

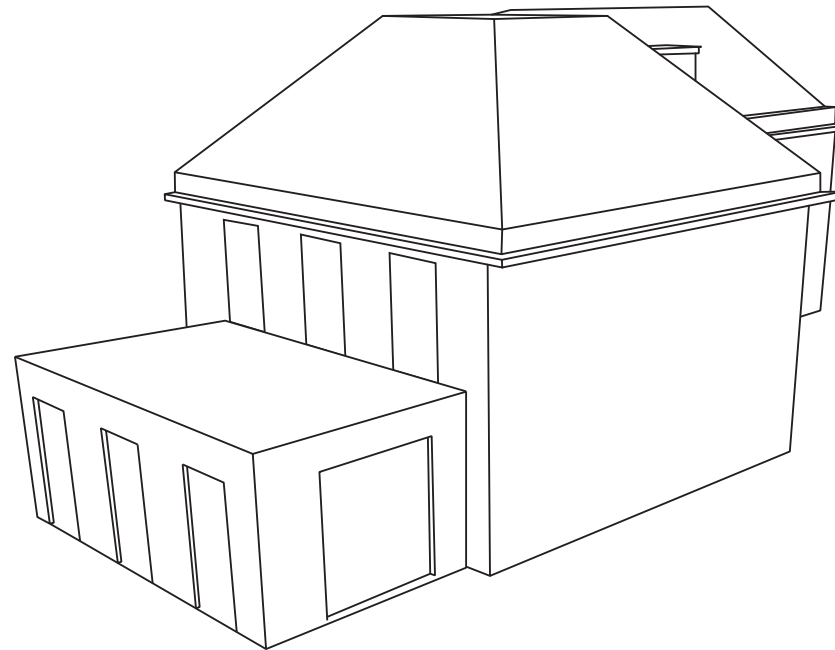
04 MAIN HOUSE PROPOSAL

04.01

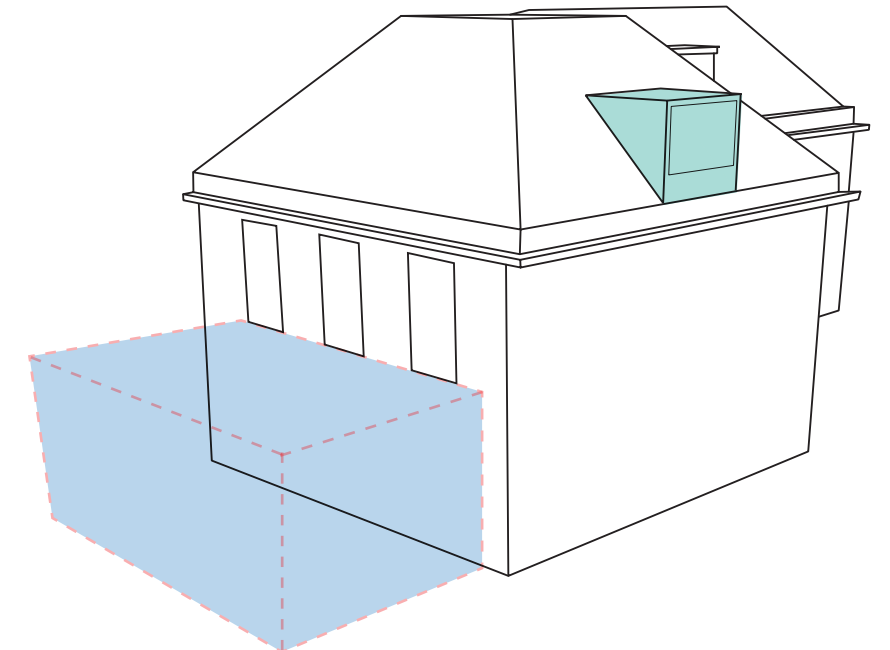
PROPOSED WORKS MAIN HOUSE

The proposed works to the main house consists of

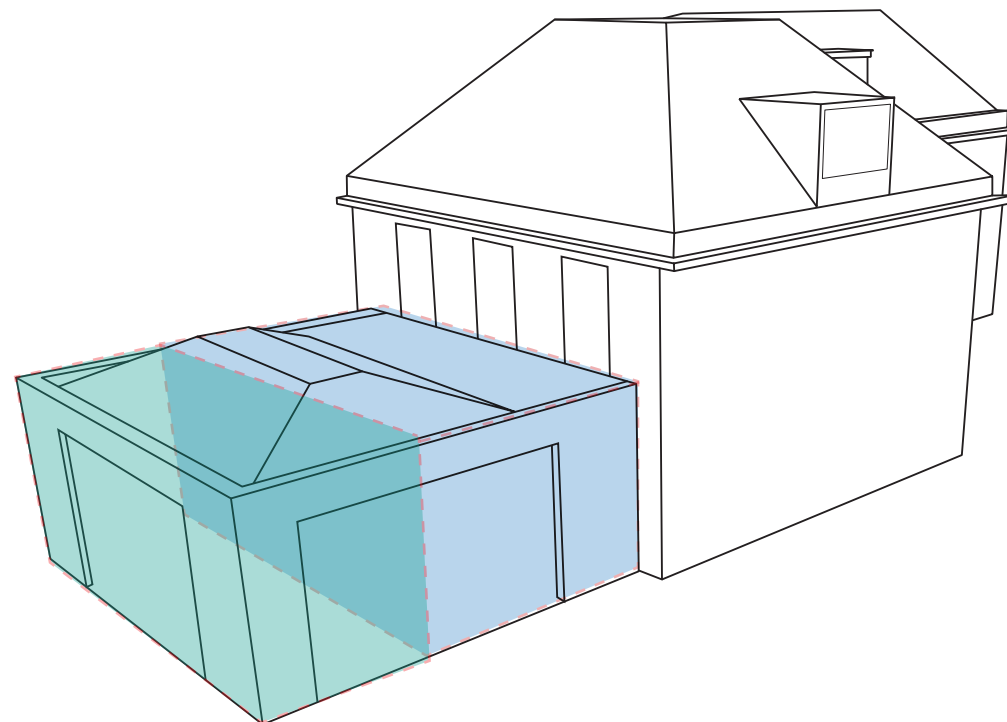
- 1 The removal of the modern kitchen extension, constructed in the 80s.
- 2 An additional dormer window at second floor level, bringing daylight and views into the children's bedroom (previously used as storage).
- 3 Addition of a new ground floor kitchen extension which relates to the mass and form of the proposed summer house.
- 4 Extension of the first floor over the new ground floor extension.



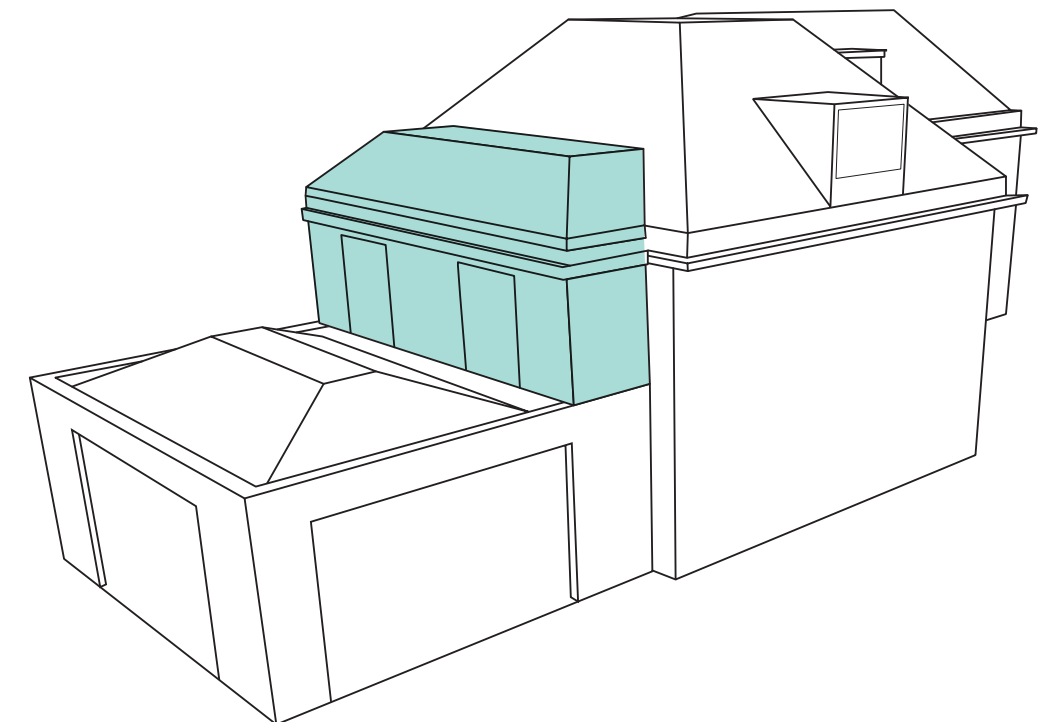
1 EXISTING HOUSE WITH KITCHEN EXTENSION



2 ADDITIONAL DORMER AT SECOND FLOOR AND REMOVAL OF KITCHEN EXTENSION



3 ADDITION OF GROUND FLOOR KITCHEN EXTENSION



4 FIRST FLOOR EXTENSION ABOVE KITCHEN

04.02

PROPOSED WORKS MAIN HOUSE KITCHEN EXTENSION

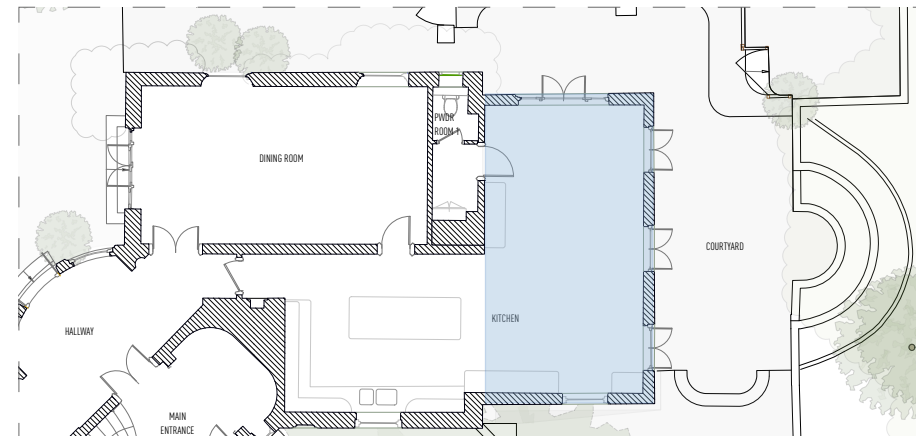
As mentioned in section 02.01, the main house has already been extended in 1985, creating a bigger ground floor kitchen area.

The new ground floor extension looks at pushing the external north wall further out and although we are proposing to demolish and rebuild this section, the proposed massing is not very impactful when seen as an addition to the existing 1985 extension, represented in the adjacent diagrams.

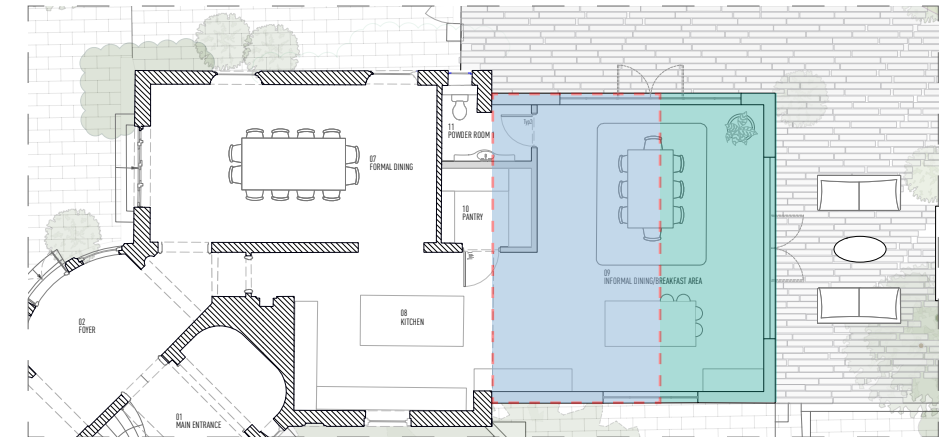
We are also proposing two crittall style doors allowing views out to the garden, where we are proposing new dining and seating areas for the proprietors' enjoyment of the newly landscaped surroundings.

The crittall doors will also match the opening style of the summer house (see section 05.00).

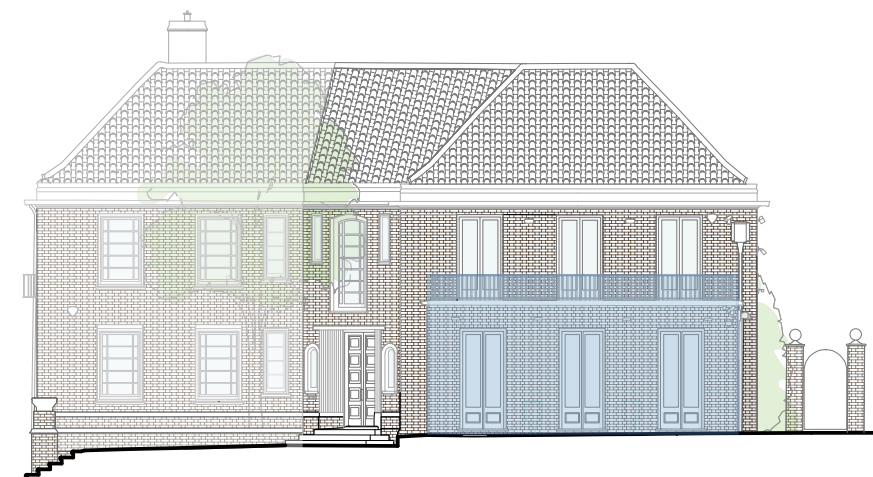
The proposed kitchen house extension is designed to take advantage of the under-used hardstanding area outside the current kitchen.



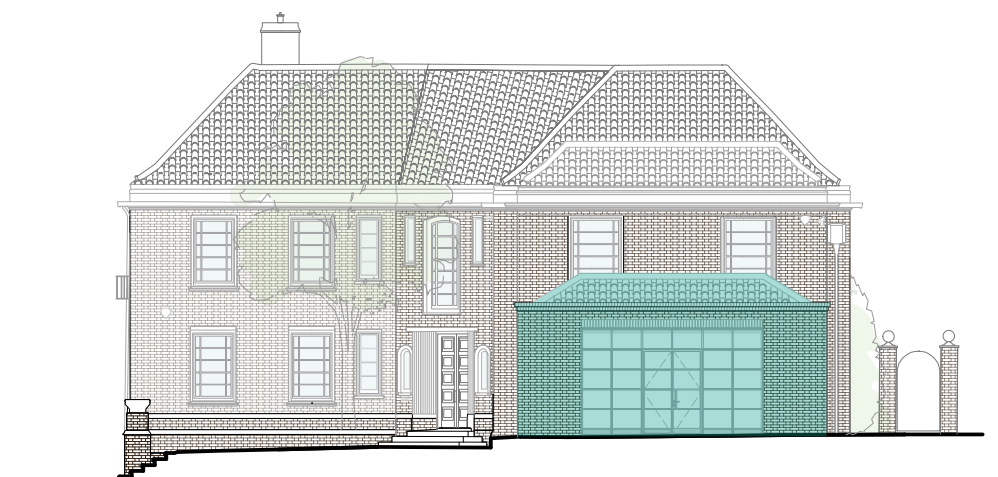
EXTRACT OF EXISTING GROUND FLOOR PLAN



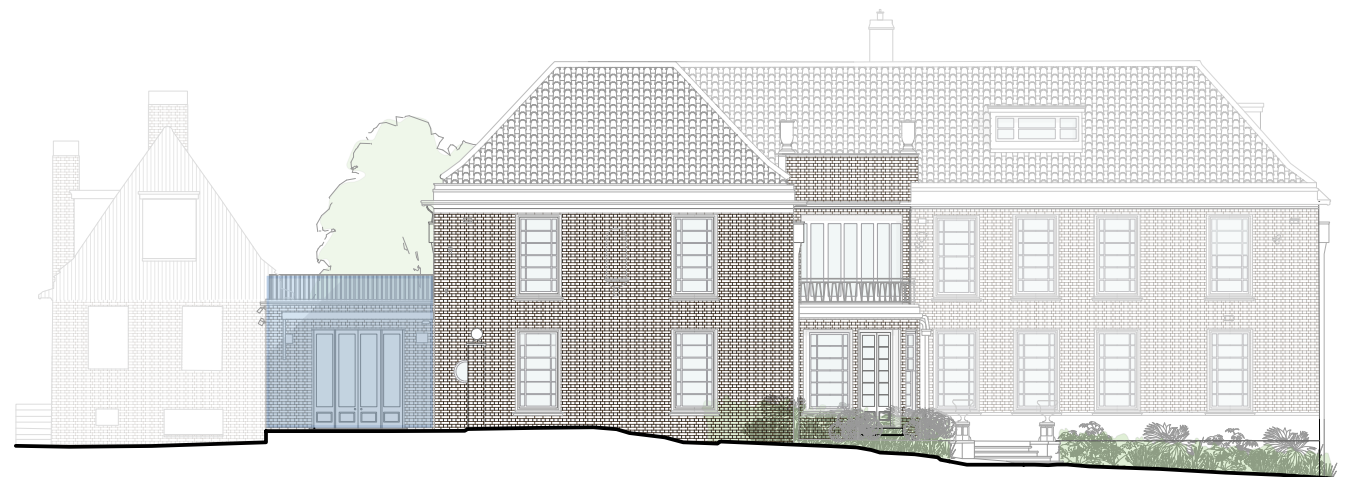
EXTRACT OF PROPOSED GROUND FLOOR PLAN



EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION



EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION



CURRENT KITCHEN EXTENSION
PROPOSED KITCHEN EXTENSIONS

ateliergooch

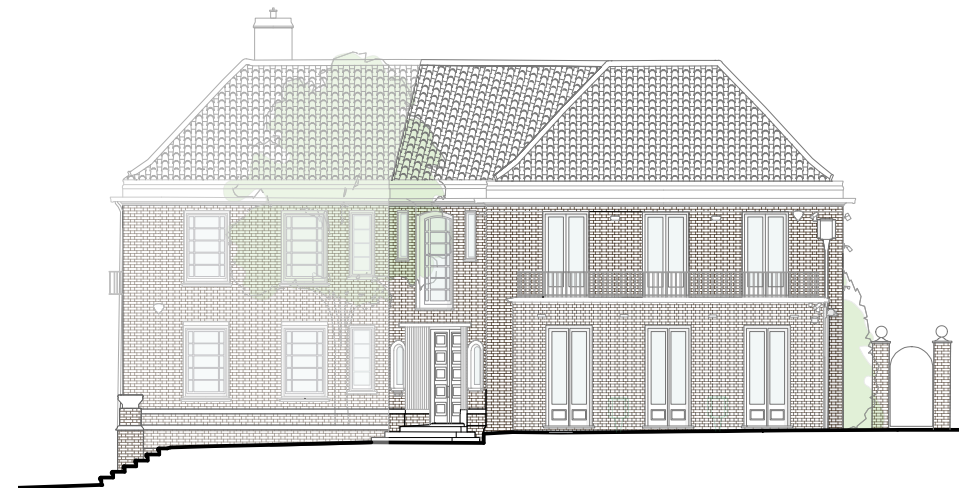
04.03

PROPOSED WORKS MAIN HOUSE FIRST FLOOR EXTENSION

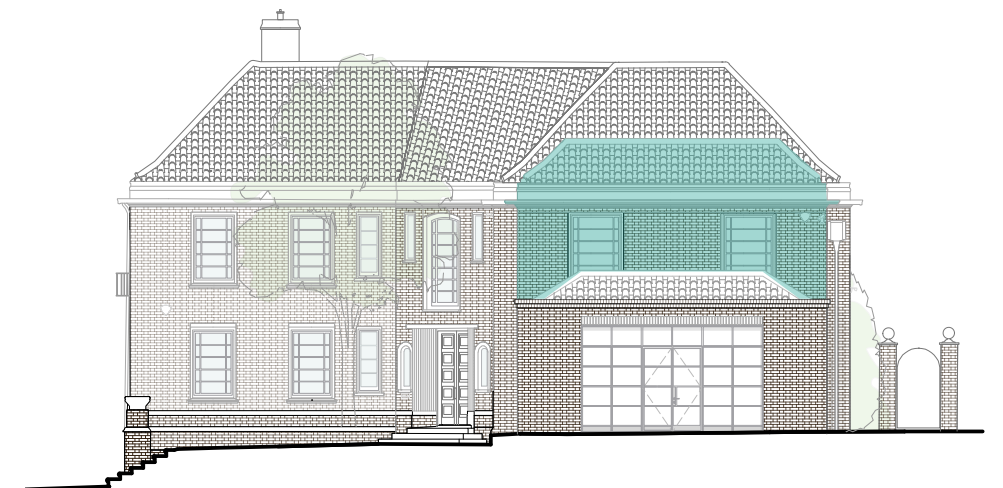
The first floor proposal consists of pushing the current external wall out by approximately one meter to allow for additional space internally.

Two openings will be formed in a style to match existing adjacent windows in the new external elevation at this level.

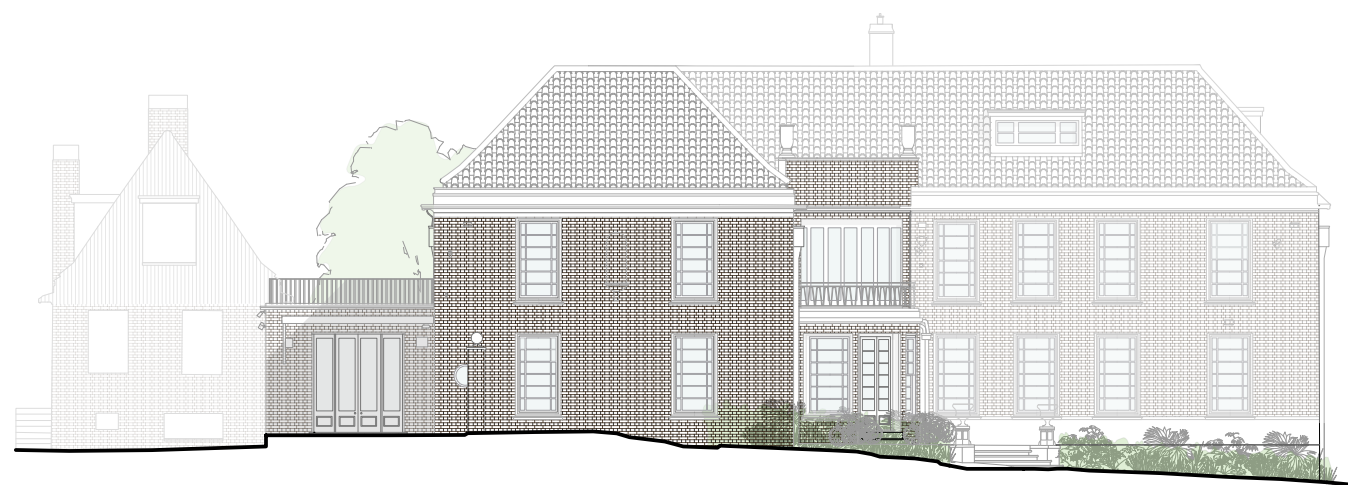
The new first floor extension will sit above the new kitchen extension therefore also helping to balance the added volume and mass proposed on the ground floor.



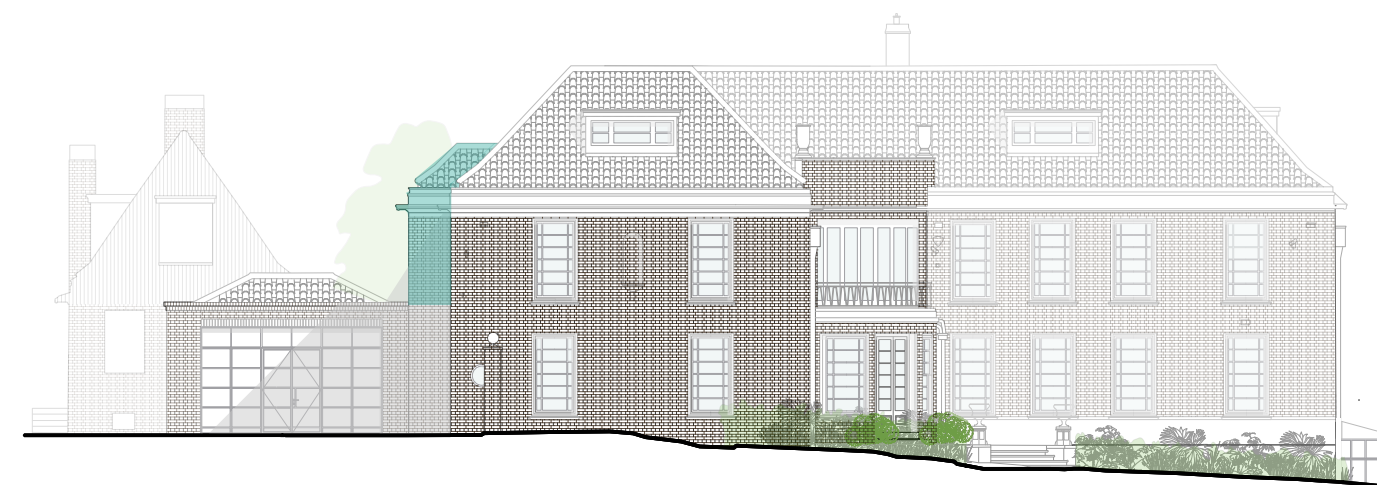
EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION



EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION



PROPOSED FIRST FLOOR EXTENSION

04.04

PROPOSED WORKS MAIN HOUSE ROOF LEVEL

The second floor will mainly benefit from some internal layout changes, and some new features are proposed to improve the space quality.

A new dormer window is proposed for the loft bedroom. The new dormer will be similar in look and materiality to the already existing dormer.

Similarly, to provide better lighting and ventilation to the new bathroom proposed on the second floor, we are proposing a new and discrete rooflight which will not be "visible from long views along the streets and public spaces".

"3.5 ROOFLIGHTS

The installation of a rooflight can help to make the space in your loft habitable, by providing light and ventilation whilst maintaining the angle of the roof slope.

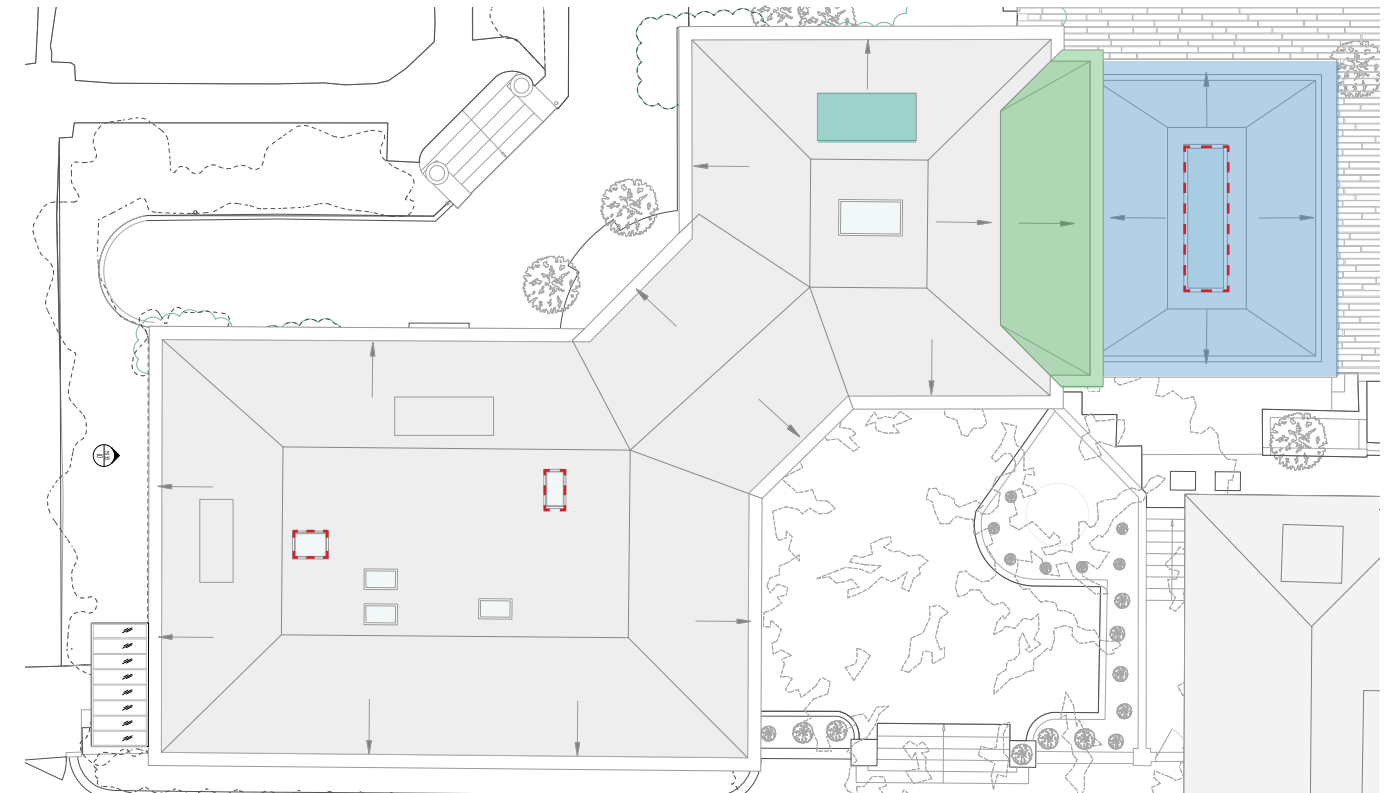
(...)

The following points should be considered when designing rooflights into the roof of your property:

- They should not protrude more than 0.15m beyond the plane of the roof slope or be flush with the roof slope for properties in Conservation Area;

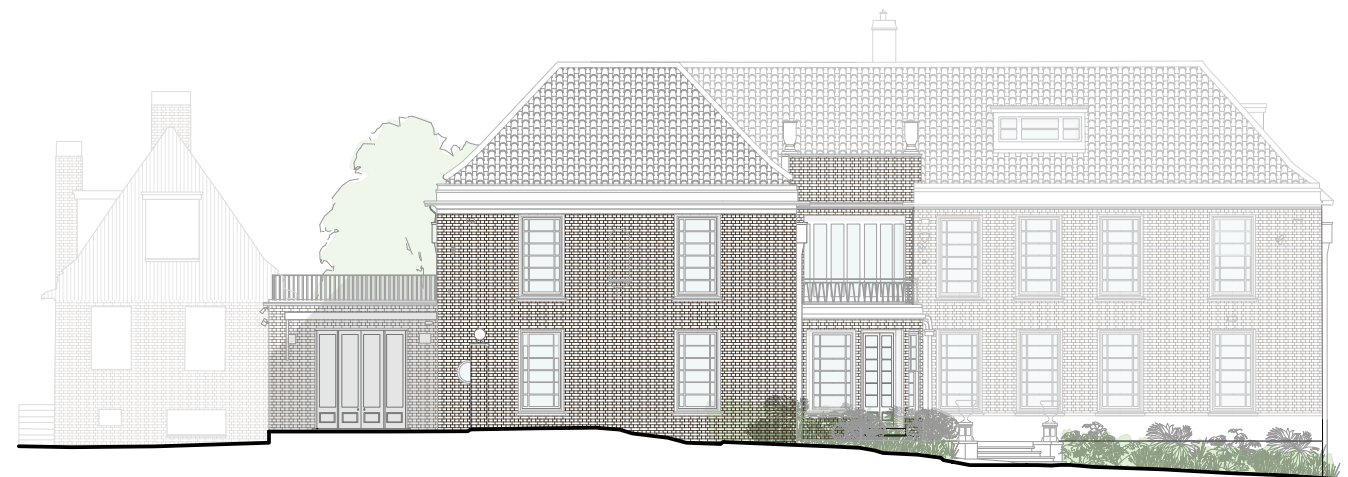
- They are significantly subordinate both in size and number to the roofslope being altered and roof form overall;
- Their position should take into account other architectural roof elements, e.g. gables, chimneys, turrets;
- Their position and dimensions should ensure a consistent rhythm with other rooflights on adjacent/neighbouring roofs.
- For rooflights on the roof of ground floor extensions, they should be positioned away from the building line or obscured glazed - to not cause excessive light spillage. Especially relevant for buildings divided into flats."

CPG HOME IMPROVEMENTS



PROPOSED ROOF PLAN

- PROPOSED FIRST FLOOR ROOF
- PROPOSED DORMER WINDOW
- PROPOSED GROUND FLOOR ROOF
- PROPOSED ROOFLIGHTS



EXISTING ELEVATION



PROPOSED ELEVATION



04.05

PROPOSED WORKS MAIN HOUSE ROOF LEVEL (CONT)

As mentioned, the proposal was carefully designed in line with both the January 2021 Camden planning guidance for home improvements and the Hampstead Conservation Area appraisal documents.

In keeping with the guidance (relevant extracts below), the new dormer and roof extension are both in keeping with the original house. We propose these to be built to match the existing roof and dormer window adjacent.

"The aim of the dormer structure is to house a vertical window to bring in more light and air into the loft space and make it habitable, without adding to the overall roof height."

The design of a dormer should therefore emphasise the glazing element and the solid structure should complement this in a form and scale appropriate to the roof being extended."

Roof dormers should sit within the roof slope and appear as an extension to the existing roof whilst the existing roof form is maintained."

CPG HOME IMPROVEMENTS

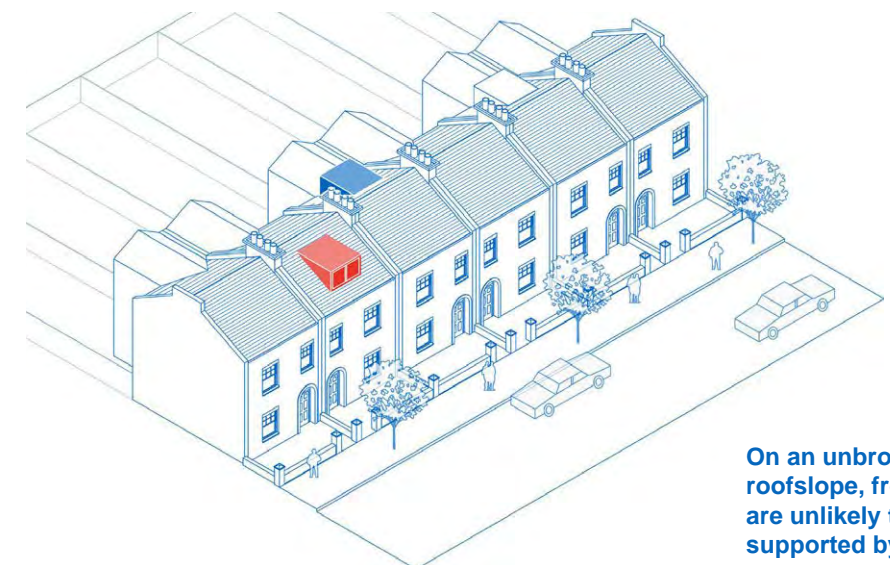
'H33 Where the principal of an extension is acceptable they should respect the integrity of the existing roof form and existing original details should be precisely matched. In particular:

- *The retention or reinstatement of any architecturally interesting features and characteristic decorative elements such as parapets, cornices and chimney stacks and pots will be encouraged.*
- *Roof extensions should be drained to the rear of the building; no rainwater piping will normally be allowed on the street elevation.*
- *External works should be carried out in materials that match as closely as possible in colour, texture and type those of the original building or are common in the area."*

HAMPSTEAD CONSERVATION AREA APPRAISAL



Existing character with front dormers along the street. Likely that a similar extension would be acceptable under a planning application.



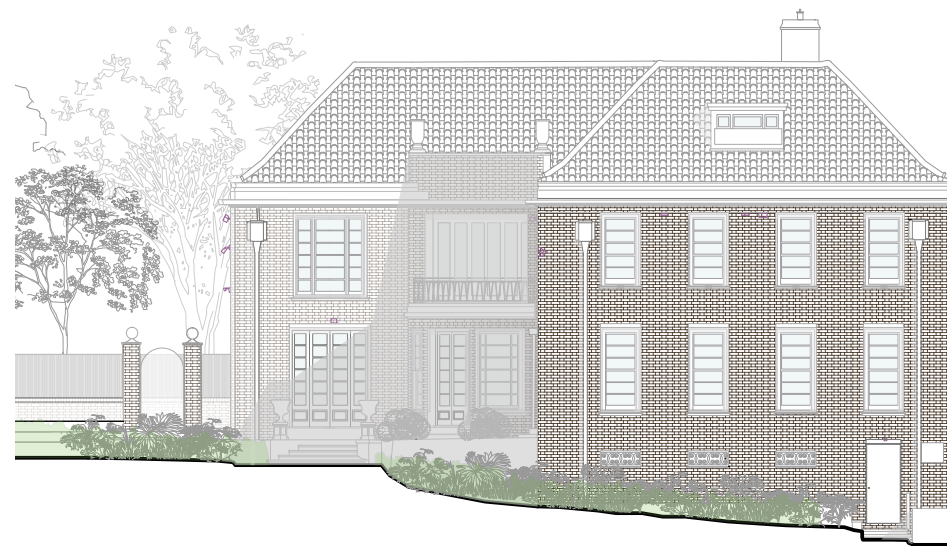
On an unbroken roofslope, front dormers are unlikely to be supported by officers. You should consider rear dormer and front rooflight instead.

04.06

PROPOSED WORKS MAIN HOUSE LOWER GROUND LEVEL

Adjacent to the secondary entrance door leading to the lower ground floor level, we are proposing a small 3 x 1.5m greenhouse structure.

The structure proposed is to be built out of single glass panes supported by a light steel structure, much in keeping with the crittall look used in the other proposals.



EXISTING ELEVATION



PROPOSED ELEVATION



Greenhouse precedents