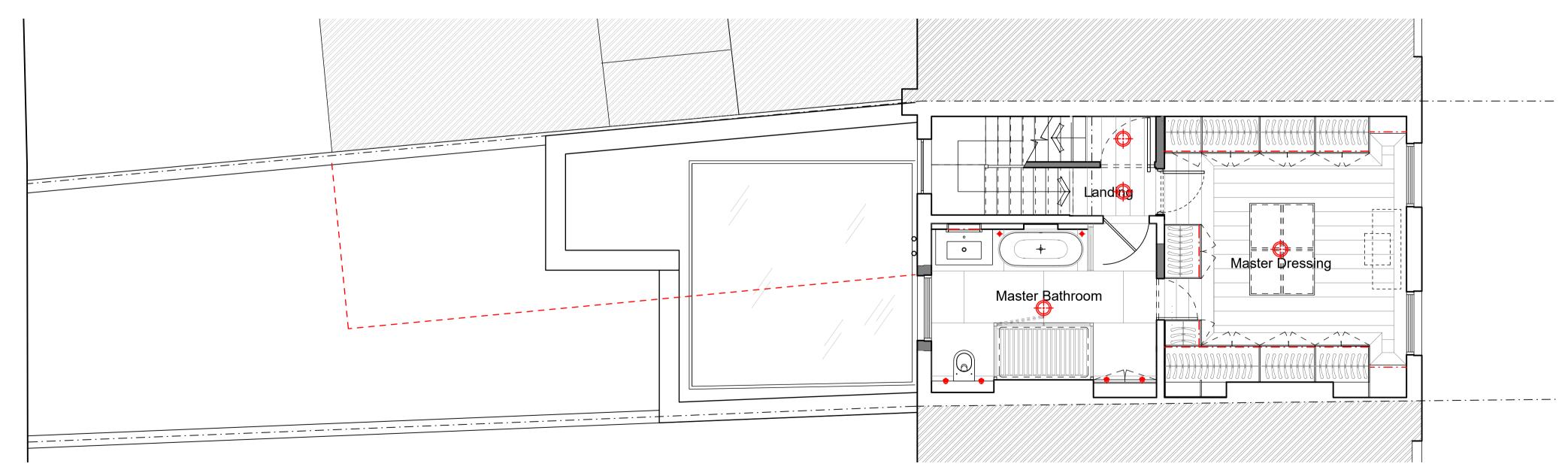
Drawing No. Rev 1:50 / 1:100 A1 / A3 PL-3.01 August 21

www.morsharte.com



Lighting Key Pendant 5 amp - low level (for lamps) Floor washers - low level (within joinery) Wall light Picture light LED strip (within joinery) floor uplighter (within proposed floor and substrates only)

PL-3.02 - Proposed Third Lighting Plan



PL-3.02 - Proposed Second Lighting Plan

MORS+HARTE

ARCHITECTS

www.morsharte.com

1. Drawing used for the status 4. Drawing to be read in indicated only 2. All dimensions and setting out shall be checked and confirmed and any discrepancies to be reported to the Architect prior to

statutory legislation, relevant codes of practice and British

Standards

accordance with relevant consultants and sub-contractors drawings and specifications commencement of any work 3. All work and materials to be in accordance with current

0 0.5m 1 1.5 2 2.5 SCALE = 1:100 @ A3 0 0.5m 1 1.5 2 2.5 SCALE = 1:50 @ A1

Site Boundary: - Site boundary assumed and indicated as shown based on interpretation of topographical survey. - Should exact clarification of boundary be required then a third party boundary professional must be appointed

Comment

Revision

Date

Proposed Lighting - Plans No. 125 Albert Street Camden **NW1 7NB**

Drawing Status Project No. **Private Client** 052/2 **Planning** Rev

Drawing No. 1:50 / 1:100 A1 / A3 August 21 PL-3.02