

# 75 Belsize Lane, NW3 5AU

Planning, Design & Access Statement  
Proposed Front Extension

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*Portland Lodge, 75 Belsize Lane, London NW3 5AU.*

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## 1.0 Introduction

This Planning, Design and Access Statement has been prepared by Sanya Polescuk Architects to support the planning application submission for works at Portland Lodge, 75 Belsize Lane, NW3 5AU.

The property is in residential use and currently comprises two bedrooms.

Planning permission is sought from Camden Council in respect of the following proposal:

- Erection of a single-storey, front extension with incorporated timber binstore and 2no. rooflights;
- Replacement of the existing timber railing on one side to balcony with new metal railing on three sides;
- Replacement of all windows and glazed doors on the front elevation with new to match existing in style and location.

In summary, the proposal has the following benefits:

- Continued use as a residential dwelling;
- Increased and improved residential floorspace;
- A high-quality architectural approach;
- Improvement of the character and appearance of the conservation area;



Figure 1. Belsize Conservation Area.

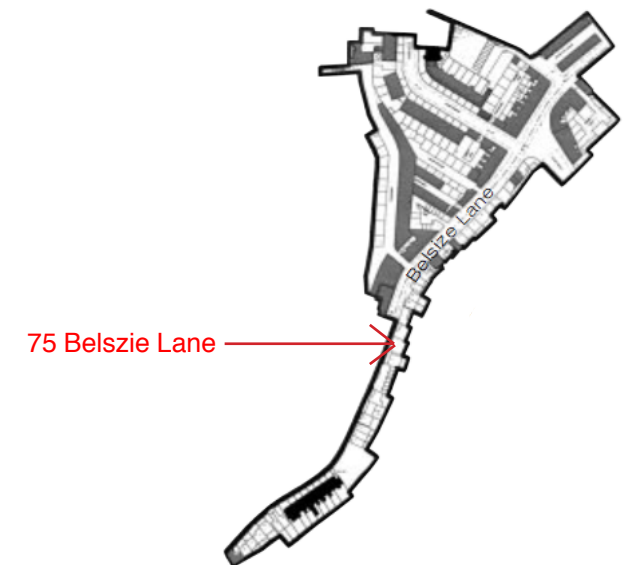


Figure 2. Belsize Conservation Area Sub Area 2.

## 2.0 Background

### 2.1 Practice Profile

Sanya Polescuk Architects (“SPA”) is a well established architectural practice based in NW3 with extensive knowledge of the local area. Winner of the AJ Retrofit Award in 2013, SPA has a reputation for skillfully upgrading sensitive building fabric to modern efficiency levels without compromising the special historical characteristics.

### 2.2 Conservation Area

The property is located in the Belsize Conservation Area where it falls within Sub Area 2 established 01.02.1988 (Figure 1 & 2). The character of this Conservation Area is mostly derived from mid-19th century Italianate villas and mews houses and is divided into a number of distinct areas of varying character and appearance. Sub Area Two consists of residential and commercial uses and has a tight urban grain. The properties are consistent in the use of London stock brick with stucco moulding.

### 2.3 Streetscape

The North part of Belsize Lane was initially developed by Tidey (1850-1870) and later by Willett and displays Italian renaissance influences. The buildings are consistent in scale, materials and character, with decorative elevations. Those properties – mostly three to four storeys high have vertically proportioned windows and

shopfronts at ground level and often retain original details.

However, nos. 41A to 77F paint a very different picture. Those properties in scale resemble two storey mews houses rather than Italianate villas and are very inconsistent in façade treatment resulting in only five houses being considered to make a positive contribution to the Conservation Area. The facades include yellow and red brick, paint of various colours, render and metal cladding, and were heavily altered over the years.

Further South is the three-storey Grade II Listed stucco terrace at nos. 79-93 with beautiful classical detailing and decorative first floor balconies, directly opposite a large modern building of the Tavistock and Portman NHS Foundation Trust.

Belsize Lane is located within close proximity of Swiss Cottage and Belsize Park Underground Stations and numerous bus routes running along Haverstock Hill and Finchley Road.

### 2.4 Site and Surrounding Area

Portland Lodge, 75 Belsize Lane is a two-storey residential property located on the south side of Belsize Lane, part of a low-built terrace between but separated from “the three-storey, listed (Grade II), stucco terrace at nos. 79-93 with classical detailing and decorative first-floor balconies” and the area of garaging considered a negative feature of the area (Belsize Conservation



Figure 3. North Part of Belsize Lane.



Figure 4. South part of Belsize Lane.



Area Statement). No. 75 Belsize Lane originally included three garages that were altered in 1985 to create a single garage and an additional study/bedroom.

The property is a terrace with a more open character, more vegetation and greater variety in age and elevational treatment than local mews or Italianate villas. However, it is of similar height and scale to the mews houses present in the area.

The property is currently not considered to be making a positive contribution to the Conservation Area and is not affected by Article 4.

### 3.0 Planning History

A comprehensive review of the Statutory Register of Planning Applications held by the London borough of Camden has been carried out.

Online records show that the most recent application has been consented to reducing the crown of cherry trees in the rear garden (2011/1489/T).

Other than this, there are two more consented applications:

- Enlargement of existing conservatory at first floor level at rear (8600124);
- Alterations to three existing garages to form an additional bedroom/study and a single garage (8500171).

The applicants, as owner-occupiers, have

made personal approaches to all their immediate neighbours to invite their views prior to the submission of this application.

The area has many examples of approved planning applications for front extensions. There are three planning applications of particular interest:

#### 3.1 - No 97, Belsize Lane (2015/1973/P)

Planning permission was granted in September 2015 for an Erection of a hipped roof extension forming habitable loft space, insertion of 5 x rooflights, a first floor front extension, Conversion of integral garage to habitable space and external alterations to front and rear elevations

#### 3.2 - No 40, Ornan Road (2019/6141/P)

Planning permission was granted in August 2020 for an erection of a ground floor front extension; conversion of the existing garage into a habitable room; erection of a ground floor rear extension including a green roof; excavation of a single storey basement below the host dwelling; erection of a garden room with a green roof in the rear garden following demolition of the existing rear shed and bike store; alterations to the existing front fenestration; alterations to the existing rear boundary treatment; and alterations to the front and rear landscaping.

#### 3.3 - No 63, Ornan Road (2019/2948/P)

Planning permission was granted in August 2019 for an Erection of 2 storey front



Figure 5. Elevations of nos. 77 & 77A Belsize Lane.



Figure 6. South part of Belsize Lane.

extension including conversion of garage to habitable space, installation of 4 rooflights and replacement windows to front elevation and rear at first floor level.

Details of these applications are attached as appendices to this statement.

## 4.0 Design and Access

In addition to the extension work and replacement windows applied for, the proposals include retrofitting insulation to the front walls upgrading the fabric of the building generally to modernise suitable for contemporary living standards and future-proofing the energy use of the property. The property is to become applicant's home and they are invested in high quality design and construction work that preserves and enhances the conservation area setting.

### 4.1 Use

The use class of the property is currently 'C3 residential' and will remain unchanged.

### 4.2 Amount

The existing property has a square footage of 188m<sup>2</sup> with the front garden being 16m<sup>2</sup> (GIA). The proposed front extension would add 8m<sup>2</sup> to the building fabric.

The total resulting square footage of the property would amount to 196m<sup>2</sup> (GIA). The remaining outdoor space would be 6.3m<sup>2</sup>. The height of the front extension is in line with the existing garage extension, the line

of the front wall is the existing front garden wall.

### 4.3 Layout

The applicants seek to extend the front of their property to provide a better street frontage to their home. It will modestly extend their living space, create a private street-facing patio and de-clutter the front yard of bins. There is an existing brick wall at the property boundary with solid timber infill fence and gate. The new front wall of the extension will continue the line of the existing garage and the boundary wall in the exact same position. It will also support a lush planting trailing from the parapet.

The proposal removes the squat brick piers from the roof of the garage extension replacing them and the existing timber balustrade by a single simple metal balustrade. A single horizontal datum line is taken from the base of the roof of the garage extension and used as a defining top level of the new extension in order to unify the whole front elevation. This elevation seeks to form a cohesive frontage that incorporates all elements of the extension in a single form. The perforations in the brickwork will reduce the expanse of unrelieved brickwork and the benefit to the pedestrian passing by and will ensure that natural light comes through from behind during daytime and the artificial light at night. This will add subtle playfulness to the frontage and enhance the streetscape. The porch has been pushed

back into the volume to provide shelter to waiting space for visitors in addition to the compositional interest to the facade. The continuous parapet line maintains the overall appearance of unity to the street.

When designing the extension, the goal was

to add an architectural value to the front elevation of the property while providing additional square footage and respecting the parameters set by:

- Conservation Area design principles
- Rights of light
- Any precedents set by properties in the area (as described above in Section 3.0).

### 4.4 Access

The access to the property will remain in the same position with the existing front steps retained. Visitors will now be sheltered and the bins will be covered.

### 4.5 Scale

The extension respects the scale of the existing building. The volume is designed to be complimentary to the host building elements and environs. The dimensions of the front extension don't impact neighbour's rights of light and privacy. Proposal is visible from the public highway however, it respects the existing boundary lines and improves the streetscape. The houses along this south side of Belsize Lane have a variety of relationships with the street, some set back, others right on the pavement line,

the majority combine the two conditions and this balance has been kept with these proposals.

#### 4.6 Appearance

Currently the facade is a mix of two kinds of exposed bricks at ground floor level with painted bricks above a line of the exposed concrete lintols. The fenestration is a mix of original steel windows with a later timber assembly at the existing garage extension balcony. It is proposed to replace the existing windows with thermally broken and well sealed double glazed aluminium windows sympathetic to the originals and matching their frame format. The idiosyncratic and attractive glazed screen next to the front door will be retained and will still be visible from the street but brought inside the thermal envelope with a new double glazed entrance screen, aluminium framed to match the other windows and bring a cohesive appearance to the facade. It is proposed to blend the old and the new bricks at ground floor level with a lime wash to soften the transition between materials while allowing the natural variations of stock bricks to still be seen. The first floor brickwork will remain painted. The perforations in the brickwork will bring additional natural light into the property while maintaining privacy, these perforations will be infilled with brick-size glass blocks to provide security against intruders climbing the wall.

While the buildings up and down the street are of varied appearance and era with different relationships to the street noted above, there are several linking features of those houses in close proximity to this property are: a visible roof pitch parallel to the street; a late 20th Century style in glazing set into brickwork; most have a visual change from ground to first floor. The proposals seek to provide a more unified composition compared with the house as it is while respecting those clear characteristics of the street.

#### 4.7 Protected Trees

There are no trees subject to TPOs in the front garden of the site.

### 5.0 Conclusion

The proposed works preserve and enhance the character and appearance of the conservation area, are unobtrusive and respectful to the existing architectural features.

The adjoining properties do not have any significant architectural features and have been heavily altered over the years, so the proposal would not disturb the existing rhythm.

The proposed design of the front extension has been carefully considered to respond to the context of the host building and the surrounding area. The scale and proportions of the proposed extension were designed



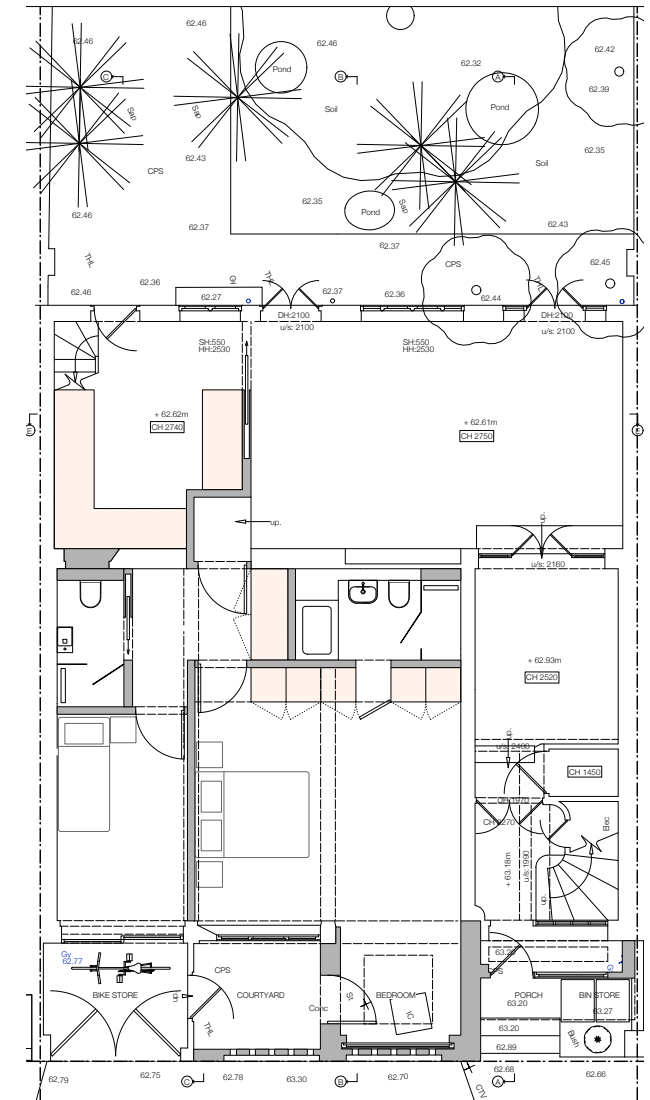
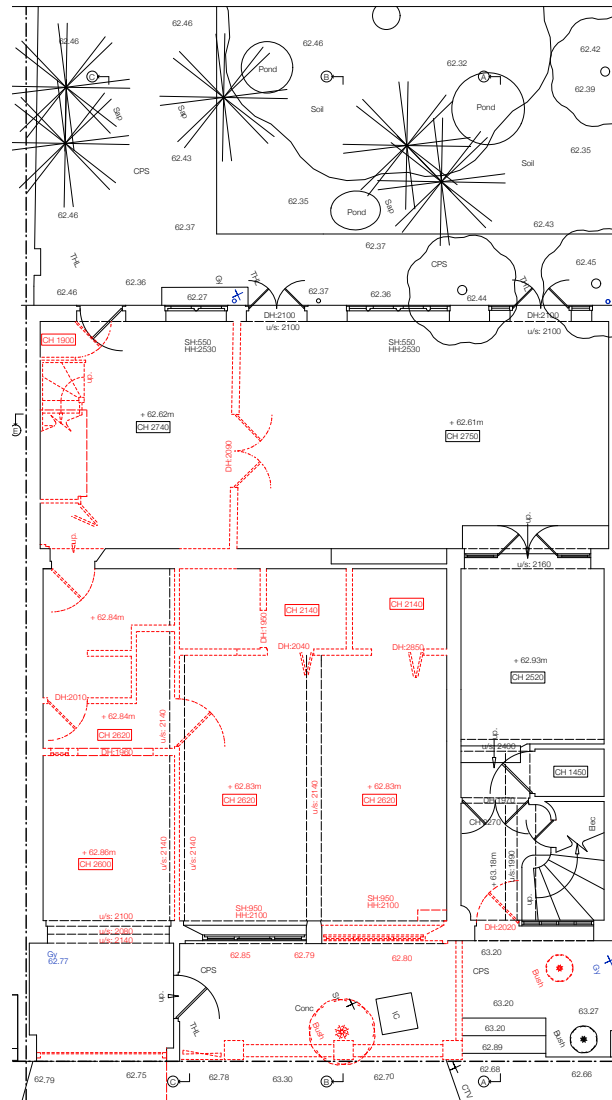
Figure 7. Existing front elevation of no. 75 Belsize Lane showing demolition in red.



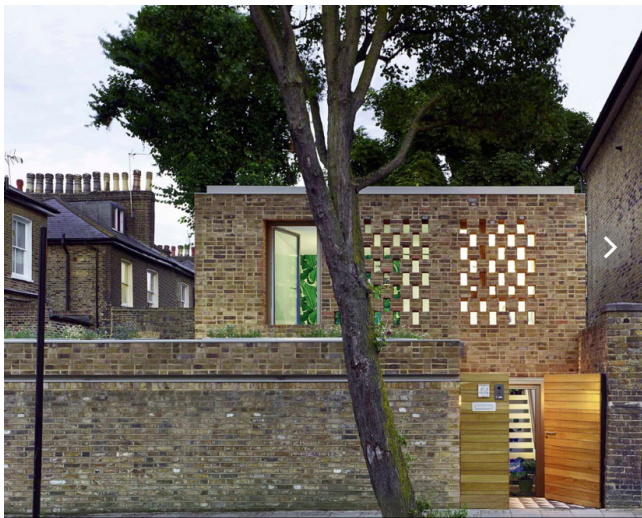
Figure 8. Proposed front elevation of no. 75 Belsize Lane.



The use of materials and design of the extension will preserve and enhance the character and appearance of the Conservation Area.







# P R O J E C T PROPOSAL

The proposed materials for the extension are a modern interpretation of those already present in the area. Stock brick is the prominent material for the existing external walls and the new extension will be built in stock brick to compliment the host building. The new brickwork will be treated in a modern idiom.

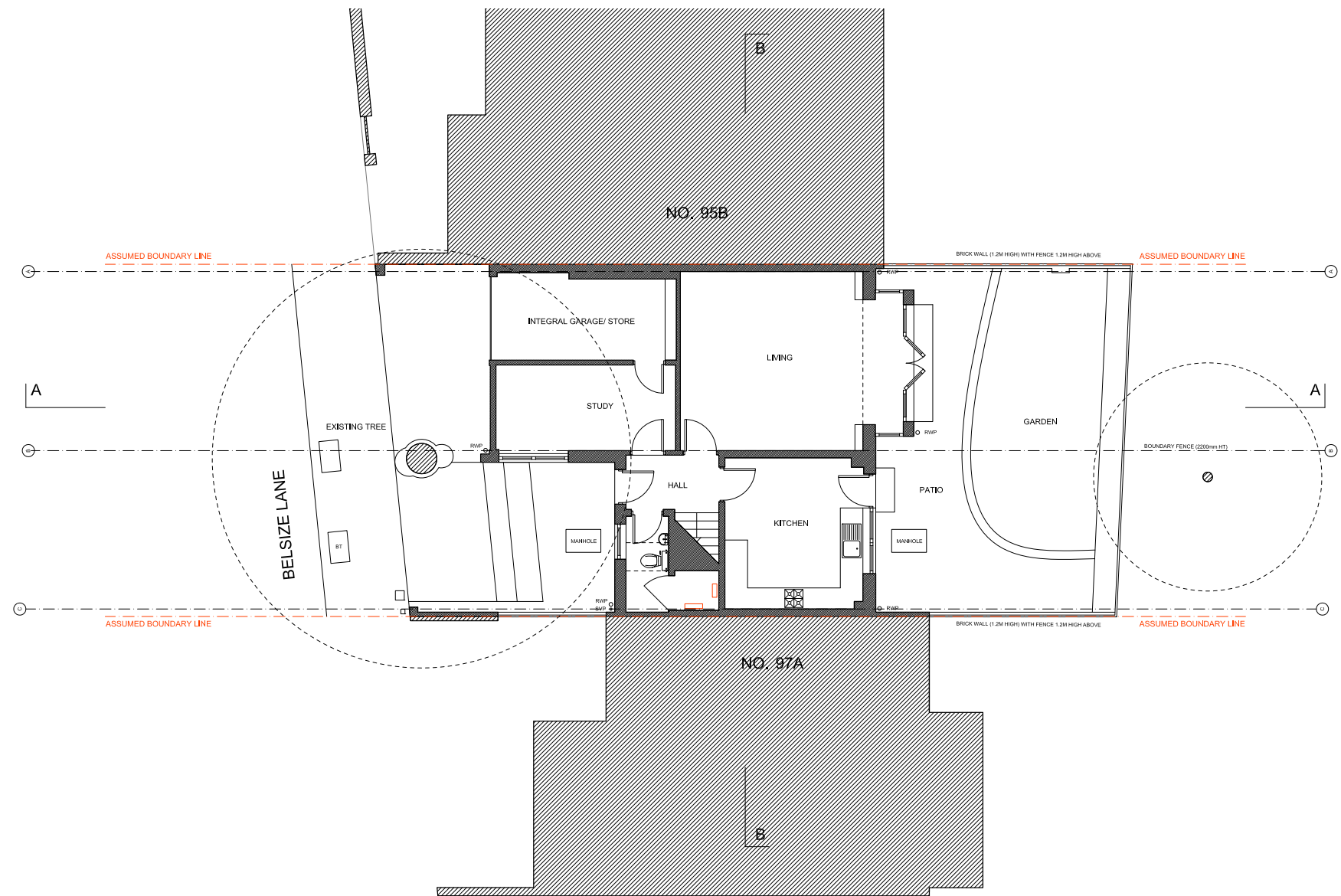






Figure 11. Artist's Impression of proposed front extension at no. 75 Belsize Lane.

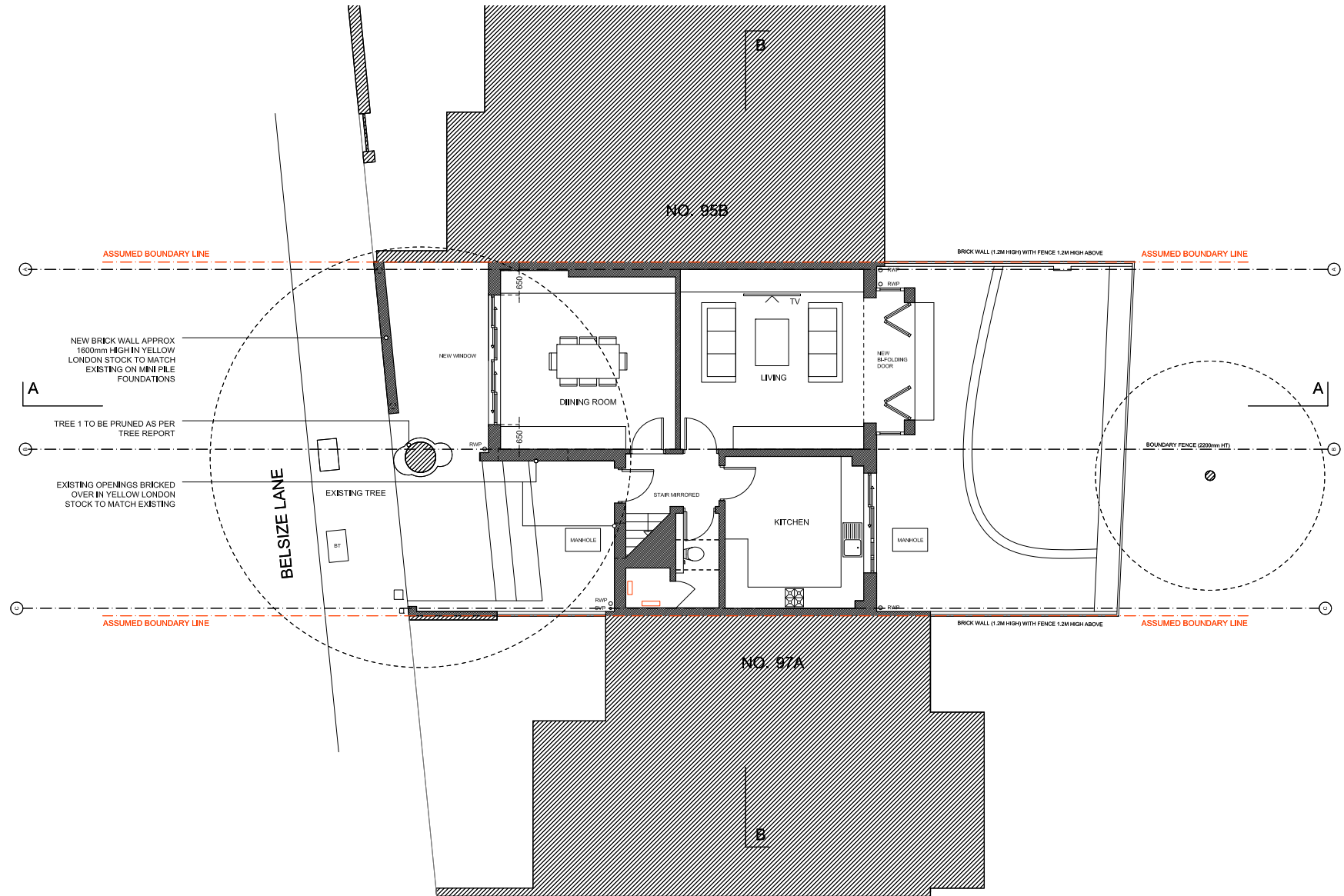
Appendix I - Consented Precedent: no. No 97, Belsize Lane (2015/1973/P)



REVISIONS REV. DATE    AMENDMENT	REVISIONS REV. DATE    AMENDMENT	KEY PLAN	SCALE BAR (METRES) 1:100@A3 / 1:50@A1 0 1 2 3 4 5	N	stagg architects 3rd FLOOR, 44-46 NEW INN YARD, LONDON EC2A 3EY ben@staggarchitects.co.uk www.staggarchitects.co.uk	DRAWING TITLE EXISTING GROUND FLOOR PLAN			
						DATE	DRAWN	A1 SCALE	A3 SCALE

Figure 12. No. 97 Belsize Lane existing ground floor plan.






<b>REVISIONS</b> REV. DATE    AMENDMENT	<b>REVISIONS</b> REV. DATE    AMENDMENT	<b>KEY PLAN</b>	<b>SCALE BAR (METRES)</b> 1:100@A3 / 1:50@A1    0    1    2    3    4    5 	<b>stagg architects</b> 3rd FLOOR, 44-46 NEW INN YARD, LONDON EC2A 3EY ben@staggarchitects.co.uk www.staggarchitects.co.uk	<b>DRAWING TITLE</b> PROPOSED GROUND FLOOR PLAN
NOTES AND CLARIFICATIONS				CLIENT    PROJECT	DATE    DRAWN    A1 SCALE    A3 SCALE

Figure 13. No. 97 Belsize Lane proposed ground floor plan.

Appendix II - Consented Precedent: no. No 40, Ornan Road (2019/6141/P)

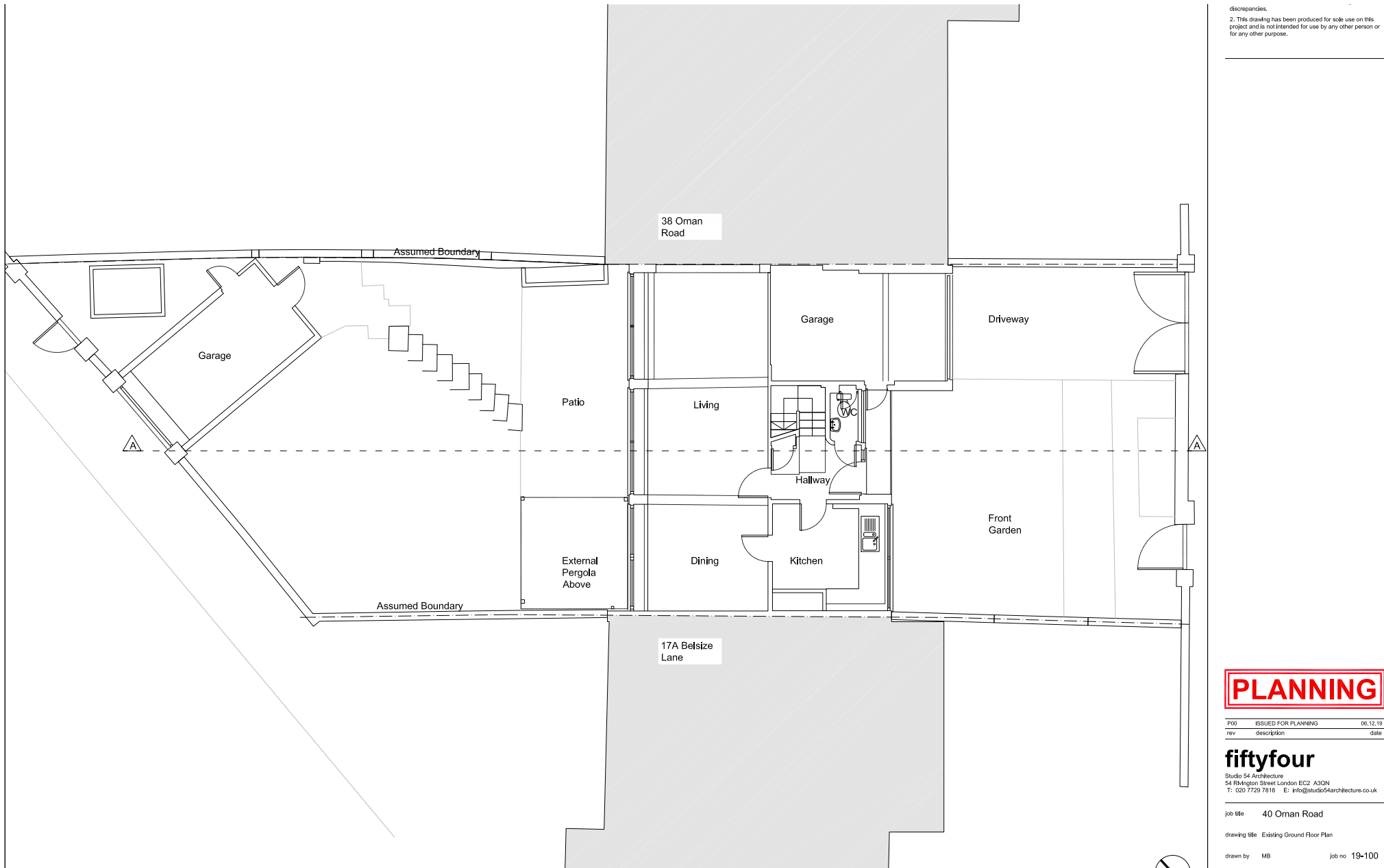
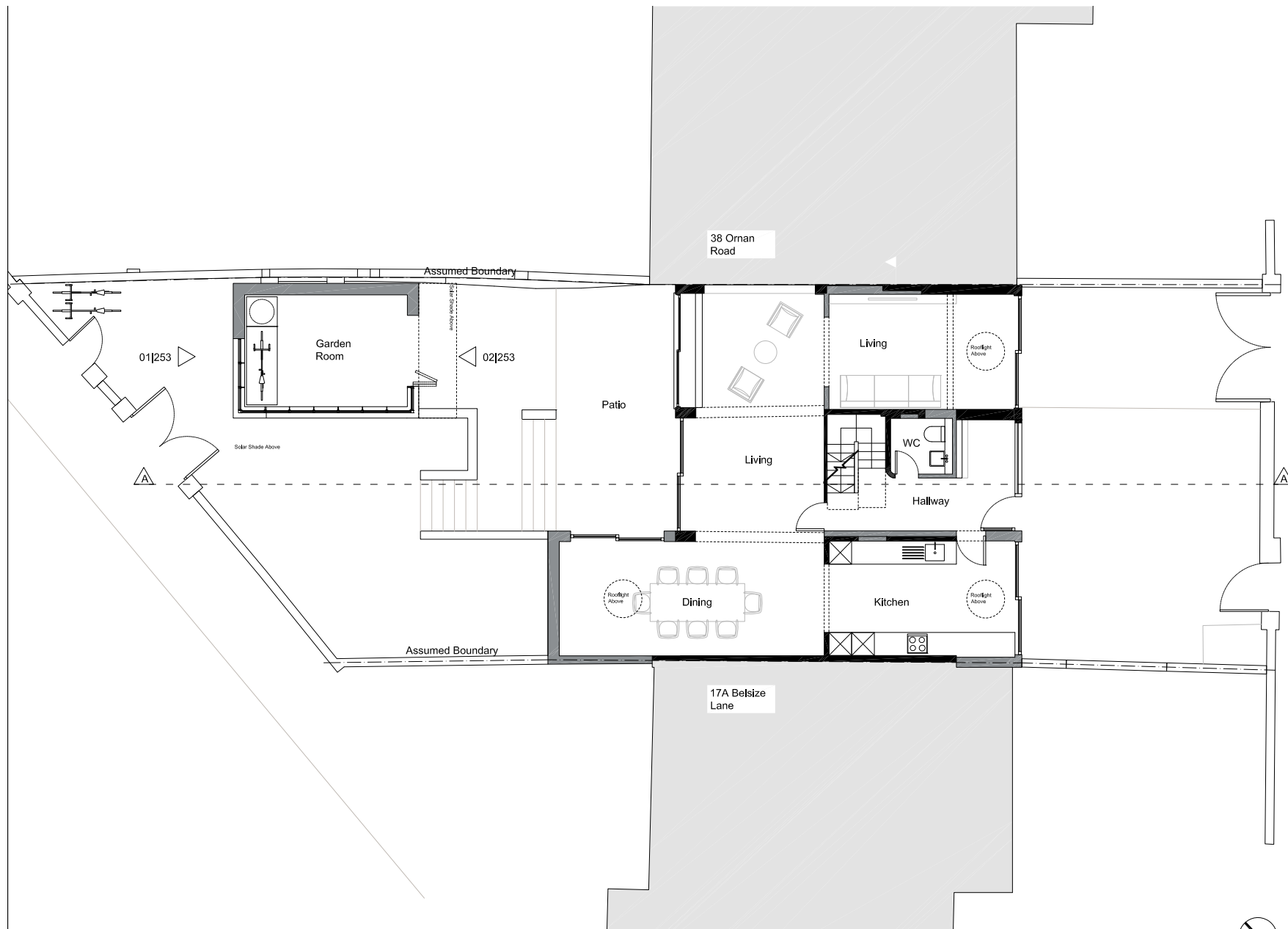


Figure 14. No. 40 Ornan Road existing ground floor plan.



discrepancies.  
2. This drawing has been produced for sale use on this project and is not intended for use by any other person or for any other purpose.

#### Key

- Existing Walls
- New Walls

**PLANNING**

P01	ISSUED FOR PLANNING	17.04.20
P00	ISSUED FOR PLANNING	06.12.19
rev	description	date

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job title 40 Ornan Road

drawing title Proposed Ground Floor Plan

drawn by MB job no 19-100

Figure 15. No. 40 Ornan Road proposed ground floor plan.



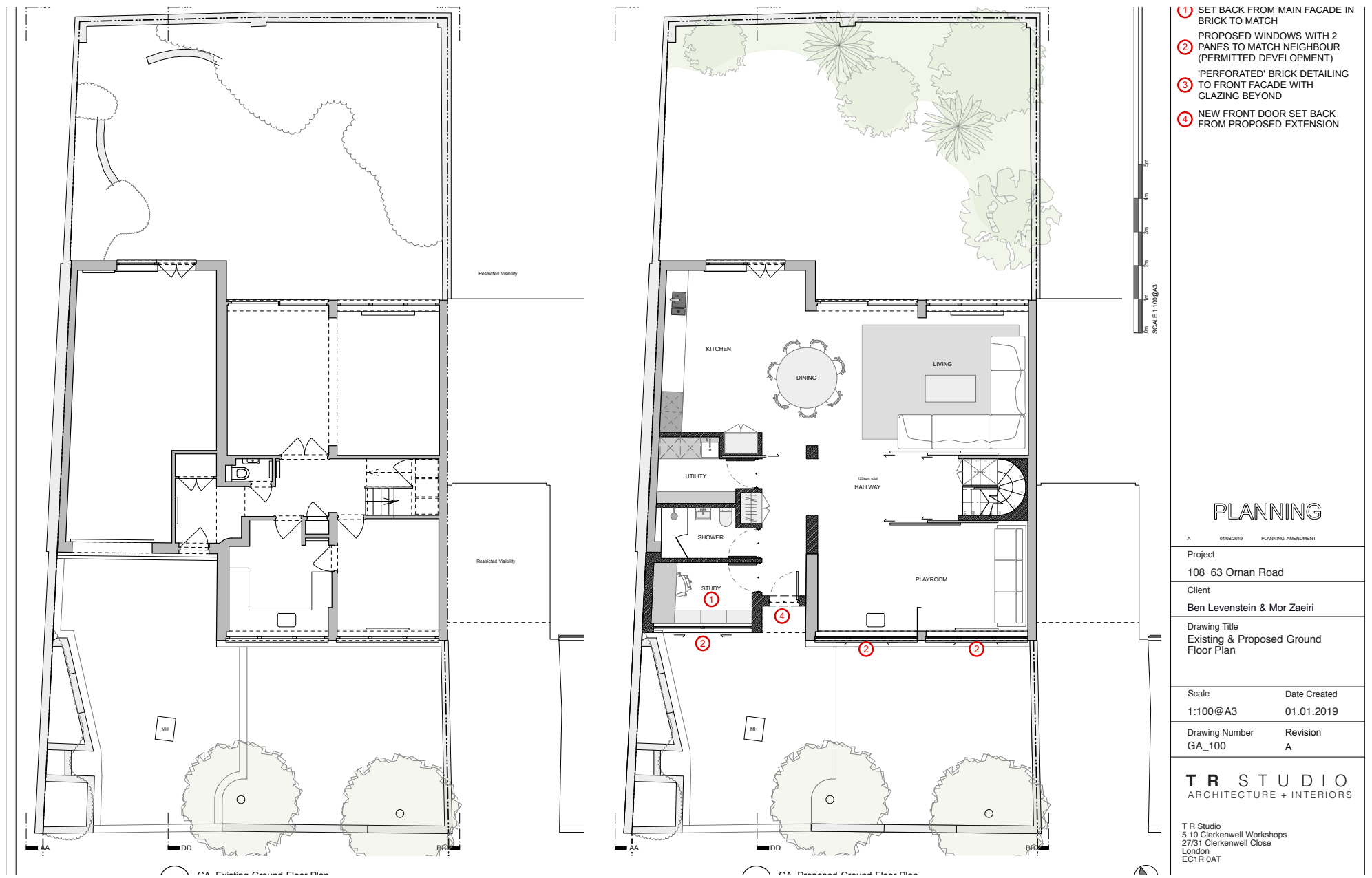


Figure 16. No. 63 Ornan Road existing & proposed ground floor plans.