

# 06 PRECEDENTS AND MATERIAL CONSIDERATIONS

# 06.01

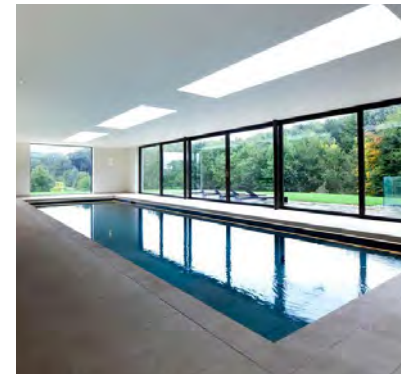
PRECEDENTS AND MATERIAL CONSIDERATIONS  
MAIN HOUSE EXTENSION





# 06.02

PRECEDENTS AND MATERIAL CONSIDERATIONS  
SUMMER HOUSE





# 06.03

PRECEDENTS AND MATERIAL CONSIDERATIONS  
LANDSCAPE



# 07 SUMMARY



# 07.01

## DESCRIPTION OF PROPOSED WORKS

### DESIGN AND ACCESS

The proposed adaptations at 65 Frogmal have been considered in regard to a holistic programme of contemporary family living that will ensure the long-term occupation and appropriate use of the building and site into the future.

The proposal is comprised of the following elements:

**AMOUNT** - The ground floor kitchen extension replaces the current modern extension, increasing the footprint by only 24m<sup>2</sup>, protruding from the existing footprint by only 3m.

The first floor extension sits on top of the new ground floor extension, projecting from the main house by 1.1m, increasing the footprint by 8.5m<sup>2</sup>.

The second floor dormer is a replica of the existing dormer on the rear elevation and does not increase the footprint.

The summerhouse is a new development on the site, and includes a swimming pool, gym and amenities. It is a single storey ancillary building which sits on the currently underused hardstanding of the tennis court and is of appropriate scale for the garden.

**LAYOUT** - The ground floor kitchen extension allows more space for informal dining, pantry and kitchen, as well as a more generous powder room in this area.

The first floor extension above, although small, allows the guest bedrooms to be more spacious, with generous en suites.

The summer house respects the character of the garden and opens views towards it, making the most of the currently unused space. The form and size of the building create a new relationship with the main house, with an al fresco dining area between the two. The bi-fold doors to the swimming pool open the space out into the garden and the gym is separated visually from the house by the pool and the amenities 'pod'.

The proposed works have been designed sensitively, with guidance from an arboriculturalist, in order to limit disruption to the existing trees on site.

**SCALE** - The scale is moderate and inkeeping with the main house and the site as a whole. The footprint of the main house is only marginally increased, with the further minor additions of the first floor extension and dormer window.

Although the summerhouse is a new building, it occupies only 4% of the site. The proposal is to lower the ground level of the existing tennis court to create a new ground level on which the single storey summerhouse will sit. These design decisions ensure that views from neighbouring properties are not interrupted, and where the summerhouse is visible, only the green roof will be seen.

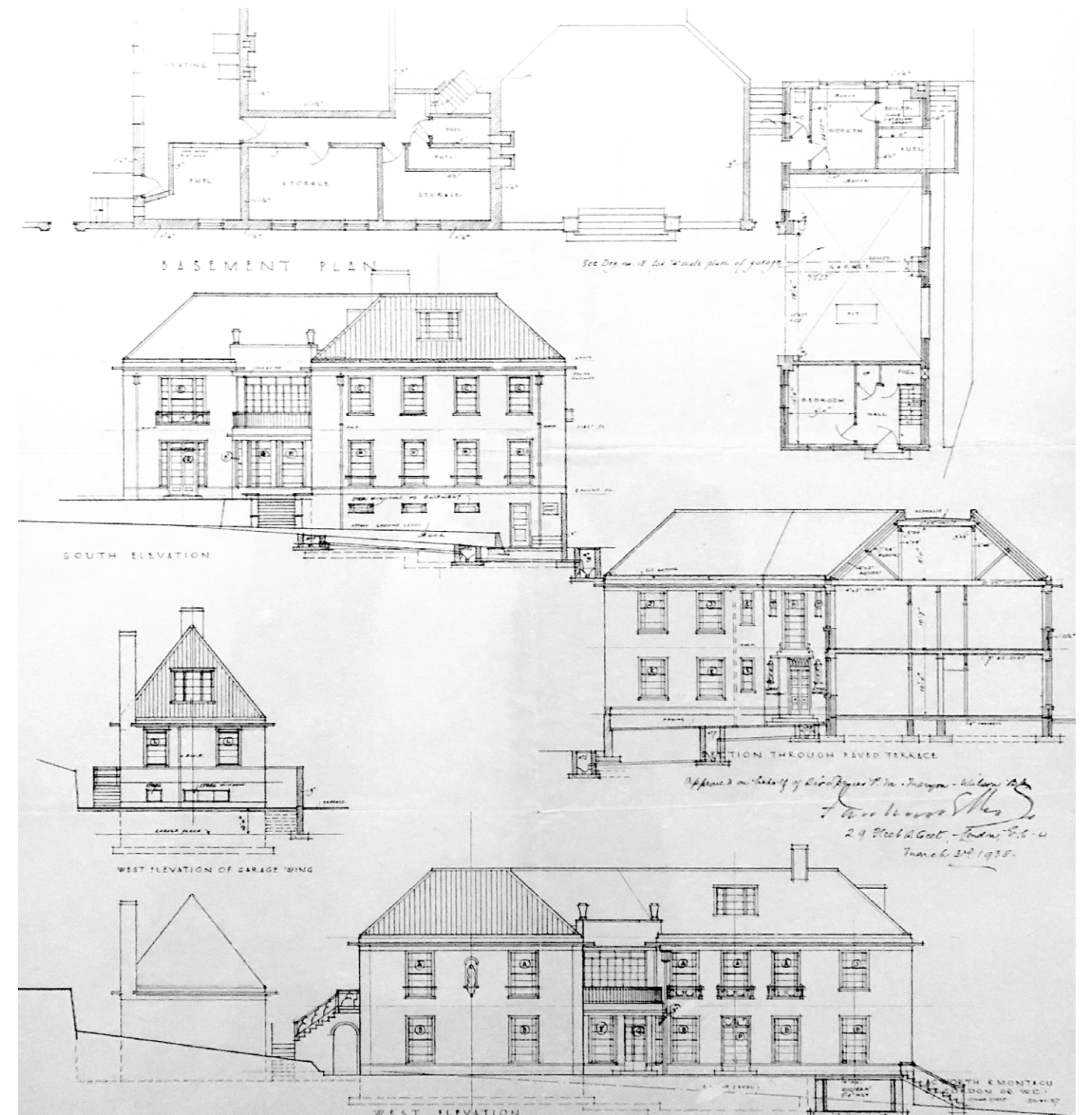
**USE** - The residential use of the site will be retained for use as a family dwelling. The proposed alterations have been designed to upgrade the fabric and aesthetic appearance of the property as a family dwelling.

The summerhouse will house a new indoor swimming pool to replace the underused outdoor pool, and a gym which was previously housed on the second floor of the main house in a room which was not fit for purpose.

**ACCESS** - Access to the property is to remain unchanged, with vehicle and pedestrian access from Frogmal, onto the private drive.

#### CONCLUSION

The proposals put forward to the Council have been carefully and sensitively designed to upgrade the building to a high standard appropriate to its setting as a contemporary family dwelling.



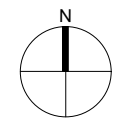
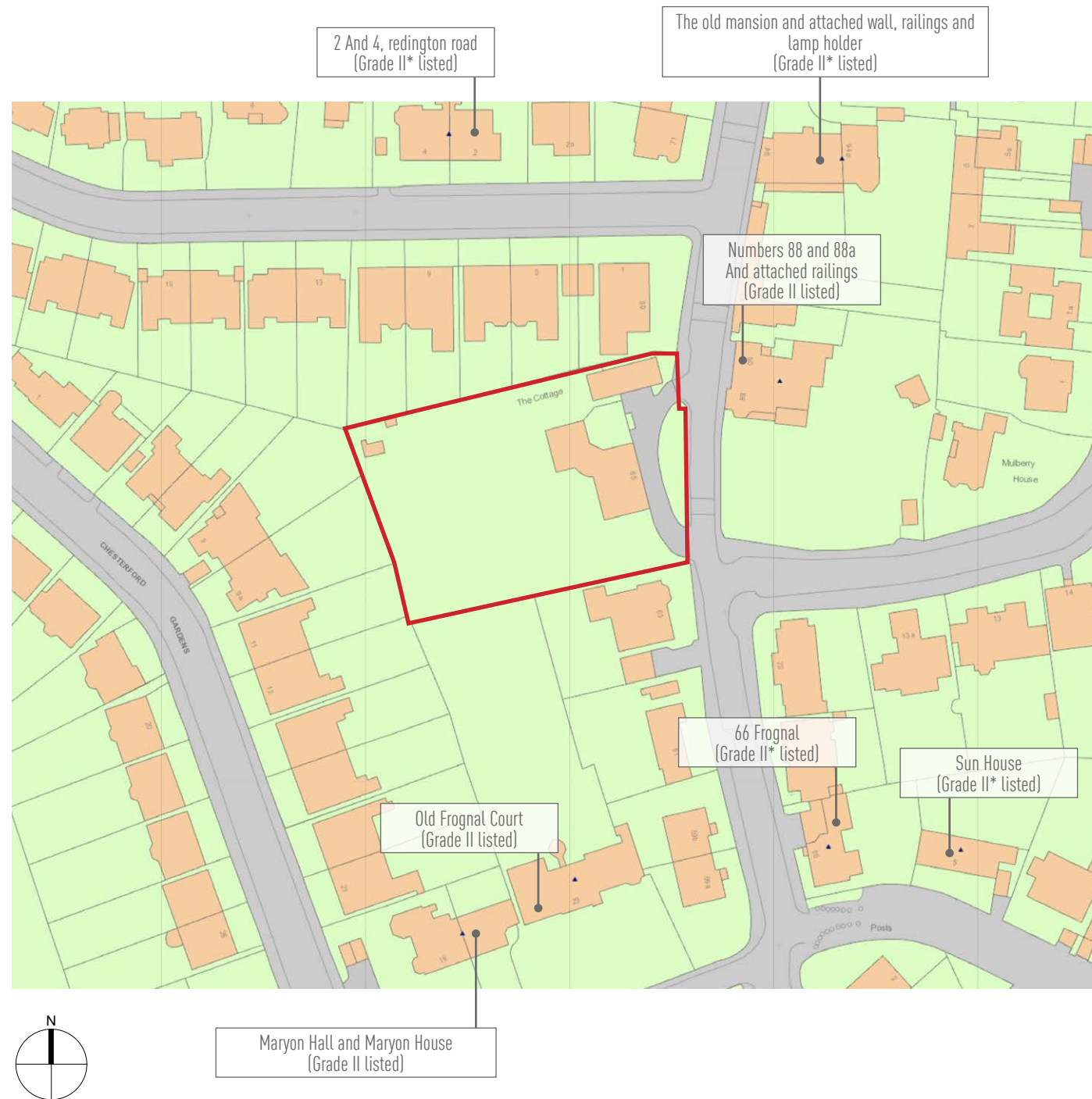
65 FROGMAL

# 08 APPENDIX



# 08.01

## NEIGHBOURING LISTED BUILDINGS



Listed Building Plan from Historic England\_ NTS

The existing building is not listed (nationally or locally) but sits in the Hampstead Conservation Area.

## FLOOD MAP



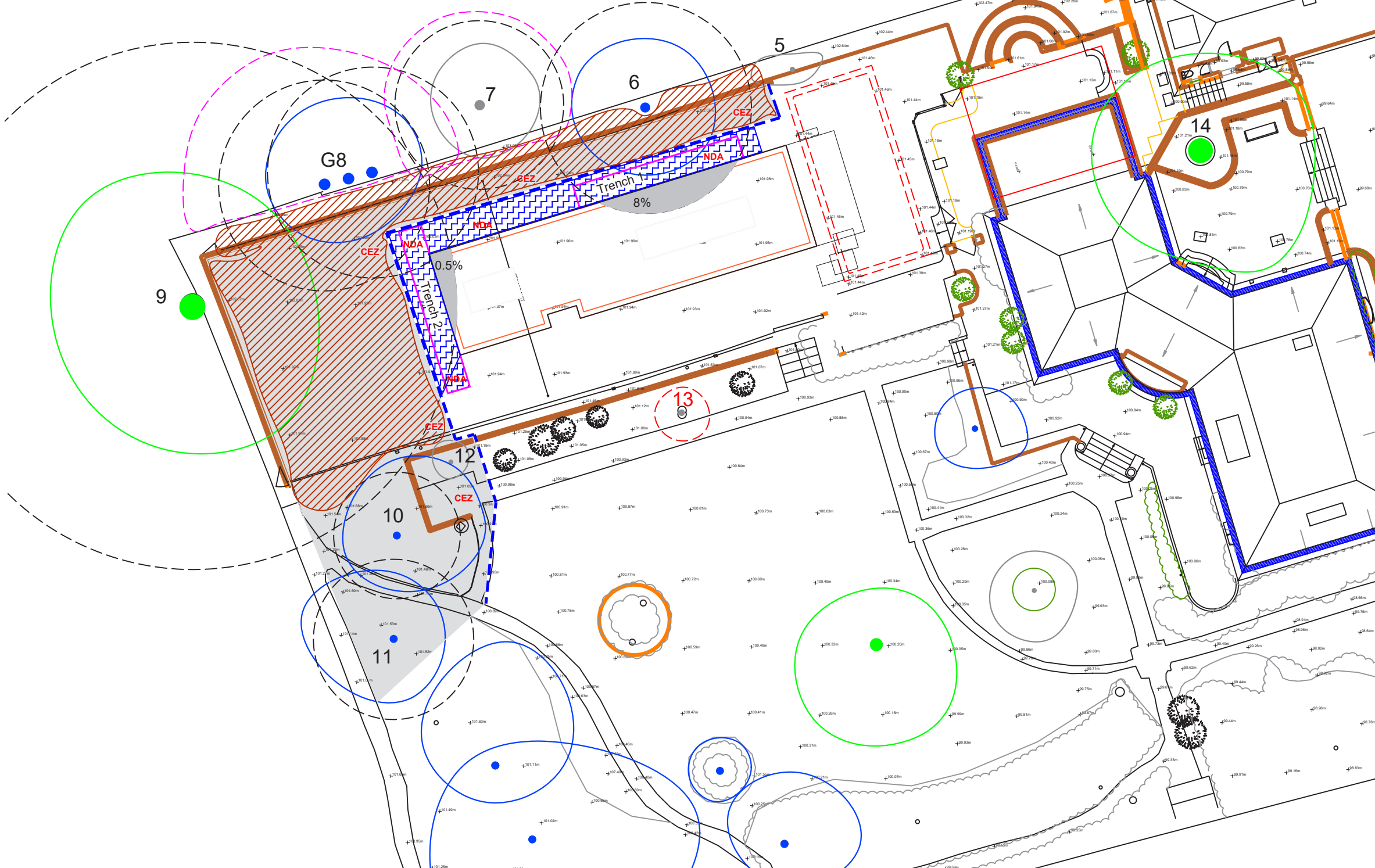
Flood Risk Plan\_ NTS

The site is not within Flood Risk Zone.



# 08.02

## ARBORICULTURALIST SITE PLAN



### ACS (Trees) Consulting LEGEND

BS Root Protection Area, (RPA) shown uniform (above left) but site features such as roadways, retaining walls and foundations, may modify root patterns and therefore the RPA shape.

Indicative

A grade trees

B grade trees

C grade trees

U grade trees

Trees to be removed/replaced

**CEZ**  
Position of tree protection barriers; denotes **C**onstruction **E**xclusion **Z**one for the duration of the project.

**NDA**  
Area for effective ground protection suitable for the project - **N**o **D**ig **A**rea

Recommended area for max. 75mm depth of well-rotted woodchip mulch or similar.

- ### Tree Management Methods to be adopted on site.
1. Undertake pre-commencement site meeting to agree tree protection methods and timings.
  2. Carry out any permitted tree works - ask before beginning.
  3. Install all tree and ground protection (see Appendix 3).
  4. Undertake initial manual dig and identify pile locations.
  5. Construction phase.
  6. Remove tree protection and carry out landscaping.



Scale: 1:250

Client : -			<b>ACS (Trees) Consulting</b>		
Project : 65 Fognal Hampstead NW3 6AY			Consultants in the Management of Trees and Woodlands		
Title : Tree Protection Plan			Tree Tops   Redwood Mount   Reigate   Surrey   RH2 9NB		
Scale : 1: 250 A3			TEL: 01737 244819   07770 820105		
Date : July 2021			Office Eighty Five   272 Kensington High Street   London   W8 6ND		
Dwg No : TPP1_FG_65			Rev : -		E: info@acstrees.co.uk
Do not scale from this drawing. Any discrepancies are to be reported to ACS (Trees) Consulting. This drawing is to be used when printed to scale & in colour.			www.acstrees.co.uk		

