

## No. 48 Bedford Row

16.08.21

### Design and Access Statement including Heritage and Structural Statements for the Staircase Removal and Reinstatement.

#### Introduction

This design and access statement has been prepared by Buckley Gray Yeoman on behalf of SRG Holborn Ltd in support of the proposals for 48 Bedford Row, London. The proposal is for the removal of the unstable staircase and replacement with a new staircase that is visible identical while also retaining as many architectural features as possible. The project team are seeking to achieve Listed Building Consent for this alteration.

The statement below is to be read in conjunction with the following planning drawings:

1092_S-01	Location Plan
1092_EX-B1	Existing Basement Plan
1092_EX-00	Existing Ground Floor Plan
1092_EX-01	Existing First Floor Plan
1092_EX-02	Existing Second Floor Plan
1092_EX-03	Existing Third Floor Plan
1092_EX-XX	Existing Building Sections
1092_GA-B1	Proposed Basement Plan
1092_GA-00	Proposed Ground Floor Plan
1092_GA-01	Proposed First Floor Plan
1092_GA-02	Proposed Second Floor Plan
1092_GA-03	Proposed Third Floor Plan
1092_GA-XX	Proposed Building Sections
1092_ID-01	Proposed Stair Details Page 1
1092_ID-02	Proposed Stair Details Page 2
1092_ID-03	Proposed Stair Details Page 3
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Figure 1. View from Bedford Row. 48 Bedford Row highlighted in red.

## Planning History

In 2017/18 this team held several Pre-App discussions with Camden concerning works to various properties on the High Holborn Estate. These works were eventually split into separate phases with independent applications. Previous planning consents have been granted for the 46-48 Bedford Row site, though it is our understanding no works have been undertaken:

2014/1678/P and 2014/1680/L – *Planning permission and listed building consent for 'Change of use from office (Class B1) to residential use (Class C3) to provide 5 units (1 x 3-bed house, 1 x 1 bed & 3 x 2 flats), alterations to existing rear extensions including demolition of rear extensions at numbers 46 and 47, replacement of existing front door at No.47 with window, and alterations to railings.'* Granted 12th August 2014.

2008/4964/L – (46-48 Bedford Row only) – *Demolition of rear additions and internal and external alterations in connection with conversion and restoration of 46-48 Bedford Row.* Granted 25th November 2008.

Following these previous applications BGY prepared and submitted the following applications on behalf of SRG Holborn Ltd:

2020/0686/P and 2020/1335/L – Proposal: *Demolition of existing rear extension and erection of a new rear extension to 46-47 Bedford Row with roof terrace above. Installation of air conditioning plant within lightwell of No. 48 and on terrace of 46-47 Bedford Row; internal and external refurbishment works to No.46-48 Bedford Row; associated landscaping and other ancillary works.* Granted 15<sup>th</sup> July 2020.

## Site Location

46-48 Bedford Row is a Georgian terrace that is situated at the end of Bedford Row where it meets Sandland Street. The house forms the north flank of the High Holborn Estate, the estate is also bounded by Brownlow Street to the east, Hand Court to the west and High Holborn to the south.

## Existing Building

48 Bedford Row is a four-storey Grade II listed 18th Century townhouse building as part of a set of three terraced properties at the end of Bedford Row. The buildings were previously in-office use; however, they stood unoccupied for some time and fell into a state of deterioration.

48 Bedford Row, along with its sister buildings are predominantly of traditional brick construction with timber windows and doors. All three properties have non-original ground floor extensions to the rear as well as non-original brickwork projections to upper floors which house WCs. It is believed that these were added when the buildings were converted from residential to office use. Additionally at the rear of 48, to gain access to these WCs, windows on the half landings of the stairs were enlarged to make doorways into the WCs.

The buildings extend up to the third floor. The roof to 48 has a butterfly roof.



Figure 2. Existing 48 Stair at Ground Level



## Existing Stair

The existing stair in 48 Bedford row is constructed from timber from the ground to the third floor and is a 'U' Shaped winder staircase with landings at each floor level. The flights between the first floor and second floor contain some structural support members. Initial inspections show the stair is most likely of hardwood construction. The balustrading is made of square timber baluster spindles with a curved hardwood handrail that helices up to follow the profile of the winders and stairs. At ground, first half landing and third floor there are newel posts with various levels of detail. Timber treads are round-nosed with a scotia profile that wraps onto the stringer side. A Skirting runs up the wall sides following the line of the stair and is also profiled.

The stair down to the basement is constructed of stone treads and risers supported off timber framing and embedded into masonry wall with metal, square-profiled balusters.

Please refer to BGY 48 Bedford Row – Staircase Record Report – 19/03/21 for further description.

## On-Site Investigations and Design Development

Following the consent to refurbish 36-48 Bedford Row Faith Dean was appointed as contractor to undertake the works.

As part of site investigations and ongoing opening up, works relating to the granted permission for the timber roof structure, basement timbers and several other timbers throughout 46 to 48 Bedford Row were exposed to be inspected.

Concerns were raised over the condition of the timbers with visible evidence of decay being reported in prior inspections. Of particular concern were the staircase and rear wall of 48 Bedford Row.

A condition assessment of the timber staircase and associated timbers was undertaken by BM Trada.

This report was issued on the 10th February 2021 (Refer to Appendix A) which confirmed that fungal decay consistent with dry-rot and wet-rot was present. Moisture readings in the area of the stair taken by BM Trada showed that the damage was pre-existing and this suggests that historical water ingress has undermined the timber structures.

In addition, HTS Structural Engineers put together a site condition report which detailed out many structural defects with the existing staircase and put forward recommendations of how to address these structural issues. (Refer to Appendix B)

The fungal decay to structural timbers within the rear section of 48 Bedford Row has meant that the wall and staircase are no

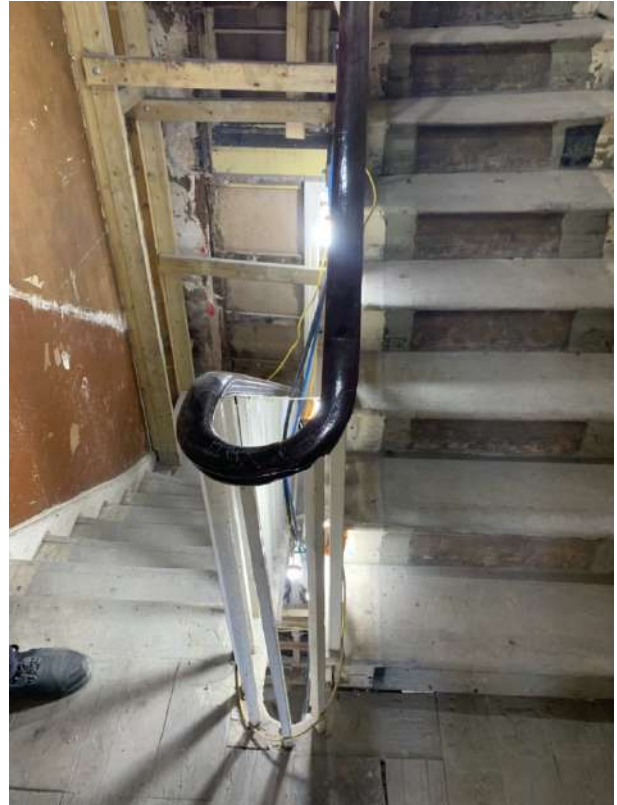


Figure 3. Existing 48 Stair at First Floor Landing



Figure 4. Existing 48 Stair Servants Doorway on flight to 3rd Floor

longer structurally sound as 600mm to 1000mm of timber needs to be removed from the point of rot to prevent any further re-grow of fungus or dry rot, therefore, leaving little of the original staircase.

It has been advised that repair is not a viable option - given the condition of the timbers, it is likely that very little of the staircase would be salvageable. The joinery subcontractor would therefore not take responsibility for the existing structure and provide any structural warranty.

The unstable condition of the 48 Bedford Row staircase was raised with Rose Todd (Heritage and Conservation Officer at LB Camden) to discuss options. It was agreed that due to the health and safety concerns surrounding the stair, that it could be dismantled immediately following the photographic site survey report was complete to make sure that the replacement stair would mirror that of the existing. Please refer to BGY 48 Bedford Row – Staircase Record Report – 19/03/21 for further description. Following the completion of this report is shared with LB Camden and the stair was dismantled on 23rd June 2021.

During this time BGY and the structural engineers developed the design for a replacement stair which is discussed in more detail in the proposals section of this report. Initial informal discussions with Rose Todd (Heritage and Conservation Officer at LB Camden) have suggested that the principle of replacement with a staircase is acceptable subject to the approval of the detail.

In the interim, the existing staircase has been removed to complete the urgent stabilisation works to the rear wall of no. 48 and prevent any risk of collapse.

## Proposed Stair

The proposed staircase as detailed in the drawing which accompanies this application would match the existing staircase like-for-like visually and dimensionally. The configuration of the stair as a 'U' Shaped winder staircase with landings at each floor level would again remain unchanged. All details of the staircase such as the profile of the treads, scotia beads and skirting would be made to match existing. Sample profiles have been retained to replicate. In addition, the door frame for the old servants' door to the third floor will be re-instated to match.

All parts of the staircase would be new except the hardwood handrail which has to be salvaged as it remains in good condition. All other parts are to be demolished as they are no longer structurally sound as identified above.

To make the new staircase work structurally additional steel stringers and steel plates have been introduced in the proposal to support the winders and treads. All structural steel is to be overlaid with timber and lath and plaster to the soffits to hide the structure. This steelwork will be non-visible.

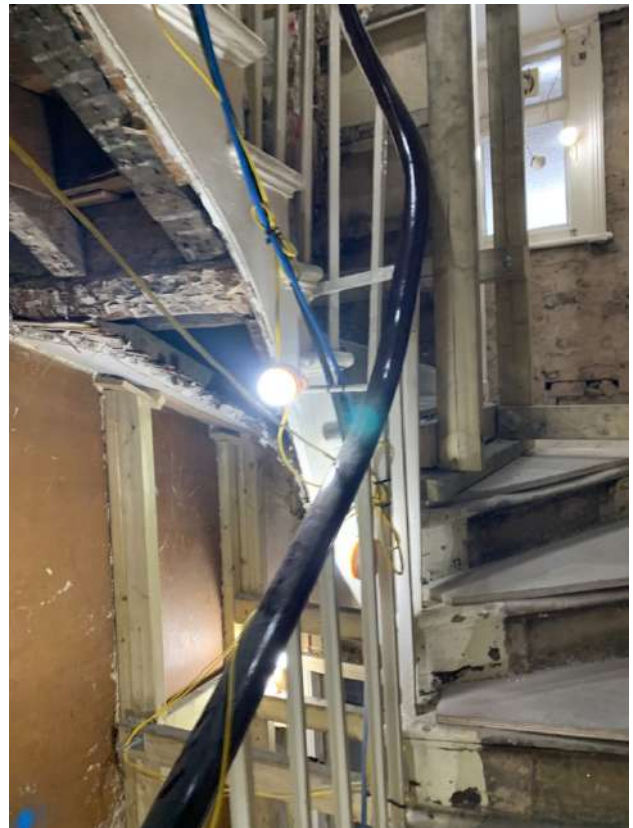


Figure 5. Existing 48 Stair view of door frame for old servants door on third floor flight.



Figure 6. Existing Basement Stair in 48 with metal spindles.

Following investigations by the design team, it was discovered that due to the lack of newel posts from the first half landing and the small size of the timber spindles that they would not meet the lowest required horizontal loading. [See Structural Statement below]. Therefore, it is proposed that the spindles are constructed from square steel bars and painted to match the original timber spindles. They will be dimensionally identical to the original balusters with the same finish (paint).

## Structural Statement

The following statement has been prepared by Khizer Khan For HTS Ltd who are the structural engineers on the project and should be read in conjunction with their site condition report see Appendix B:

*“Existing arrangement is structurally unsound and believed to be cantilevering from a timber partition that has not been designed for this situation. This is further affected by significant degradation due to water ingress and dry rot.*

*Additional steel elements have likely been added in the past to strengthen the stair, which is also affected by water ingress and corrosion.*

*Therefore, it is proposed to rectify this structural deficiency whilst maintaining the aesthetic and geometric shape of the existing arrangement. This will be achieved by the use of steel stringers supporting timber treads, and a bent plate solution to suit the complex winder arrangement at half-landings. All steel elements will be overlaid in timber and will not be visible.”*

The following statement has been prepared by Paul Hage For Siddle Grimley Hage Ltd who are the contractors structural engineer on the project.

*“The current balustrade arrangement from first floor half landing upwards relies on the timber spindles acting as cantilever members. The stress in these timber members for this type of solution is in excess of 8x the code allowance even with a reduced horizontal load. This is to be expected as we typically need 12x12 steel spindles for this type of solution.*

*Given all of the above considerations, we have recommended the steel spindles. It should be noted that these are already used for the basement section of the staircase.”*

## Heritage Statement

A detailed heritage statement was prepared by KM Heritage to support planning application ref. 2020/1335/L and 2020/0686/P for the refurbishment of the listed building. This can be found in Appendix C of this DAS.

The report provides a detailed assessment of No. 48 Bedford Row based on its existing condition and that of the proposals. The report states that *“Historical interventions have meant that internally, some original plan form and original fabric and features have been lost from each of the buildings. Cumulatively, these changes have reduced their integrity somewhat, diminishing their significance in relation to that which would have been if they had remained intact. The properties require extensive maintenance and repair works to support the preservation of the fabric. Where historic fabric has been damaged by water ingress and rot, it will be carefully removed and replaced like-for-like. Where insensitive modern interventions are found these will be removed and made good.”*

Although at the time of the application we thought that the existing stair at 48 Bedford Row could be salvaged, it is now apparent through site investigative works that this is not possible. Therefore, we propose to replace the stair so that it visually matches, as close as possible, that of the existing stair. This approach is consistent with that set out within the original application, as noted above.

## Conclusion

The proposed removal and replacement of the staircase in 48 Bedford Row seeks to improve the condition of the property and take it from a state of disrepair and make the staircase and rear of the property structural sound and therefore usable office space.

To do this the scheme will retain the salvageable historic elements of the stair such as the handrail whilst replacing the remainder of the stair in a manner that is both a sensitive and appropriate approach to alteration and improvement which will make it structurally sound. Through alteration and improvement, the proposal will ensure the buildings have sustainable, long-term viable use.

Appendix A



## **Condition assessment of timber staircase at 48 Bedford Row, London**

### **Commercial in Confidence**

#### **A Report To:**

Faithdean PLC  
Unit 12,  
The Oaks Revenge Road,  
Lordswood, Chatham,  
Kent,  
United Kingdom,  
ME5 8LF

**Date:** 10/02/2021

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## 1 Introduction

BM TRADA were contacted by Piers Cook, Site Manager at Faithdean PLC on the 13th January 2021 in regards to the condition of a timber staircase at 48 Bedford Row, London WC1R 4BZ.

On the 15th January 2021, BM TRADA issued Contract Agreement TC 21100 to the Client which outlined the Scope of Work, our fee and BM TRADA's terms and conditions.

Subsequently, a signed copy of the Contract Agreement was received by BM TRADA from the Client which was taken as formal notification to proceed with the site investigation works.

## 2 Scope of Work

A condition assessment of a timber staircase extending four storeys in the listed building at 48 Bedford Row, London WC1R 4BZ. The inspection will include all accessible timber stair components including treads, risers, stringers and spines.

The condition of timbers will be assessed using minimally invasive techniques, including decay detection drilling, hammer sounding, visual inspection, and probing. The location and extent of fungal decay and wood-boring insect damage will be recorded. A timber moisture content survey will be included, the results of which will provide a means of risk analysis and will guide our recommendations regarding fungicide or other treatments, if any are required.

A written report summarising our findings. This will include photographs, comment on future viability and recommendations outlining the principles for remedial works. The inspection will also recommend places for further opening up works.

Should future opening up works make further inspection necessary, those inspections would be conducted as an extension of this contract.

## 3 Limitations

- 1 The findings of this report are based solely upon the information and evidence provided and made available to BM TRADA by the Client and/or the Client's representative(s) at the time that this report was written. Should subsequent information be made known to us we reserve the right to amend our findings.
- 2 Any information or evidence provided to BM TRADA for the preparation of this report by the Client or the Client's representative(s), or by any third party, has been taken by us at face value, unless we state specifically that we have validated it and include in this report evidence of such validation.
- 3 This report cannot be used for any purpose other than that for which it is expressly authorised within the contract under which it has been agreed and produced.
- 4 All advice offered by BM TRADA is offered on the basis that it represents the principles of good practice and that it has not necessarily been validated by BM TRADA.
- 5 Statements which appear in this report, which address current or likely future risks, and which project or estimate outcomes, are based on reasonable assumptions from

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empirical evidence. Such statements by their nature involve uncertainties, which themselves carry the risk that actual outcomes may differ materially from any predicted outcomes. BM TRADA does not guarantee or warrant any projections or estimates of risks or outcomes contained within this report.

- 6 Any contracted rights to confidentiality will be considered null and void should the report be modified in any way by any party without express permission of BM TRADA.

## 4 Procedures and Referencing

The inspection was carried out on 27th January 2021 by Adam Moring and Nick Clifford, Technical Consultants for BM TRADA.

The timbers were assessed using the techniques outlined in paragraph 2 of the Scope of Works.

Moisture content readings were taken using an electrical resistance moisture meter that was checked for accuracy before and after use, using the manufacturer's checking device.

The drawing in Appendix I shows the system of referencing for the timber members included in the scope of the inspection.

The staircase was divided into sections based on the connecting floors:

- 3<sup>rd</sup> to 2<sup>nd</sup> floor
- 2<sup>nd</sup> to 1<sup>st</sup> floor
- 1<sup>st</sup> to ground floor
- Ground to basement

Each of these sections has an upper and lower flight sub-section. These locations are outlined in Appendix I.

The timber elements inspected in the staircase were categorised as follows:

- **Stringers** – timber elements adjacent and parallel to the wall.
- **Risers** – vertical boards connecting the treads.
- **Treads** – horizontal boards forming the top surface of the stair.
- **Spine** – structural bracing elements in the middle of the staircase.
- **Header joists** – joists forming the floor structure of landings adjacent to the staircase.
- **Winder joists** – joists forming the structure beneath winders.

All dimensions were approximate.

For the purposes of this report, the façade facing Bedford Row was taken as North facing.

Unless stated otherwise, timbers inspected by BM TRADA were sound and dry, being free of significant fungal decay or insect damage and with a moisture content reading below 20%.

## 5 Background

Previous renovation opening up works revealed the structure of the staircase from underneath.

Concerns were raised over the condition of the timbers with visible evidence of decay being reported in prior inspections.

The building under inspection was listed and assessment of condition was required to ascertain what elements might be retained for conservation.

## 6 Observations

### 6.1 3<sup>rd</sup> to 2<sup>nd</sup> floor

#### 6.1.1 Upper flight

Fungal decay was observed in the stringer on the East flank of the stairs from the South external wall extending 400mm. The fungal decay was active dry rot and visible dry rot mycelium was observed to the wall laths adjacent to this location as shown in Photograph.1.

Risers were sound and dry.

Treads adjacent to the fungal decay observed on the stringer were decayed for 20mm from the stringer as shown in Photograph.2.

Spine elements were sound and dry.

Header joists were sound and dry.

Winder joists were sound and dry.

#### 6.1.2 Lower flight

Stringers were sound and dry.

Risers were sound and dry.

Treads were sound and dry.

Spine elements were sound and dry.

Header joists were sound and dry.

Dry rot was observed to the winder joist extending in to the pocket on the South external wall as shown in Figure.1 in Appendix I.



## **6.2 2<sup>nd</sup> to 1<sup>st</sup> floor**

### **6.2.1 Upper flight**

The stringer along the East flank was sound and dry but had a gap behind and it was not clear how this element was fixed/ supported. Historic dry rot was observed extending 600mm from the South external wall as shown in Photograph.4.

Risers were sound and dry.

Treads were sound and dry.

Spine elements were sound and dry.

Header joists were sound and dry.

As with the stringers, historic dry rot was observed on winder joists from the South external wall extending 600mm.

### **6.2.2 Lower flight**

Stringers were sound and dry. A fracture was observed in the stringer shown in Photograph.5 and Appendix I.

Risers were sound and dry.

Treads were sound and dry.

Spine elements were sound and dry.

Header joists were sound and dry.

Winder joists showed no visible evidence of decay.

## **6.3 1<sup>st</sup> to ground floor**

### **6.3.1 Upper flight**

Stringers were sound and dry.

Risers were sound and dry.

Treads were sound and dry.

Spine elements were sound and dry.

Header joists were sound and dry.

Winder joists were sound and dry.

### 6.3.2 Lower flight

The top half of this section had extensive dry rot to over half the flight. All elements in this location were effected including the stringer, risers, treads, spine and winder joists.

The 2<sup>nd</sup> baluster from ground floor level was broken as shown in Photograph.6.

### 6.4 Ground to basement

From ground floor level down, the stairs are formed from concrete.

### 6.5 Lintels

In addition to the condition assessment of the staircase outlined in the scope, BM TRADA were asked to assess the condition of selected timber lintels and bonding members in the external masonry wall of the staircase.

Three lintels/ bonding timbers were assessed.

The lintel between the 3<sup>rd</sup> and 2<sup>nd</sup> floors 700mm below a window had extensive fungal decay along its length shown in Photograph.9.

The lintel between the 2<sup>nd</sup> and 1<sup>st</sup> floor had extensive fungal decay along its length shown in Photograph 10.

The lintel between the 1<sup>st</sup> and ground floor above the bathroom is concrete where exposed.

## 7 Discussion

The fungal decay characteristics were consistent with as dry rot. Dry rot remedial fungicide treatment works commonly requires the removal of timbers within a metre of affected areas. Local masonry also requires treatment as dry rot attacks timber from within masonry.



As such, many sound timber elements within 1m of the South wall (which is infected with dry rot throughout the stairwell) may need to be removed, resulting in a significant loss of timber beyond those directly affected by fungal decay. The exact requirements for dry rot fungicide treatment should be discussed with an appropriate dry rot remedial specialist.

## 8 Conclusions and Recommendations

BM TRADA conclude the following:

- (i) There was extensive and structurally significant fungal decay to the lower flight of the staircase from 1<sup>st</sup> floor to ground. Decay was observed at the winders adjacent to the South external wall on each floor.
- (ii) The fungal decay was consistent with dry-rot. Moisture content readings were below the fungal decay threshold of 20% MC indicating that the decay was historic and not on-going.
- (iii) Locations described in observations as having undergone fungal decay should be assessed by a structural engineer and appropriate remedial works should be considered.
- (iv) Remedial works should include consultation with dry rot remedial specialists to establish an appropriate fungal treatment programme for any adjacent masonry elements. It should be anticipated that many timbers may need to be removed as part of the dry rot remedial process.

## 9 Authorisation

	Issued by:	Under the authority of:
<b>Signature:</b>		
<b>Name:</b>	Adam Moring	Nick Clifford
<b>Title:</b>	Technical Consultant	Senior Technical Consultant

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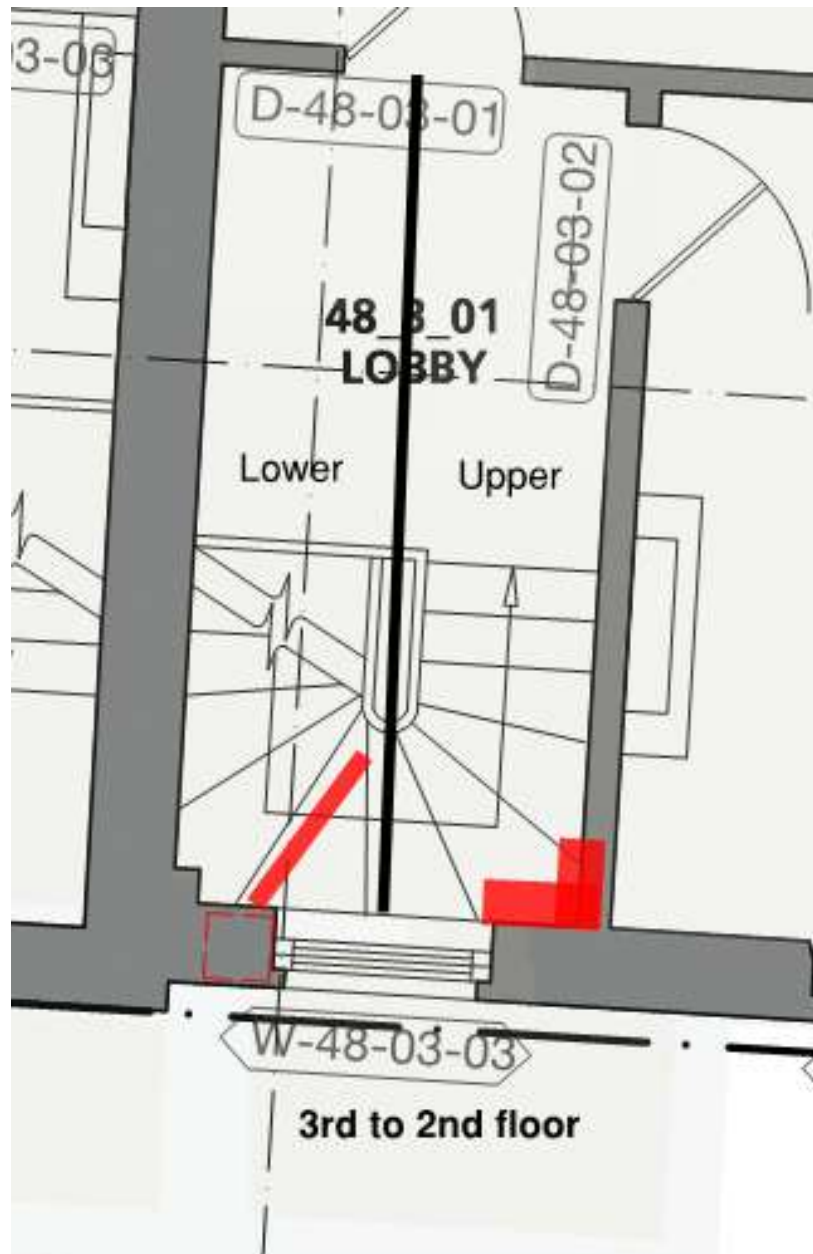


## Appendix I - Drawings

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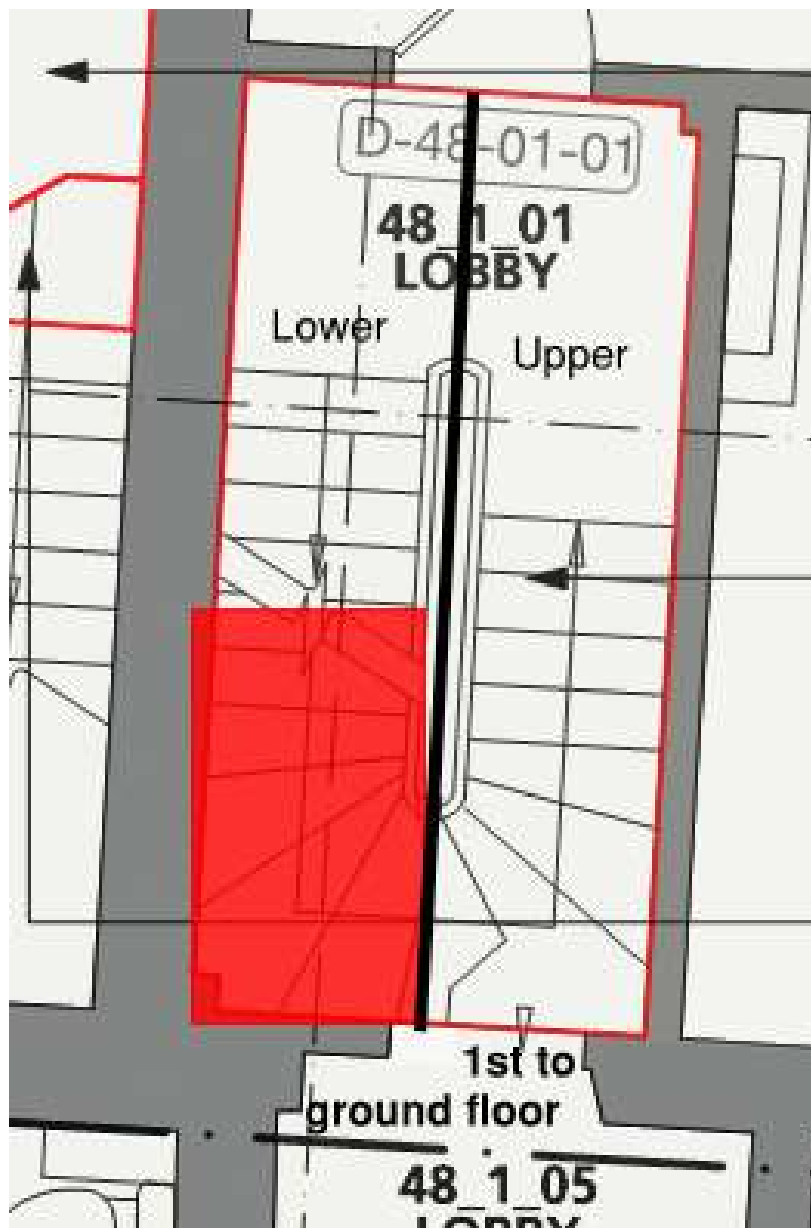


**Fig.1** 3<sup>rd</sup> to 2<sup>nd</sup> floor upper and lower flights highlighted with fungal decay.

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**Fig.2** 2<sup>nd</sup> to 1<sup>st</sup> floor upper and lower flights highlighted with fungal decay.



**Fig.3** 1<sup>st</sup> to ground floor upper and lower flights highlighted with fungal decay.

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## Appendix II - Photographs

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**Photograph 1.** Underside of upper stair winder from 3<sup>rd</sup> to 2<sup>nd</sup> floor.



**Photograph 2.** Visible mycelium on wall laths adjacent to stringer on upper flight of 3<sup>rd</sup> to 2<sup>nd</sup> floor.

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**Photograph 3.** Underside of lower flight of 3<sup>rd</sup> to 2<sup>nd</sup> floor section.



**Photograph 4.** Historic fungal decay in the upper flight of the 2<sup>nd</sup> to 1<sup>st</sup> floor staircase.

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**Photograph 5.** Fracture in the stringer in the lower flight of the 2<sup>nd</sup> to 1<sup>st</sup> floor staircase.



**Photograph 6.** Broken baluster in the lower flight of 1<sup>st</sup> to ground floor staircase.

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**Photograph 7.** Visible historic dry rot to the underside of the lower flight of the 1<sup>st</sup> to ground floor staircase.



**Photograph 8.** Lower flight of 1<sup>st</sup> to ground floor subject to extensive fungal decay.

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**Photograph 9.** Lintel between the 3<sup>rd</sup> and 2<sup>nd</sup> floors.



**Photograph 10.** Lintel between the 2<sup>nd</sup> and 1<sup>st</sup> floors.

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Appendix B



46-48 Bedford Row – Site Visit Report No. 20 (48 Bedford Row Stair)

48 Bedford Row – rear staircase investigation



**S1.1** Soffit finishes were stripped to inspect the supporting structure underneath

Rolled Steel Joist (RSJ) cranked to suit the profile of the stair identified. One end is supported by the rear wall (on a lintel – tbc) and the other on a similar sized steel joist as shown on S1.2

Timber stringers supported off a timber beam, which in turn is supported off the cranked RSJ. Central joist is 95mm deep x 65mm wide (measured at level 2)

Damp was noticed throughout, with more damaged/rotten elements closer to the rear wall, previously identified to have water ingress.



**S1.2** RSJ spanning off masonry walls, supporting cranked RSJ plus timber stringers as shown on S1.1.

The RSJ here is of an I-section profile, 100 deep x 45mm wide with a 4mm flange thickness.

Minor rusting of the steelwork was identified, and the RSJ on level 1 had significant lateral bending due to lack of restraint (via blocking).





**S1.3** Profiled timber joists with packing pieces to make up the profile of the stair.

It is not clear how the free end is supported. **It is suspected that the beams are currently cantilevering and held in place only by the various edging/packer pieces tying the stair together.**

One end is supported off the rear masonry wall, over a suspected concrete lintel. **Signs of water ingress and associated rot/decay was prevalent.**



**S1.4** Timber beams to suit profile of stair as S1.3

Main stair supporting beam

Packing pieces to make up stair riser

Lath fixed to timber straights



**S1.4**

Cranked steel RSJ

Supporting RSJ (off masonry)

Timber blocking (assumed restraint to RSJ)

Main timber floor joists running parallel to RSJ. Measured 240mm dp x 50mm wide



**S1.5** A steel RSJ was not identified on the alternate flight, as it is suspected that the timber beam shown is supporting the timber stringers as a cantilever.

This is likely the reason for the noticeable deflection of the structure.

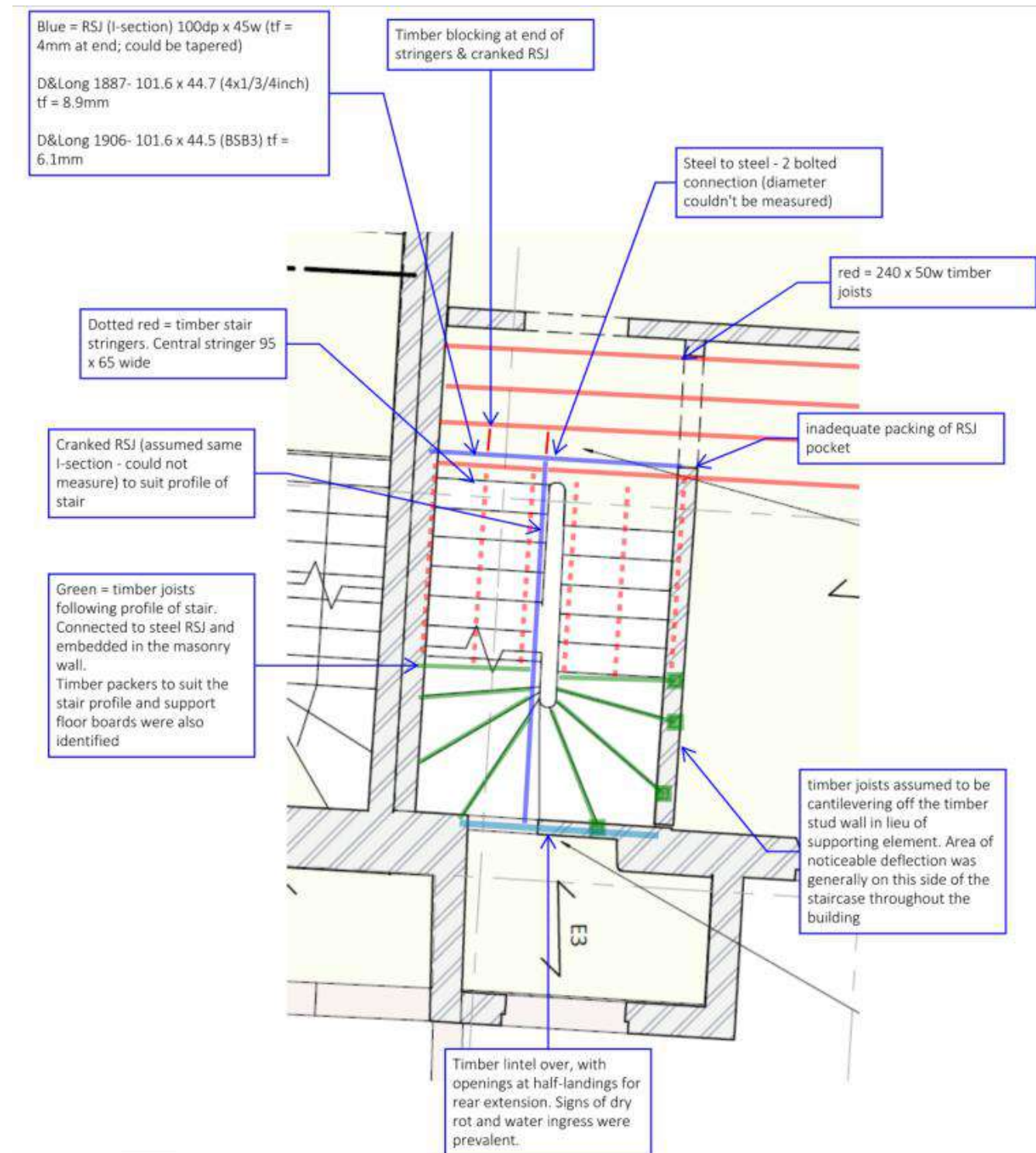


**S1.6** Rear wall with a lintel identified over a stud partition. The stair support beams in S1.3 are generally embedded within the masonry that sits over this lintel.

It has been confirmed via subsequent visits that this is a timber lintel with significant signs of water ingress and dry rot. Elements are to be replaced.



## Summary arrangement & recommendations



- + The image shown summarises the observed framing arrangement of the stair.
- + It was observed that the steel RSJ elements installed are required to support the timber joists that form the profile of the stair.
- + Excessive deflection on the flight to the right-hand side of the image is attributed to the timber joists being un-supported on one end i.e., cantilevering off the timber stud wall. **It is assumed that another steel RSJ was likely required to support these joists, which are not present (mirror of the opposite flight).**
- + The steel RSJs had signs of minor corrosion (no flaking/peeling), and the timber elements were generally found to be damp.
- + **Significant areas of decay and dry rot were observed, resulting from water ingress along the rear wall over time.** Refer to BMTrada report ref. TC21100 (Condition assessment of timber staircase at 48 Bedford Row, rev 1 Feb 2021) for more information and suggested remedial details.
- + **Following initial discussions with the Conservation Officer, it is recommended that this element is removed based on its current condition, and that the rear masonry wall is stabilised laterally in the temporary case until a new staircase is built.**
- + **It is recommended that the stair is then re-built 'in the spirit of' the existing arrangement, and retains key heritage features as required. This new staircase will also need to address the deficiencies in the original arrangement to ensure it is safe to use. Refer to the specialist designer's drawings and details for more information on this proposal.**

Appendix C

Nos. 46, 47/47A & 48 Bedford Row  
London WC1V 6RL

Heritage Statement



February 2020

Consultancy for the  
Historic Built Environment

KMHHeritage

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1712.6.1 46-48 Bedford Row Heritage Statement, February 2020

## 1 Introduction

1.1 This report has been prepared on behalf of the applicant SRG Holborn Ltd. in support of a planning and a listed building consent application for refurbishment and related works to Nos. 46, 47/47A & 48 Bedford Row, WC1V 6RL. The purpose of the works is to provide refurbished (Class B1) office space. A summary of the proposed works can be found in Section 4 of this report but in essence:

- Listed Building Consent is sought for internal and external works to Nos. 46-48 Bedford Row (inclusive) and the removal of existing and erection of a new rear extension to Nos. 46 & 47 Bedford Row;
- Planning permission is sought for the demolition and erection of a rear extension to Nos. 46 & 47 Bedford Row, the erection of plant on the roofs of 46, 47 and 48; associated landscaping and other ancillary works.

1.2 The Grade II listed properties have lain empty for a number of years which has led to water ingress and deterioration of the fabric in places. A structural condition report has been prepared by Heyne Tillett, Steel, consulting engineers.

1.3 Previous planning consents granted for works to the properties were not implemented: 2014/1678/P & 2014/1680/L and 2008/4964/L.

1.4 A pre-application discussion was held with Camden on the 5 November 2019 and an approach to emergency, investigative works and main works was agreed in principle.

### Purpose

1.5 The purpose of the report is to assess the effect of the proposed scheme on the significance of the properties comprising Nos. 46, 47/47a and 48 Bedford Row as well as on other heritage assets in the vicinity of the site and to measure that effect against national and local policies relating to the historic built environment.

1.6 This report should be read in conjunction with the drawings and Design & Access Statement prepared by Buckley Grey Yeoman and other application documents.



## Organisation

- 1.7 This introduction is followed by an assessment of the history and significance of heritage assets in the vicinity of the site, and in Section 3, a description of the national and local policy and guidance that is relevant to this matter. Section 4 describes the proposed works and their effects. Section 5 assesses the proposed development against policy and guidance. Section 6 is our conclusion.

## Author

- 1.8 The author of this report is Anne Roache MA MSc DipFEcol. Anne is a conservation professional who has worked for leading commercial organizations in the fields of property, planning and law. Alongside a specialisation in the archaeology, architectural and social history of London, Anne is also a qualified field ecologist practiced in carrying out a range of ecological surveys.
- 1.9 Baseline historical research for this report was provided by Dr Ann Robey FSA, a conservation and heritage professional with over twenty years' experience. Dr Robey has worked for leading national bodies as well as smaller local organizations. Her publication record includes books, articles, exhibitions and collaborative research.

## 2 The site and its surroundings

- 2.1 The properties comprising 46, 47/47A and 48 Bedford Row date to the late 18<sup>th</sup> century and are part of the vanguard of built development of this part of central London. Located within the Bloomsbury Conservation Area, they are listed, as a group, at Grade II under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for their special architectural or historic interest.

### Historical background

#### Early History

- 2.2 Bedford Row lies to the north of High Holborn, part of the original Roman route leading west from the City of London, which crossed the River Fleet, then known as 'Holbourne', where Farringdon Street now runs. An important thoroughfare, lined with Inns and large residences, it was once home to the Bishop of Ely's Palace whose 13th century foundation is commemorated in Ely Place. From the later 16th century, Sir Christopher Hatton occupied part of that site and later Hatton Garden would be driven through the former Bishop's property. From the 14th century, the area became a centre of the legal profession being convenient for Lincoln's Inn as well as Chancery Lane which links High Holborn to Temple. The surviving 16th century timber-framed façade of Staple Inn Building bears witness to this early period.<sup>1</sup>
- 2.3 Gray's Inn, which lies to the east of Bedford Row, is the smallest of London's four 'Inns of Court'. Law clerks have been established on the site since at least 1370, and extant records date from 1381. Much of Gray's Inn was rebuilt between 1669 and 1774 and further construction took place during the 18th and 19th centuries and in the 20th to rebuild fabric lost during the Blitz of the Second World War.
- 2.4 From the 17th century onwards, speculative development of streets and squares of houses on the open fields north of High Holborn began to give the area its characteristic look and feel. In 1665 Bloomsbury Square (originally Southampton Square) was the first garden square of its type in London and was followed, in the 1670s, by Red Lion Square and Queen Square, both laid out by Nicholas Barbon, the most prolific speculative builder and developer of post-Fire London who worked on large

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<sup>1</sup> Cherry, B. and Pevsner, N. (1998). *The Buildings of England: London 4: North*.

scale housing and commercial developments to the west of the City where open land was plentiful.

- 2.5 By the mid-18th century most of the area between High Holborn and the northern boundaries of the parish had been built upon including Bedford Square (c.1775), Gower Street (c.1790) and Russell Square (c.1800). A hierarchy of different scales of streets is evident across the area with clear differences between the wider major arterial routes, narrower secondary streets, mews and narrow connecting lanes. The spatial character of Gray's Inn also differs, being based on a series of interconnected courtyards and open spaces of varying sizes and scales. A range of building types is evident although the predominant type is the terraced townhouse built of London stock brick. The use of stucco is seen more commonly in buildings dating from the early 18th century, initially at ground floor level to mimic rusticated stone but from the 1820s used over entire facades. The terraces are generally three or four storeys in height although there are a number of examples of more modest two-storey townhouses built for workers. In addition, the townhouses generally have basements and attic storeys. Roofs are commonly defined by parapets, giving strong and consistent roof lines. The most widespread roof forms are butterfly roofs behind parapets or mansards where there is habitable attic space.<sup>2</sup>
- 2.6 By the middle of the 19th century, population growth and overcrowding had led to parts of the Holborn district had become synonymous with slum conditions. New, wide roads were planned to cut straight through these areas including Holborn Viaduct and Holborn Circus in 1869. Redevelopment continued and culminated in the creation of Kingsway - opened by King Edward VII in 1905 - which cut a swathe through the old rookeries. Together Kingsway and Aldwych form one of the major north-south routes through central London linking the ancient east-west routes of High Holborn and to its south, Strand.
- 2.7 High Holborn grew, as a major commercial centre, hand-in-hand with the growth of the legal sector. From the 19th century its commercial character prevailed and it was home to several large hotels and department stores (e.g. Gamage's which was located at Holborn Circus), alongside the old-established Leather Lane market. High Holborn's reputation as a prestigious

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<sup>2</sup> LB Camden (2011), *Bloomsbury Conservation Area Appraisal and Management Strategy*.

office location was underpinned by the building of Holborn Bars for the Prudential Assurance Company's head office in 1879 and the Pearl Assurance Company built their HQ at No. 252 in 1914 (now the Chancery Court Hotel). Its proximity to Fleet Street led to the Mirror Group having their headquarters at Holborn Circus (1961-1994).

#### Bedford Row

- 2.8 Bedford Row is, as Pevsner puts it, an 'uncommonly wide street'. Laid out around 1690 it was originally called Bedford Walk.<sup>3</sup> The first phase in its development was the west side, initiated by the speculator and developer Nicholas Barbon.<sup>4</sup> Most of the original Barbon houses were replaced when their leases fell in so that today, his only surviving houses in Bedford Row are No. 36 and Nos. 42-43. When Barbon died in 1698 many of the houses that he planned were left unfinished and so for some years the land to the east remained open to Gray's Inn. The east side was developed between 1717-19 and retains a consistent appearance containing excellent examples of the high-quality domestic architecture of the early Georgian period. The west side is now more varied with a good deal of 19th and 20th century post-war rebuilding but remains essentially Georgian in character.
- 2.9 Bedford Row takes its name from the Bedford Charity<sup>5</sup>, also known as the Harpur Trust, founded in the 1566 by Sir William Harpur (Lord Mayor of London 1561) for the benefit of a school he founded in Bedford. Sir William Harpur purchased the land in 1564 when it was meadow that had formerly belonged to dissolved Charterhouse monastery. The south-eastern boundary of the estate encompassed the sites of Nos. 46 and 47 Bedford Row but not No. 48. The Charity remains the owner of the ground on the whole of the west side of Bedford Row.<sup>6</sup>
- 2.10 From the start, Bedford Row was admired. John Strype, in 1720 wrote: 'the Street is pretty broad, and better built than inhabited. On the South side is Fishers Court, a pretty

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<sup>3</sup> Cherry, B. & Pevsner, N. (1998), *Op.cit.*

<sup>4</sup> Nicholas Barbon (c.1640-1698), was born in London, studied medicine and was admitted an honorary fellow of the College of Physicians in 1664. Barbon is also known as a pioneer of fire insurance for buildings founding in 1680 the Fire Office in London, the first joint-stock company for fire insurance in London and perhaps the world.

<sup>5</sup> The Bedford Charity is still in existence, renamed the Harpur Trust, it still uses income from the properties owned within the original Harpur estate to support education in the town of Bedford.

<sup>6</sup> Cherry, B. & Pevsner, N. (1998), *Op.cit.*

handsome open Place, with a Freestone Pavement.<sup>7</sup> In 1734 it was described as 'one of the most noble streets that London has to boast of'.<sup>8</sup> Sir John Holt, Lord Chief Justice, described it in 1761 as a 'very handsome, straight and well-built street, inhabited by persons of distinction'.<sup>9</sup>

- 2.11 Rocque's map of 1746 shows Bedford Row terminating at its southern end by Jockey's Fields (fig. 1). The group of townhouses comprising Nos. 45-48 (consecutive) was one of the last groups to be built and would terminate the southern vista.<sup>10</sup>

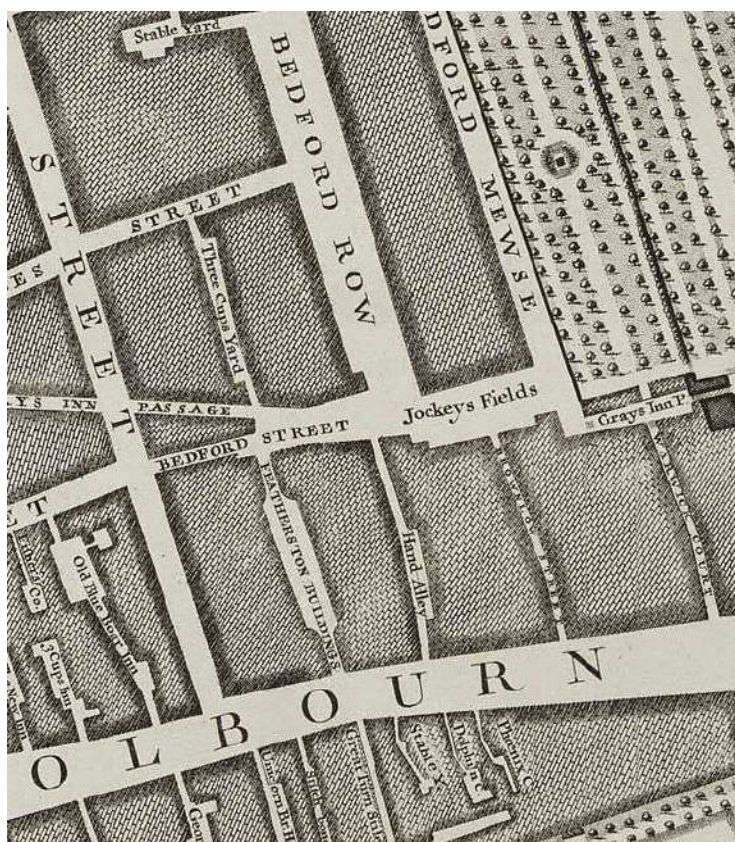


Figure 1: Rocque's Map of 1746

- 2.12 Horwood's Map of 1799 (fig. 2) shows that Jockeys Fields is now named Warwick Place and the buildings of Nos. 46 to 48 Bedford Row can be clearly seen.

<sup>7</sup> John Strype, *A Survey of the Cities of London and Westminster* (1720 ed.) p.254

<sup>8</sup> Hayes, D. (1998), *East of Bloomsbury*.

<sup>9</sup> Weinreb, B. & Hibbert, C. (eds.) (1992) *The London Encyclopaedia*.

<sup>10</sup> No. 45 is a later early 20th century rebuild.



Figure 2: Horwood's Map of 1799 (Site outlined)

- 2.13 Lawyers, attracted by the close proximity to Gray's Inn, occupied properties in Bedford Row from the early 18th century (and probably even earlier).<sup>11</sup> Dickens wrote in a letter of 1840 about the 'Sharks of Bedford Row' and when Charles Booth's researchers visited the street in the 1890s they commented that although there were one or two wealthy residents, the houses were 'principally occupied by housekeepers who keep the offices and houses for the solicitors who work there by day'.<sup>12</sup> Today the street is still colonised by the legal profession and few properties remain in residential use.
- 2.14 When the OS from 1875 and 1896 are compared, it can be seen that there is little change in the ground floor plans of Nos. 46-48 (fig. 3<sup>13</sup>).

<sup>11</sup> In 1827 Richardson & Talbot, solicitors were at No. 47 and later in the century No. 46 was occupied by members of the legal profession - London Gazette Archive Online <https://www.thegazette.co.uk>

<sup>12</sup> London School of Economics, Booth's London Online: <https://booth.lse.ac.uk>

<sup>13</sup> OS London 1:1,056: Town Plan, 1875 and Sheet VII.54 1896.



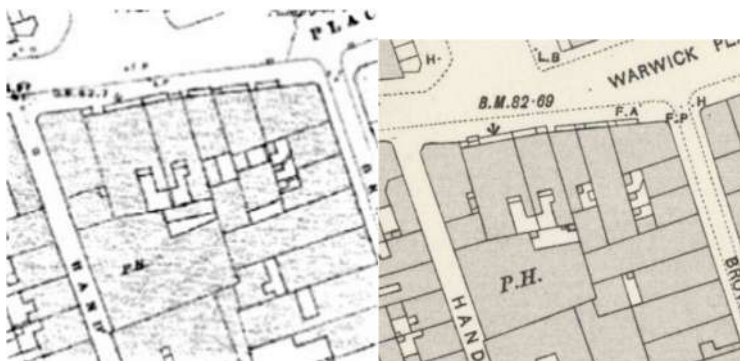


Figure 3: OS 1875 and OS 1896

- 2.15 The Chas. E Goad insurance plan of 1888 shows that the uses of the buildings as offices (fig. 4<sup>14</sup> ).

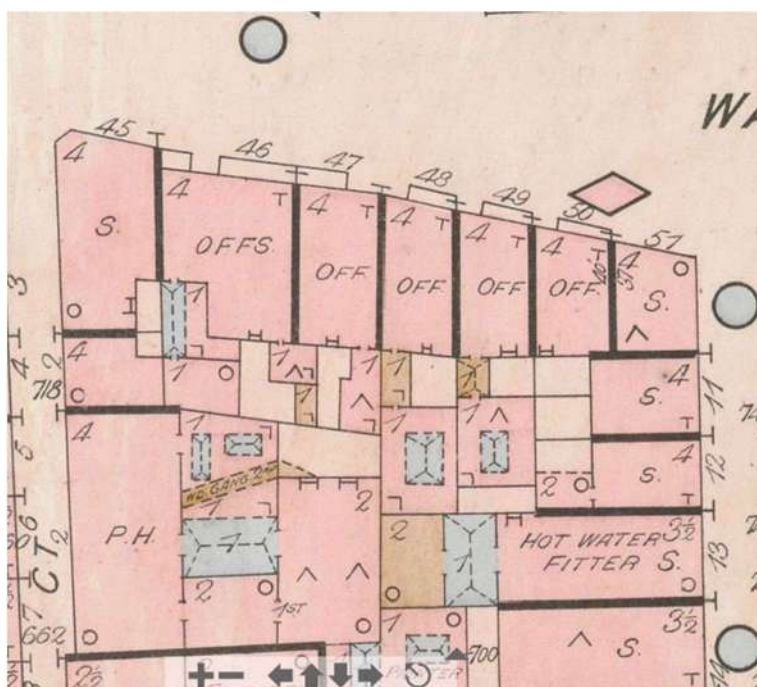


Figure 4: Nos 46-48 Bedford Row, extract from Insurance Plan of London, 1888

<sup>14</sup> Chas. E. Goad, Insurance Plan of London Vol. VIII: sheet 204 1888.

## The Buildings



Figure 5: 46-48 Bedford Row, 1956<sup>15</sup>

### *46 Bedford Row*

#### Exterior

- 2.16 No. 46 Bedford Row is a four-storey plus basement, three bay wide, late 18th century townhouse that forms part of a short terrace of three similar houses at the southern end of Bedford Row. The building is of brick construction and appears to have been refaced during the early 19th century. The front area lightwell is surrounded by cast iron railings.
- 2.17 The entrance door is six panelled with a radial fanlight over and is accessed via a shallow flight of four stone steps leading over the open area surrounded by black iron railings.
- 2.18 The front elevation is classically composed with the floor hierarchy of the building emphasised through the proportions and arrangement of the windows. Both the first and second floor have original 6-over-6 sash windows with 3-over-3 sashes at third floor level. The windows at ground level have been replaced, probably during the Victorian era when the rubbed brick arches would also have been introduced. The sash windows to the upper floors have stuccoed architraves, again, these would have been added during the Victorian era. The window to the west of the main door may be a later insertion.

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<sup>15</sup> London Metropolitan Archives, Collage ref: 69429.

- 2.19 A stucco band sits immediately below the first floor windows and a second is located immediately above the ground floor windows. Between these is a large plaster surface which would once have advertised the name of the business occupying the premises.
- 2.20 To the rear is an arrangement of one storey brick built extensions enclosing a small courtyard. A masonry toilet core has been added to the west of the stairwell. Figure 4 illustrates the arrangement as shown in the 1888 Goad Insurance Plan.
- 2.21 The slated roof is a double pitched form behind a parapet.
- Interior
- 2.22 The Ordnance Survey maps of 1875 and 1896 show no change to the ground plan of No. 46 between these two dates (fig. 3). Internally, the building retains some original features and whilst these are not entirely absent on the second and third floors, the ground and first floors retain more of their historical and architectural integrity including curved doors in the ground floor front room, window shutters, remnants of decorative cornicing and fireplaces. There is a strong room formed of thickened masonry partitions with masonry vaulted ceiling at ground floor level (room G-04). (Refer to the photographic record accompanying the application for further information).
- 2.23 As well as the legal profession, No. 46 played host to other organisations during the 19th century. One of these was the *National Guardian Institution*, an agency established by Thomas Henry Baylis in 1825 to 'supply good servants of good character to families'.<sup>16</sup> The agency moved to No. 46 Bedford Row c.1833, when an insurance policy was taken out on the premises by Thomas Butts, the Secretary of the institution.<sup>17</sup> The agency remained there until at least 1861. *The West London and Provincial Permanent Benefit Building Society* (founded 1856) had offices here in the 1890s, if not before, and well into the 1930s.
- 2.24 No. 46 was photographed by the London County Council in 1956 and by the GLC in 1975 shortly after its listing in 1974. A selection of thumbnail photographs is included as Appendix C.

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<sup>16</sup> Thomas Henry Baylis wrote 'The Rights, Duties, and Relations of Domestic Servants, their Masters and Mistresses, with a Short Account of Servants' Institutions and their Advantages' in 1857.

<sup>17</sup> UCL Bloomsbury Project Online: <http://www.ucl.ac.uk/bloomsbury-project>

#### *47 & 47A Bedford Row*

##### Exterior

- 2.25 No. 47/47A Bedford Row is a four-storey plus basement, two bay wide, late 18th century townhouse which appears to have been refronted during the early 19th century. The building is of brick construction with a stucco band immediately below the first floor windows and a stuccoed cornice and parapet at roof level. The front area lightwell is surrounded by cast iron railings.
- 2.26 The windows are 6-over-6 sash with 3-over-3 sashes at third floor level. Those to the upper floors have stuccoed architraves probably added during the Victorian era when the rubbed brick arches to the first floor and basement level windows would also have been introduced. Only one window remains at ground floor level as a second doorway has been created using an original window opening, possibly sometime at the turn of the 20th century (see below). The single 6-over-6 sash window at ground floor level appears to be a modern replacement as its proportions and glazing bar details vary from those on the upper floors.
- 2.27 The addition of a second door to the front elevation, albeit executed in a traditional manner, has disrupted the original design intent behind the principal elevation. The basement window is compromised by the addition of the flight of steps leading from the pavement to the door.
- 2.28 Both doors have a rectangular fanlight over and matching decorative hoods. The hoods date to the early 18<sup>th</sup> century and are in all probability reclamation pieces, possibly reclaimed from houses in Bedford Row demolished after Second World War bomb damage. The introduced six-panelled door to 47 has the correct proportions but that within the original door opening (47A) has an extended lower panel and one less step up. This is likely to relate to the lowering of the floor to the entrance hall in the 20th century.
- 2.29 Above the original front door are two stone plaques. The one on the left reads 'Ms. Eliz Doughty 1824' and the one on the right 'Bedford Charity Bounds 1824'<sup>18</sup> (fig. 6). This marks the boundary where the Doughty and Bedford Charity estates met.<sup>19</sup> A weathered stone mounted on the wall inside the entrance hallway of No. 47A also reads 'Bedford Charity Bounds 1824' and may have been moved from the exterior of the

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<sup>18</sup> See para 2.9 above on the Bedford Charity.

<sup>19</sup> UCL Bloomsbury Project: [www.ucl.ac.uk/bloomsbury-project/streets/doughty.htm](http://www.ucl.ac.uk/bloomsbury-project/streets/doughty.htm)



part of the property acts as an entrance to what was the club premises behind.

*Division of the property*

- 2.36 Nos. 47 and 47A were originally a single property. The Kelly's Post Office Directories from the later part of the 19<sup>th</sup> century show that a firm of solicitors wholly occupied No. 47. The last entry for the solicitors' is in 1900 and the next mention of No. 47 is in 1903 when it is noted as being associated with the 'City of New York', a licensed premises based in Hand Court.<sup>20</sup> The 1908 directory lists two distinct entities for the first time with a solicitors' office at No. 47 and No. 47A listed as being associated with the 'City of New York' public house. It seems likely that it was around this time that the second door was punched through the ground floor to create a separate entrance and the staircase between basement and first floor levels reconfigured.
- 2.37 In 1911, the Hand Court premises became a club for ex-servicemen known as the 'Veterans Club' <sup>21</sup> and in 1914 Kelly's lists at No. 47 'The Veteran's Corps and Employment Bureau Ltd.'. The 1914 OS shows No. 47 joined to the licensed premises on Hand Court to the rear at ground floor level (fig. 7<sup>22</sup>).
- 2.38 Plans from 1934<sup>23</sup> relating to the Veteran's Club show the second door to the front elevation 47 providing access to the offices on the upper floors and the introduced staircase between basement and first floor levels.

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<sup>20</sup> The 'Wheatsheaf Tavern' which stood on the north-eastern side of Hand Court was rebuilt and renamed the 'City of New York' in 1898.

<sup>21</sup> The club had been founded in 1907 by Major Arthur Haggard, and the premises were intended to provide accommodation and club rooms to ex-warrant officers, petty officers, non-commissioned officers and 'ordinary men of the services'. The Times, 18 January 1911.

<sup>22</sup> London (1915- Numbered sheets) V.10 (City of Westminster; Finsbury; Holborn; Inner Temple; Lambeth St Mary; London; Southwark), Revised: 1914. Published: 1936

<sup>23</sup> Appendix A.





Figure 7: OS Map 1914 showing connection of No. 47 with Hand Court premises

#### Connection with Hand Court premises

- 2.39 Membership of the Veterans Club increased rapidly after the outbreak of the First World War and in 1917 an appeal was launched for an extension to the club to be built owing to 'heroes of the war', coming home 'stranded, incapacitated and homeless'.<sup>24</sup> A fund was started to find larger premises closer to Charing Cross, but in the interim it was planned to extend the number of bedrooms provided at Hand Court. By 1919, the club had 6,000 members.<sup>25</sup> It seems that the extension didn't happen as an adjacent bakery to the south was expanded in the mid-1920s.<sup>26</sup> Ten years later, with the bakery gone, it was decided to develop the site as additional bedrooms and in 1934, Alister. G. MacDonald ARIBA<sup>27</sup> was appointed to draw up

<sup>24</sup> *The Times*, 19 November 1917.

<sup>25</sup> *The Times*, 25 September 1919.

<sup>26</sup> LMA GLC/AR/BR/06/059968.

<sup>27</sup> Alister MacDonald (1898–1993) was the son of the first Labour Prime Minister Ramsey MacDonald and a prominent architect who worked on promoting the planning policies of his father's government, and who specialized in cinema design and news cinemas in the post-war period. His works in London include Nos. 18-20 Jermyn Street (Gordon Chambers); No. 71 Dean Street; No. 1 Soho Square (1925), No. 3 Golden Square, Aldine

plans. Initial proposals to replace a one-storey portion at the rear of the existing building with a two-storey block of sleeping cubicles, with windows overlooking the enclosed courtyard were rejected (Appendix A). Amended designs were given permission and in May 1935 the one-storey former bake house was altered to provide offices.<sup>28</sup> It is unclear whether all the work proposed in the plans was carried out.

- 2.40 Bedford Row and Hand Court suffered extensive bomb damage during the Second World War, as did the whole of the surrounding area. The OS map published in 1953 shows the west side of Hand Court and a number of sites surrounding Nos. 45-48 Bedford Row as 'Ruins'. No. 47 Bedford Row is clearly shown as physically joined with No. 2 and Nos. 18-22 Hand Court (fig. 8<sup>29</sup>).



Figure 8: OS Map Surveyed 1951: published 1952

- 2.41 The Veterans Club left in 1948 and new tenants, The West Central Jewish Settlement and Club<sup>30</sup> moved in. The building became known as 'Montagu House' after Lily Montagu the founder of the West Central Jewish Girls' Club and Institute.
- 2.42 In 1951 the club engaged Alister MacDonald, who had previously drawn up the 1934 alteration plans. Their proposal

House for JM Dent & Sons at Nos.10-13 Bedford Street (1911), Nos. 75 & 77 Shaftesbury Avenue (1905), and No. 11 Great Marlborough Street (1910).

<sup>28</sup> LMA GLC/AR/BR/06/059968

<sup>29</sup> OS TQ3081 - A (includes: City of Westminster; Holborn), 1953.

<sup>30</sup> The Jewish Settlement and Club worked for the promotion of the physical, mental and spiritual benefit of members. It had originally been founded in 1893 by Lily Montagu (of the banking family), as the West Central Jewish Club

was to use part of the premises as a non-residential club along with ancillary offices and caretaker's quarters with the remainder to be used as offices.<sup>31</sup> The proposed works were said to involve 'minor changes' and internal alterations including the changing of bedrooms into classrooms and offices with the old club accommodation remaining as it was so that large social events could be staged.<sup>32</sup> A plan of the proposal shows that the office suite was to be located at No. 47 Bedford Row, whilst the premises in Hand Court were to be bedrooms, a caretakers' flat and club rooms (Appendix B).

- 2.43 In 1953, an application was made by the West Central Jewish Club and Settlement to use the first floor front room of No. 47, Bedford Row as a showroom, and the third floor back room for packing and despatch.<sup>33</sup>
- 2.44 In 1967, Alister MacDonald once more worked on the premises creating a new cloakroom and toilets in the basement of the club.<sup>34</sup> In 1971, the Greater London Council (GLC) described the club thus: 'these premises are large and rambling and comprise of a large lounge, concert hall and stage and many offices and auxiliary rooms. There are three floors and a basement all of which are in use and there is communication with adjacent premises under separate tenants'.<sup>35</sup>
- 2.45 In 1989 the West Central Jewish Settlement Club was granted permission for a change of use into mixed use with residential and offices. Renovation works - all at ground floor level - were carried out to No. 47 to 'form professional chambers' that combined office and residential accommodation.<sup>36</sup> No. 47A seems also to have been renovated and remained as an office as well as the entry hall and cloakroom of the club premises.

#### *48 Bedford Row*

##### *Exterior*

- 2.46 No. 48 Bedford Row is a four-storey plus basement, two bay wide, late 18th century townhouse. The building is constructed in brick with painted stucco ground and basement levels. The main elevation is classically composed with the floor hierarchy of the building emphasised through the proportions and

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<sup>31</sup> Camden Planning Application 7074 (27 July 1951).

<sup>32</sup> *Ibid.*

<sup>33</sup> Camden Planning Application 2456 (9 June 1953).

<sup>34</sup> Camden Archives and Local History Centre Drainage Plan Microfiche (1967).

<sup>35</sup> LMA GLC/AR/BR/13/089469.

<sup>36</sup> *Ibid.*

arrangement of the windows. A front area lightwell is surrounded by cast iron railings.

- 2.47 All of the windows are 1-over-1 late Victorian or Edwardian replacements. A cast iron balconette runs beneath the deeply architraved full-height first floor windows and a stucco band sits immediately below the second floor windows.
  - 2.48 The door (not original) has a simple fanlight over and the slope of the street running down from west to east means that it does not require steps up to it in the same way as its neighbours do.
  - 2.49 The house maintains its original salted butterfly roof form.
- Interior
- 2.50 Internally, the original plan form is largely intact. The house retains original features including some good fireplaces. Dado picture rails, cornicing and skirting are present although relatively plain in form. Most of the original doors have been lost. Room G-07 in the rear extension is lined with tongue and groove panelling.
  - 2.51 The ground floor front room has a distinctive curved wall creating the hallway partition. The curve of the wall impinges to some extent on the comfortable opening of the front door from the inside indicating that the interior was possibly specified by a different builder to that who created the property's exterior or else the front room was enlarged at a later date. Although this room retains decorative detailing such as dado and cornice these are extremely plain and the room has lost its original doors and fireplace. (Refer to the photographic record accompanying the application for further information).

#### The heritage context

##### Conservation area

- 2.52 Nos. 46-48 Bedford Row is located in the Bloomsbury Conservation Area which was first designated by Camden Council in 1968 and subsequently extended. The Bloomsbury Conservation Area Appraisal was adopted in April 2011.<sup>37</sup>
- 2.53 Within the Bloomsbury Conservation Area there are in excess of 1000 buildings and structures on the statutory list of buildings of Architectural or Historic Interest. A large number of its squares are protected under the 1931 *London Squares Act* and a number are on the Register of Parks and Gardens of Special

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<sup>37</sup> LB Camden (2011), *Op.cit.*

Historic Interest. Parts of the southern section of the Bloomsbury Conservation Area fall within the Camden London Suburbs Archaeological Priority Area (APA 2.11).

- 2.54 The Bloomsbury Conservation Area covers approximately 160 hectares extending from Euston Road in the north to High Holborn and Lincoln's Inn Fields in the south and from Tottenham Court Road in the west to King's Cross Road in the east. Given its large extent it has been broken down into a number of sub-character areas.
- 2.55 The terrace comprising 46-48 Bedford Row is included in sub-area 10 (Great James Street/Bedford Row) which is characterised predominantly by 18th and early 19th century terraced housing. Bedford Row remains an impressive enclave of Georgian domestic architecture and is described in the Bloomsbury Conservation Area Appraisal as: 'a fine example of an early Georgian street which still retains its original character', noting that 'The grade II listed Nos. 46-48 Bedford Row terminate the view south along Bedford Row, as seen from Theobald's Road'.<sup>38</sup>
- 2.56 Elements of Streetscape Interest within the public realm that make a positive contribution to the character and the appearance of the Conservation Area include:
- Sub-area: 10: Bedford Row: York stone paving, granite kerbs, coal holes, post box, phone box and water fountain.
- 2.57 Key Views include:
- Sub-Area 10: View south along Great James Street and Bedford Row terminated by the houses at the end of Bedford Row; and the view along Bedford Row and the visual effect of its gradual widening.

#### Listed buildings and structures

- 2.58 Nos. 46-48 Bedford Row are listed, as a group, at Grade II under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for their special architectural or historic interest. The list entry reads:
- Nos. 46, 47, 47A, and 48 and attached railings, Bedford Row, WC1
- Date of Listing: 14 May 1974 / List Entry No.: 1244583

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<sup>38</sup> LB Camden (2011), Op.cit.

Description: 3 terraced houses. Late 18th century, altered. No. 47 with two entrances. Yellow stock brick. 4 storeys and basements.

No. 46: 3 windows. Segmental-arched entrance with keystone, impost blocks and pilasters to door frame; patterned radial fanlight and panelled door. Ground floor recessed 20th century sash windows, 1st, 2nd, and 3rd floor stucco architraved sashes. Stucco 1st floor and sill band, the brickwork in between partly painted. Stucco cornice and blocking course.

No. 47 & 47A: 2 windows. 2 wood doorcases with panelled reveals, carved brackets carrying hoods; fanlights and panelled doors. One recessed sash window with painted red brick flat arch between the doors. Stucco sill band to 1st floor. Stucco architraved sash windows to 1st, 2nd, and 3rd floors. Stucco cornice and blocking course.

No. 48: 2 windows. Stucco ground floor with arched entrance, fanlight and panelled door. Recessed C20 sash to left. 1st floor architraved 20th century sashes with wrought-iron balcony. Stone band 2nd floor sill level. 2nd and 3rd floor 20th century recessed sashes. Parapet with brick band.

Interiors: not inspected.

Subsidiary Features: attached cast-iron railings with urn finials to areas. Nos. 46-48 (consecutive) form a group closing the vista at the south end of the street.

- 2.59 There is a high number listed buildings close to the site (fig. 9<sup>39</sup>), including many along Bedford Row.



Figure 9: Location of listed heritage assets in the vicinity of 46-48 Bedford Row (circled)

<sup>39</sup> LB Camden: [www.camden.gov.uk/listed-buildings](http://www.camden.gov.uk/listed-buildings)



2.60 Those nearest to the site include:

Grade I

- Grays' Inn: Hall and attached railings, South Square. Banqueting hall, rebuilt 1556-58, retaining earlier fabric.

Grade II\*

- Bedford Row: 1-7 and attached railings and lamp holder, 8-13 and attached railings, 11 incorporating the former number 10, 15 and 16 and attached railings;
- Gray's Inn Square: Nos. 1, 6, 7, 8, 12, 13 and 14, gatehouse and attached railings.

Grade II

- Bedford Row: 14, 17, 23, 29-32, 33-36, 42, 43 and all with attached railings;
- Bedford Row: Cast Iron Pump and 3 Bollards opposite Brownlow Street;
- Field Court: No. 5 and attached railings;
- Gray's Inn Gardens: Railings, Walls and Gateways;
- Raymond Buildings: Nos 1 TO 6 and attached railings;
- Warwick Court: Nos. 7 and 8 and attached railings.

Registered Park and Garden

2.61 North east of the site, behind Bedford Row, is the Grade II\* Gray's Inn gardens. These are 16th century walks and gardens, laid out under the direction of Francis Bacon and altered from the 18th century onwards.

Locally listed buildings and structures

2.62 There are no locally listed structures in the vicinity however all of the non-listed buildings close to the site – with the exception of No. 18 Hand Court and Nos. 55-57 High Holborn - are considered to make a 'positive contribution' to the character of their immediate surroundings and the Conservation Area as a whole.<sup>40</sup> These buildings include:

- Sub-area: 9: High Holborn: Brownlow House (Nos. 50-51) High Holborn House (Nos. 52-54); Brownlow Street: Nos. 8, 9, 10, 14-19, flank of High Holborn House, flank of Brownlow House. Hand Court: Montagu House (Nos. 19-23), Nos. 24 & 25.

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<sup>40</sup> LB Camden (2011), Op.cit.

- Sub-area: 10: Bedford Row: Nos. 18, 19, 20, 22, 22, 24, 25, 26, 27, 28, 37, 38, 39, 40, 41, 44 and 45.

## Heritage significance

### Definitions

- 2.63 Nos. 46-48 Bedford Row, nearby listed buildings, registered parks and gardens and the Bloomsbury Conservation Area are all 'designated heritage assets', as defined by the National Planning Policy Framework (NPPF).
- 2.64 'Significance' is defined in the NPPF as 'the value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting'. The English Heritage 'Planning for the Historic Environment Practice Guide' puts it slightly differently – as 'the sum of its architectural, historic, artistic or archaeological interest'.
- 2.65 'Conservation Principles, Policies and Guidance for the sustainable management of the historic environment' (English Heritage, April 2008) describes a number of 'heritage values' that may be present in a 'significant place'. These are evidential, historical, aesthetic and communal value.

### The heritage significance of 46-48 Bedford Row

#### *'Architectural interest', 'artistic interest' or 'aesthetic value'*

- 2.66 Nos. 46-48 Bedford Row have 'architectural' and 'artistic interest' (NPPF) or 'aesthetic value' ('Conservation Principles'). In respect of design, 'Conservation Principles' says that 'design value... embraces composition (form, proportions, massing, silhouette, views and vistas, circulation) and usually materials or planting, decoration or detailing, and craftsmanship'. The buildings retain the features of the original design that contribute to each of these qualities despite the changes that have occurred internally.

#### *'Historic interest' or 'Historical value'*

- 2.67 Nos. 46-48 Bedford Row have historic, evidential and (to a certain extent) communal value by illustrating the development of the area over time.
- 2.68 In terms of English Heritage's 'Conservation Principles' the buildings provides us with 'evidence about past human activity' and by means of their fabric, design and appearance communicates information about its past. Subsequent

alteration has not entirely denuded the ability of the buildings to do this, although the original character of the interiors has in places been somewhat compromised by later renovations.

- 2.69 Nos. 46-48 Bedford Row, the listed and other buildings nearby, and their relationship to one another, and to the Bloomsbury Conservation Area collectively illustrate the development of this part of London. Historical value is described as being illustrative or associative. The story of development of Bloomsbury illustrates a good deal about how London evolved from the earliest times and about social change and lifestyles during that period.

### 3 The legislative, policy and guidance context

#### Introduction

- 3.1 This section of the report briefly sets out the range of national and local policy and guidance relevant to the consideration of change in the historic built environment.
- 3.2 Section 5 demonstrates how the proposed development complies with statute, policy and guidance. Not all the guidance set out in this section is analysed in this manner in Section 5: some of the guidance set out below has served as a means of analysing or assessing the existing site and its surrounding, and in reaching conclusions about the effect of the proposed development.

#### The Planning (Listed Buildings and Conservation Areas) Act 1990

- 3.3 The legislation governing listed buildings and conservation areas is the Planning (Listed Buildings and Conservation Areas) Act 1990 ('the Act'). Section 66(1) of the Act requires decision makers to 'have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses' when determining applications which affect a listed building or its setting. Section 72(1) of the Act requires decision makers with respect to any buildings or other land in a conservation area to pay 'special attention... to the desirability of preserving or enhancing the character or appearance of that area'.

#### The National Planning Policy Framework

- 3.4 The revised version of the National Planning Policy Framework (NPPF) was published on 19 February 2019 and updated on 19 June 2019 <sup>41</sup>.
- 3.5 Chapter 16 of the National Planning Policy Framework: 'Conserving and enhancing the historic environment' deals with Heritage Assets describing them as 'an irreplaceable resource' that 'should be conserved in a manner appropriate to their

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<sup>41</sup> Ministry of Housing, Communities & Local Government (2019). Revised National Planning Policy Framework. Available at: [www.gov.uk/government/publications/national-planning-policy-framework--2](http://www.gov.uk/government/publications/national-planning-policy-framework--2)

significance, so that they can be enjoyed for their contribution to the quality of life of existing and future generations'.<sup>42</sup>

- 3.6 Paragraph 189 brings the NPPF in line with statute and case law on listed buildings and conservation areas. It says that:

'In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance.'

- 3.7 In terms of the local authority, paragraph 190 requires that they 'identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.'

- 3.8 Paragraph 192 says that 'In determining applications, local planning authorities should take account of:

- a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- c) the desirability of new development making a positive *contribution to local character and distinctiveness*.'

Considering potential impacts

- 3.9 Paragraph 193 advises local planning authorities that 'When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

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<sup>42</sup> The policies set out in this chapter relate, as applicable, to the heritage-related consent regimes for which local planning authorities are responsible under the Planning (Listed Buildings and Conservation Areas) Act 1990, as well as to plan-making and decision-making.

- 3.10 Paragraph 195 says: ‘where a proposed development will lead to substantial harm to or total loss of significance of a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:
- the nature of the heritage asset prevents all reasonable uses of the site; and
  - no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and
  - conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and
  - the harm or loss is outweighed by the benefit of bringing the site back into use.’
- 3.11 Paragraph 196 says that ‘where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use’ (paragraph 196).
- 3.12 In taking into account the effect of an application on the significance of a non-designated heritage asset the local authority should employ a ‘a balanced judgement’ in regard to the scale of any harm or loss and the significance of the heritage asset (paragraph 197).
- 3.13 The NPPF introduces the requirement that ‘Local planning authorities should not permit the loss of the whole or part of a heritage asset without taking all reasonable steps to ensure the new development will proceed after the loss has occurred (paragraph 198).
- 3.14 Where a heritage asset is to be lost, the developer will be required to ‘record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible’ (paragraph 199).<sup>43</sup>

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<sup>43</sup> Copies of evidence should be deposited with the relevant historic environment record, and any archives with a local museum or other public depository.



- 3.15 In terms of enhancing the setting of heritage assets the NPPF states that 'local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage sites, and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably. (paragraph 200).
- 3.16 It goes on however that 'Loss of a building (or other element) which makes a positive contribution to the significance of the Conservation Area or World Heritage site should be treated either as substantial harm under paragraph 195 or less than substantial harm under paragraph 196, as appropriate, taking into account the relative significance of the element affected and its contribution to the significance of the Conservation Area or World Heritage site as a whole' (paragraph 201).
- 3.17 Finally, paragraph 202 requires that the onus will be on local planning authorities to 'assess whether the benefits of a proposal for enabling development, which would otherwise conflict with planning policies but which would secure the future conservation of a heritage asset, outweigh the disbenefits of departing from those policies'.

#### Planning Practice Guidance

- 3.18 The Government published an updated Historic Environment section of PPG on 23 July 2019 to reflect the changes made to the National Planning Policy Framework (NPPF) since the 2012 edition.<sup>44</sup>
- 3.19 Planning Practice Guidance provides streamlined guidance for the National Planning Policy Framework and the planning system. It includes guidance on matters relating to protecting the historic environment in the section entitled 'Conserving and Enhancing the Historic Environment' which gives advice under the following headings:
- Overview: historic environment
  - Plan making: historic environment
  - Decision-taking: historic environment
  - Designated heritage assets

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<sup>44</sup> Ministry of Housing, Communities & Local Government (2019). Revised National Planning Policy Framework. Available at: [www.gov.uk/guidance/conserving-and-enhancing-the-historic-environment](http://www.gov.uk/guidance/conserving-and-enhancing-the-historic-environment)

- Non-designated heritage assets
- Heritage Consent Processes and
- Consultation and notification requirements for heritage related applications.

Conservation Principles, Policies and Guidance for the sustainable management of the historic environment<sup>45</sup>

- 3.20 This document describes a number of 'heritage values' that may be present in a 'significant place' and is referred to in the previous section of this report.

Local policy

Camden Council's Local Development Framework

- 3.21 Camden Council adopted its Local Plan in July 2017. The Plan sets out the Council's planning policies. It replaces Camden's Core Strategy and Development Policies planning documents (adopted in 2010).
- 3.22 Section 7 of the Plan deals with Design and Heritage saying that 'the Council places great importance on preserving the historic environment'.
- 3.23 Policy D1 Design says that:
- 'The Council will seek to secure high quality design in development. The Council will require that development:
- a. respects local context and character;
  - b. preserves or enhances the historic environment and heritage assets in accordance with "Policy D2 Heritage";
  - c. is sustainable in design and construction, incorporating best practice in resource management and climate change mitigation and adaptation;
  - d. is of sustainable and durable construction and adaptable to different activities and land uses;
  - e. comprises details and materials that are of high quality and complement the local character;

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<sup>45</sup> English Heritage (2008) Conservation Principles, Policies and Guidance for the sustainable management of the historic environment. Available at: <https://historicengland.org.uk/images-books/publications/conservation-principles-sustainable-management-historic-environment> (Accessed: 25 November 2019).

- f. integrates well with the surrounding streets and open spaces, improving movement through the site and wider area with direct, accessible and easily recognisable routes and contributes positively to the street frontage;
- g. is inclusive and accessible for all;
- h. promotes health;
- i. is secure and designed to minimise crime and antisocial behaviour;
- j. responds to natural features and preserves gardens and other open space;
- k. incorporates high quality landscape design (including public art, where appropriate) and maximises opportunities for greening for example through planting of trees and other soft landscaping,
- l. incorporates outdoor amenity space; m. preserves strategic and local views;
- n. for housing, provides a high standard of accommodation; and
- o. carefully integrates building services equipment. The Council will resist development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.'

3.24 Policy D1 also addresses Tall Buildings, Public Art and Excellence in Design.

3.25 Policy D2 Heritage deals with Camden's heritage assets. The policy says that:

'The Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets.'

3.26 In relation to designated heritage assets generally the policy says:

'The Council will not permit the loss of or substantial harm to a designated heritage asset, including conservation areas and Listed Buildings, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- a. the nature of the heritage asset prevents all reasonable uses of the site;
  - b. no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation;
  - c. conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and
  - d. the harm or loss is outweighed by the benefit of bringing the site back into use.’
- 3.27 The Council will not permit development that results in harm that is less than substantial to the significance of a designated heritage asset unless the public benefits of the proposal convincingly outweigh that harm’.
- 3.28 In relation to Conservation Areas the policy says:
- ‘In order to maintain the character of Camden’s conservation areas, the Council will take account of conservation area statements, appraisals and management strategies when assessing applications within conservation areas. The Council will:
- e. require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area;
  - f. resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area;
  - g. resist development outside of a conservation area that causes harm to the character or appearance of that conservation area; and
  - h. preserve trees and garden spaces which contribute to the character and appearance of a conservation area or which provide a setting for Camden’s architectural heritage.’
- 3.29 In relation to Listed Buildings the policy says:
- ‘To preserve or enhance the borough’s listed buildings, the Council will:
- i. resist the total or substantial demolition of a listed building;
  - j. resist proposals for a change of use or alterations and extensions to a listed building where this would cause

harm to the special architectural and historic interest of the building; and

k. resist development that would cause harm to significance of a listed building through an effect on its setting.'

3.30 In relation to Archaeology:

'The Council will protect remains of archaeological importance by ensuring acceptable measures are taken proportionate to the significance of the heritage asset to preserve them and their setting, including physical preservation, where appropriate.'

3.31 In relation to other heritage assets and non-designated heritage assets including those on and off the local list, Registered Parks and Gardens and London Squares the policy states:

'The effect of a proposal on the significance of a non-designated heritage asset will be weighed against the public benefits of the proposal, balancing the scale of any harm or loss and the significance of the heritage asset.'



## 4 The proposed scheme and its effect

### Introduction

- 4.1 This section of the report describes the proposed scheme in terms of its effect on the heritage significance of the site and its context, described and analysed earlier in this report. The proposed scheme is illustrated in the drawings and Design & Access Statement and other documents submitted with the application.

### The proposed scheme

- 4.2 The buildings have lain empty for a number of years which has allowed for water ingress and the spread of dry rot and black mould and deterioration of the fabric in places. The long use of the buildings as commercial premises led to many insensitive and poor quality interventions into the fabric before their listing in 1974.
- 4.3 The proposal aims to refurbish the buildings in order to safeguard them for the future whilst providing high quality office (B1) accommodation. This will require careful and sensitive works throughout. In summary, works will include:

#### *All properties*

#### Exteriors

- Brick elevations: gentle clean and repointing of brickwork with lime mortar. Crack stitching and masonry repairs as required;
- Windows: refurbish and restore throughout (including the removal of damaged architraves as noted below);
- Doors: refurbish;
- Railings and steps up to door: refurbish;
- Lightwell retaining walls: repair settlement cracks;
- Rainwater goods: removal of damaged & plastic goods and replacement with cast iron;
- Roof: depending on the results of the structural survey - the retention and refurbishment of original roof structure and finishes where possible or their removal and replacement to match existing;

- Rear roof terraces: introduction of new roof terraces at rear 1<sup>st</sup> floor level (including installation of acoustically attenuated plant).

#### Interiors

- Some non-original internal walls are proposed to be removed as part of the scheme and original room plans reinstated;
- Walls: where lath and plaster remain, this will be retained and repaired as needed like-for-like;
- Ceilings: where lath and plaster remain, this will be retained and repaired as needed like-for-like;
- Decorative features: where existing dado, skirting, cornice and architraves are found, these will be refurbished and missing pieces matched-in;
- Doors: retain and refurbish original and replace modern with period-appropriate panelled doors and door furniture;
- Floors: timber floor to be repaired as necessary; repair and re-instate stone floors at ground floor level;
- Staircases: refurbish;
- Fireplaces: retain and refurbish where existing;
- M&E services: new services throughout including installation of air conditioning and appropriate lighting. Services to be hidden by new joinery;
- WC & kitchenettes to be re-sited to more appropriate positions with quality new installations;
- Damp proofing: Sika system to be installed to basements.

#### No. 46

##### Exterior

- Windows at ground floor front: replace with period-appropriate 6-over-6 sashes;
- Stucco window surrounds: these are in disrepair and it has been established that introducing new fixings in order to replicate these will involve further damage to the brickwork. Therefore, it is proposed to remove these completely and repair the brickwork beneath;
- Cills and parapet: repair like-for-like;

- Rear extension and terrace: demolition of existing poor-quality single-storey extensions and construction of one new extension, which will encompass the current small, external open spaces, in order to create a large internal space and also allow for a roof terrace at first floor level. As part of the demolition two plain wooden fireplace surrounds will be removed and one cast iron insert which will be reused elsewhere if possible. The existing lightwell to basement level will be retained.
- Access to the new terrace will be via a new door created through the existing rear wall on the stair landing at 1st floor level. The minimal amount of original material will be removed to facilitate this and the new door will be in-keeping with the building's aesthetic.

#### Interior

##### 1st floor

- Front room (small): remove later partition wall to reinstate original room size and plan form.

##### 2nd floor

- Front room: remove later partition wall and erect new partition to reinstate original room size and plan form (subject to confirm from structural investigations).

##### 3rd floor

- Front room: remove later partition wall to reinstate original room size and plan form (subject to confirm from structural investigations).

#### No. 47/47A

##### Exterior

- Doors: the inserted, door - 47 Bedford Row - will be retained as is but fixed shut. The original entrance - 47A Bedford Row - will be renumbered as 47 Bedford Row;
- Doorcases: refurbish;
- Stucco window surrounds: these are in disrepair and it has been established that introducing new fixings in order to replicate these will involve further damage to the brickwork. Therefore, it is proposed to remove these completely and repair the brickwork beneath;
- Cills and parapet: repair like-for-like;

- Pavement vault; repair to ceiling.

#### Interior

##### Ground

- Spiral stair: remove and infill modern spiral stair between basement and ground floor;
- Staircase between ground and first floor: remove inserted (early 20th century) stair;
- Staircase: reinstate traditional staircase in original position between lower ground and first floor levels;
- Lobby: remove 20<sup>th</sup> century decorative scheme and replace with period-appropriate joinery scheme;
- Walls: reinstate dividing wall between front and rear rooms incorporating double-sized pocket door opening between.

##### 1<sup>st</sup> floor

- Walls: removal of internal partitions around inserted staircase to reinstate original plan.

##### 2nd floor

- Front room: remove later partition wall and erect new partition to reinstate original room size and plan form.

##### 3rd floor

- Front room: remove later partition wall and erect new partition to reinstate original room size and plan form.

#### *No. 48*

##### Exterior

- Rear extension at ground floor level: replace 20th century roof and rooflights and create a roof terrace at first floor level. Access to the terrace will be via a new door created from an existing window at 1st floor level in the closet wing addition. The minimal amount of material will be removed to facilitate this and the new door will be in-keeping with the building's aesthetic.

#### Interior

##### Ground

- Dividing wall between hallway and front room: remove and reinstate the dividing wall in same curved form to increase hallway width by 1500mm in order to afford safer access and egress through front door. Wall to be rebuilt like-for-like and all mouldings to be retained and

reinstated, currently closed-up doorway from hallway to front room to be reopened;

- Modern door between rooms G-02/03 to be replaced with a pocket door.

#### 1st floor

- Front room: remove later partition wall and erect new partition to reinstate original room size and plan form.

#### 2nd floor

- Front room: remove later partition wall and erect new partition to reinstate original room size and plan form.

#### 3rd floor

- Front room: remove later partition wall and erect new partition to reinstate original room size and plan form.

#### The effect of the proposed works on heritage significance

- 4.4 Historical interventions have meant that internally, some original plan form and original fabric and features have been lost from each of the buildings. Cumulatively, these changes have reduced their integrity somewhat, diminishing their significance in relation to that which would have been if they had remained intact.
- 4.5 The properties require extensive maintenance and repair works to support the preservation of the fabric. Where historic fabric has been damaged by water ingress and rot, it will be carefully removed and replaced like-for-like. Where insensitive modern interventions are found these will be removed and made good.
- 4.6 The Victorian-era stucco architraving around the upper floor windows in Nos. 46 and 47/47A is in disrepair. These have been surface-fixed to the brickwork using iron rods and tacks and over time, water has tracked behind causing them to disintegrate. Corrosion of the iron tacks has made them unusable in repair. It has been established that introducing new fixings in order to replicate these architraves would involve further damage to the brickwork. It is proposed, therefore, to remove and not replace the architraves rather to repair the brickwork beneath thus restoring the appearance of the front elevation closer to its original appearance. The restoration of 6-over-6 sashes to the ground floor of No. 46, matching those above, will further help restore the building to its original appearance.

- 4.7 The closure of the introduced second entrance at No. 47 will restore the original circulation to the building. The door itself will be retained as it has been part of the building's history for the past 100 years. Removing the spiral stair and early 20th century staircase between ground and first floor is essential in order to restore the original plan form and circulation in the property. A new stair between basement and first floors will be reintroduced in its original location thus restoring the original intent.
- 4.8 The alteration of the hallway/front room dividing wall in No. 48 will result in a more usable entrance making access and egress safer. The wall will be rebuilt like-for-like to match the existing curve and will reinstate the currently closed-up doorway into the room.
- 4.9 The removal and re-siting of selected dividing walls in the upper floors across all three properties will restore these floors to their original plan form.
- 4.10 The sensitive introduction of basement waterproofing, heating and air conditioning systems into each property alongside modern M&E installations will bring the accommodation up to current standards and bring them into optimum viable use.
- 4.11 The consolidation of the late 19th/early 20th century rear extensions to the properties through demolition and rebuilding will result in the addition of new usable interior and exterior space (in the form of terraces) (fig. 10). This will add to the economic viability of the properties by utilising previously 'dead' outside space as well as replacing structures which have reached 'end of life' condition.



Figure 10: Current configuration of rear extensions



- 4.12 The proposed alterations and repair works described above and in the accompanying application pack have been carefully designed to be sympathetic to the age and construction of the properties and not cause excessive damage to original retained fabric. Rather they are designed to support the special interest of each of the buildings by better revealing and enhancing the original layout and design intent.
- 4.13 Taken as a whole, the proposals will sensitively upgrade and repair the historic fabric of these Grade II listed buildings. They will not affect the architectural or historic interest of any of the buildings to a degree that would alter its special interest in any significant way but will certainly preserve and enhance that interest.
- 4.14 The proposals will not affect the significance of any other heritage assets. The setting of nearby listed buildings and the character and appearance of the Bloomsbury Conservation Area will be preserved and enhanced by the proposed works.

## 5 Compliance with policy and guidance

- 5.1 This report has provided a detailed description and analysis of the significance of Nos. 46-48 Bedford Row and its heritage context, as required by Paragraph 189 of the National Planning Policy Framework. This section should be read with Section 3.

The Planning (Listed Buildings and Conservation Areas) Act 1990

- 5.2 The proposed scheme to preserves the listed buildings and their setting and preserves and enhances the character and appearance of the Bloomsbury Conservation Area by virtue of the positive effect that the development will have on the setting of the conservation area. The proposed development thus complies with S.66(1) and S.72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990.

The level of 'harm' caused by the proposed scheme to heritage assets

- 5.3 As outlined in Section 3, the NPPF identifies two levels of potential 'harm' that might be caused to a heritage asset by a development: 'substantial harm...or total loss of significance' or 'less than substantial'. Both levels of harm must be caused to a *designated* heritage asset.
- 5.4 The proposed scheme does not lead to 'substantial' harm or any level of 'less than substantial' harm to any designated heritage asset. As has been explained earlier, the proposal does very evidently not result in the 'total loss of significance' of any listed buildings or conservation area.
- 5.5 The only potential for 'less than substantial' harm would be if the proposed scheme caused the loss of something central to the special interest of the listed buildings or the conservation area. There is nothing about the proposal that would give rise to this level of harm.

The balance of 'harm' versus benefit

- 5.6 The scheme provides a tangible public benefit in the form the enhancement over the present situation. It will bring back into use these currently vacant Grade II listed properties via a high quality and sensitive scheme which will enhance both the conservation area and the economic and future viability of the buildings. The core architectural and historic interest of the

buildings and the conservation area are preserved as a result of the proposed scheme.

#### The National Planning Policy Framework

- 5.7 The proposal satisfies paragraph 192 in making a positive contribution to local character and distinctiveness.
- 5.8 The proposed scheme complies with Paragraph 193 and 194 in that it conserves local heritage assets and does not contribute to any substantial harm or loss of significance.
- 5.9 We do not believe that the scheme involves any 'less than substantial harm to the significance of a designated heritage asset', but helps achieve 'optimum viable use', satisfying paragraph 196.
- 5.10 The proposed development certainly enhances and reveals the setting of heritage assets and preserves those elements of the setting that make a positive contribution to the asset as required by paragraph 200.

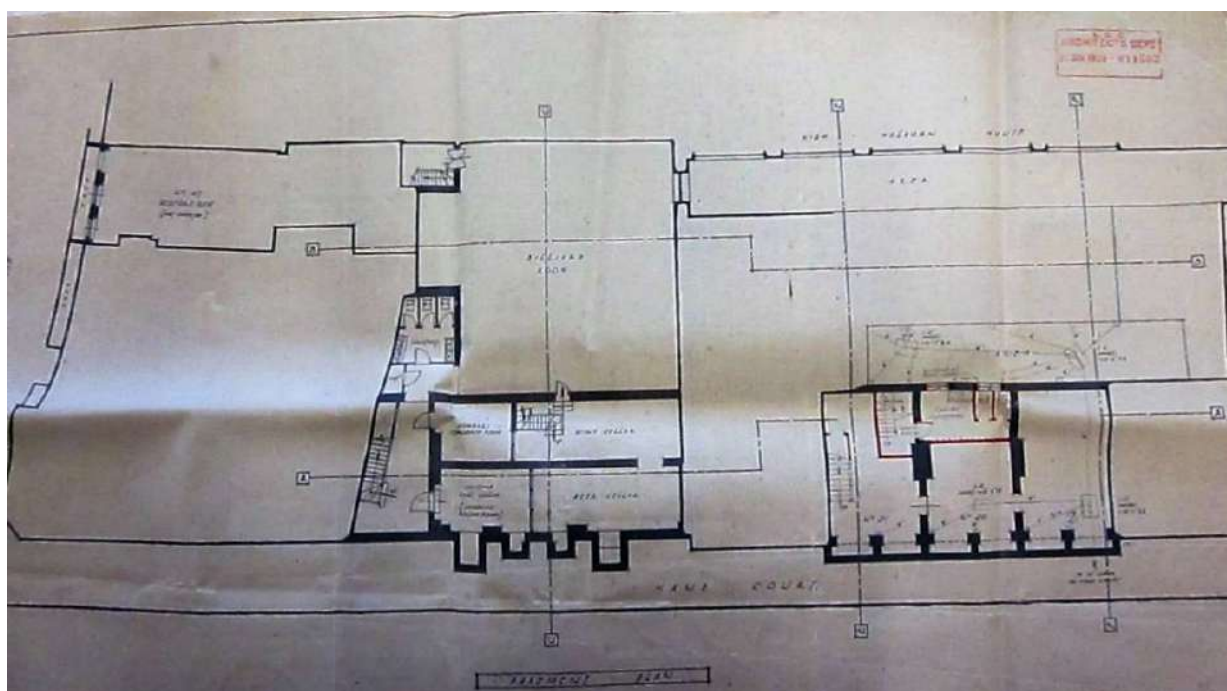
#### Camden Local Plan

- 5.11 As has been shown, and for the same reasons that are given in respect of the NPPF, the scheme would have a positive effect upon the listed properties which are the subject of the application and also preserve and enhance the character and appearance of the conservation area and the setting of nearby designated heritage assets.
- 5.12 For these reasons, and those given earlier, the proposed development is consistent with Camden's Local Development Framework policies regarding demolition and new development in conservation areas, and in particular, Policy D2. which deals with Camden's heritage assets.

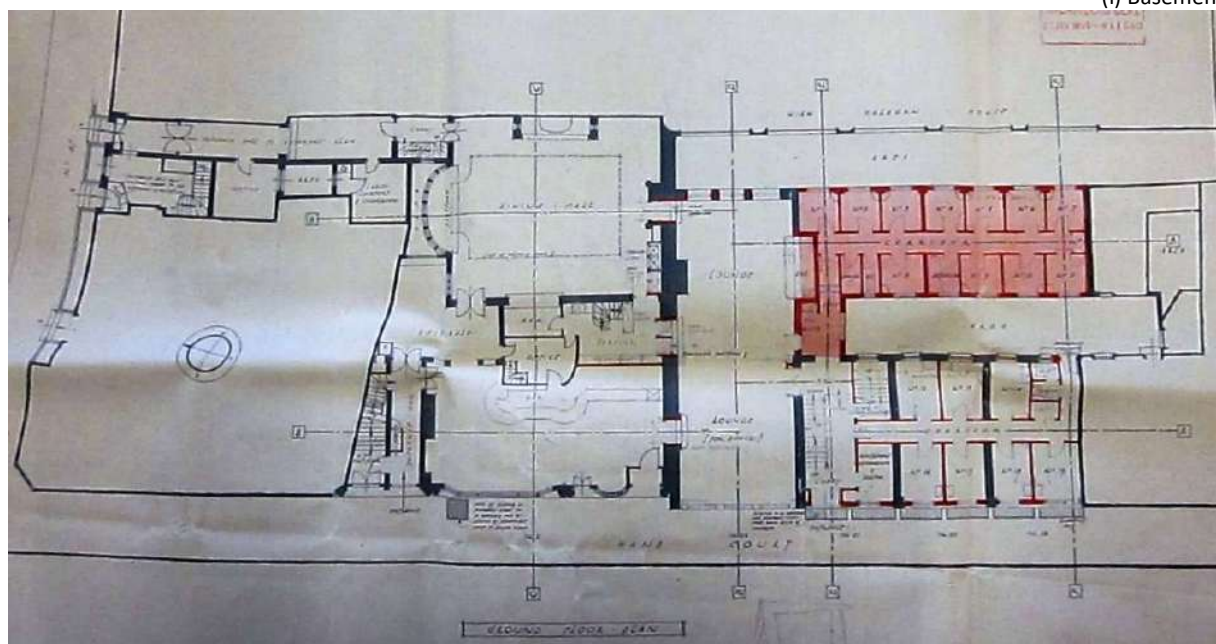
## 6 Summary and conclusion

- 6.1 Nos. 46, 47/47A and 48 Bedford Row are a terrace of three late 18<sup>th</sup> century grade II listed townhouses located within the Bloomsbury Conservation Area in the London Borough of Camden.
- 6.2 The architectural and historical interest of the properties lies primarily in their group value as part of the development of Bedford Row by the Bedford Charity Estate, being good examples of Georgian-period townhouses, and encompasses their architectural design and the urban presence of their largely intact exteriors, as well as surviving elements of interior design such as plan form and decorative detailing, all of which evoke the original design intent. There is nothing about the proposals that will diminish this architectural or historic interest, rather this interest will be preserved and enhanced.
- 6.3 The buildings have undergone reconfiguration and changes to fabric throughout their history, this is most evident in No. 47/47A where significance has been diminished by historical changes to plan form and intrusive works. The properties have lain empty for a number of years and during this time have been damaged by water ingress and rot.
- 6.4 The purpose of the proposed works is to repair and refurbish each of the properties in order to provide high quality office accommodation. The repairs and interventions proposed fully respect the spatial and decorative characteristics of each building's design and layout, insofar as they are connected to its architectural and historic interest. They are sympathetic to the age and construction of the buildings and will sensitively upgrade and repair their historic fabric. They will have a positive effect by preserving their special interest and enabling their sustainable, long-term viable use.
- 6.5 The setting of nearby listed buildings and the character and appearance of the Bloomsbury Conservation Area will be preserved and enhanced by the proposed works.
- 6.6 For these reasons, the proposed scheme complies with the law, and national and local policies and guidance for urban design and the historic built environment.

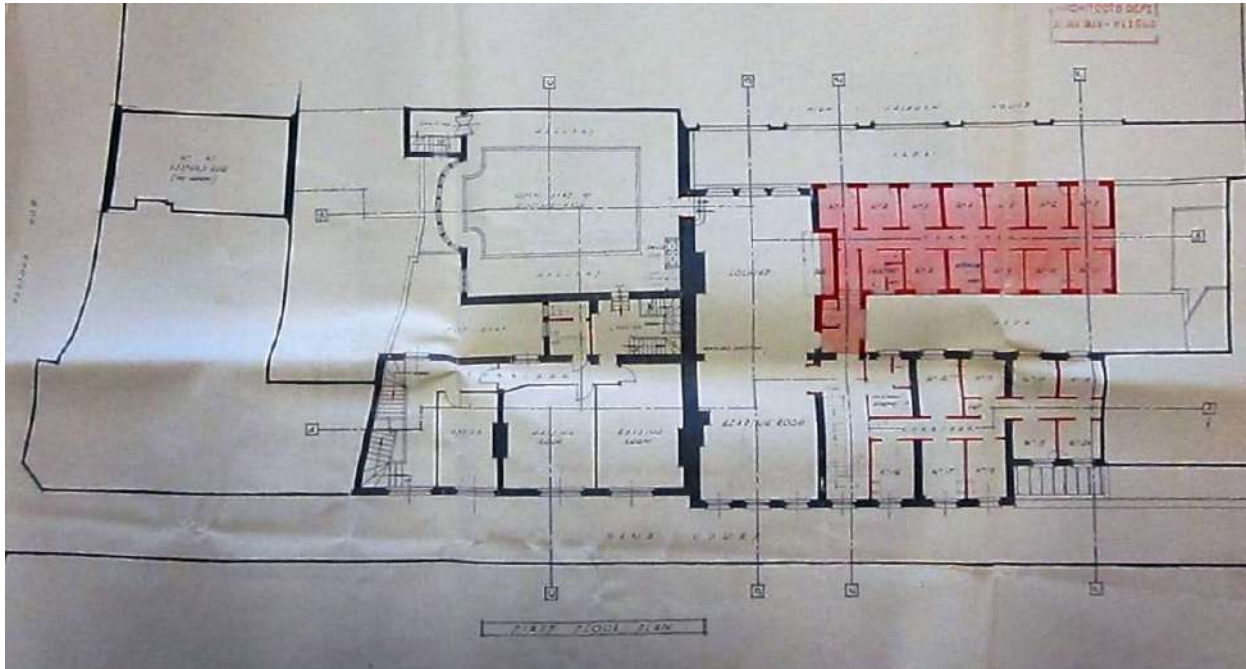
Appendix A: Relationship of No 47A Bedford Row to Nos. 19-23 Hand Court.  
Alterations and additions for the Veterans' Club (1934)



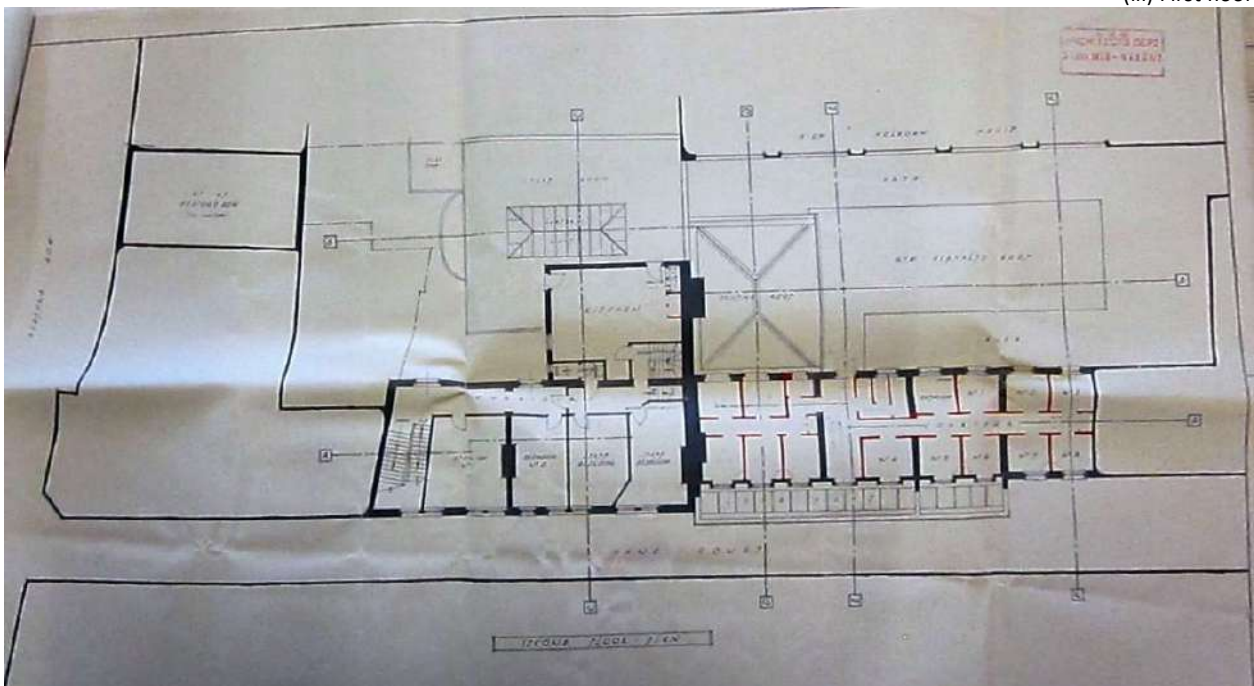
(i) Basement



(ii) Ground floor

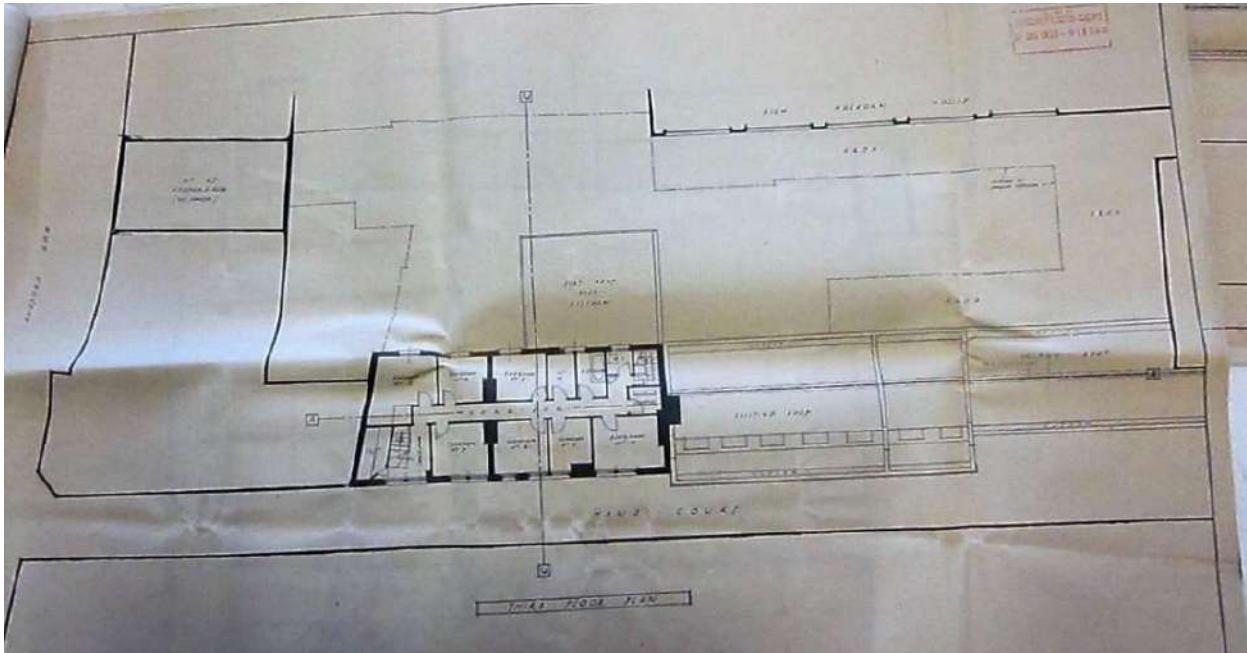


(iii) First floor

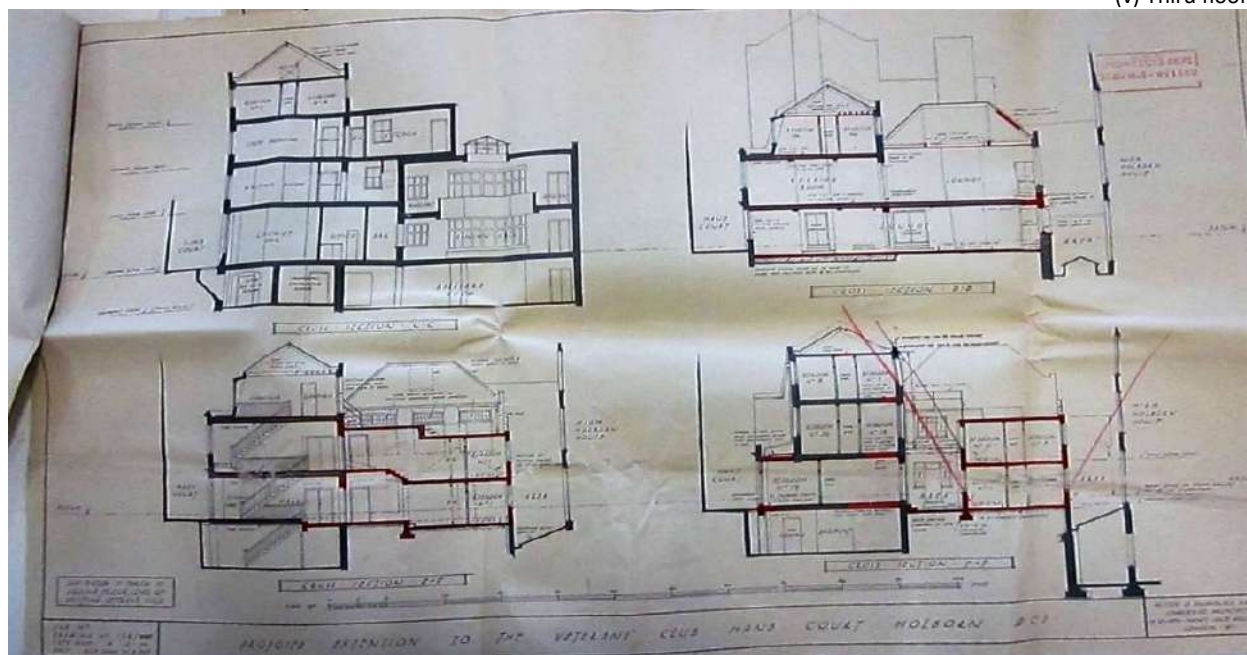


(iv) Second floor

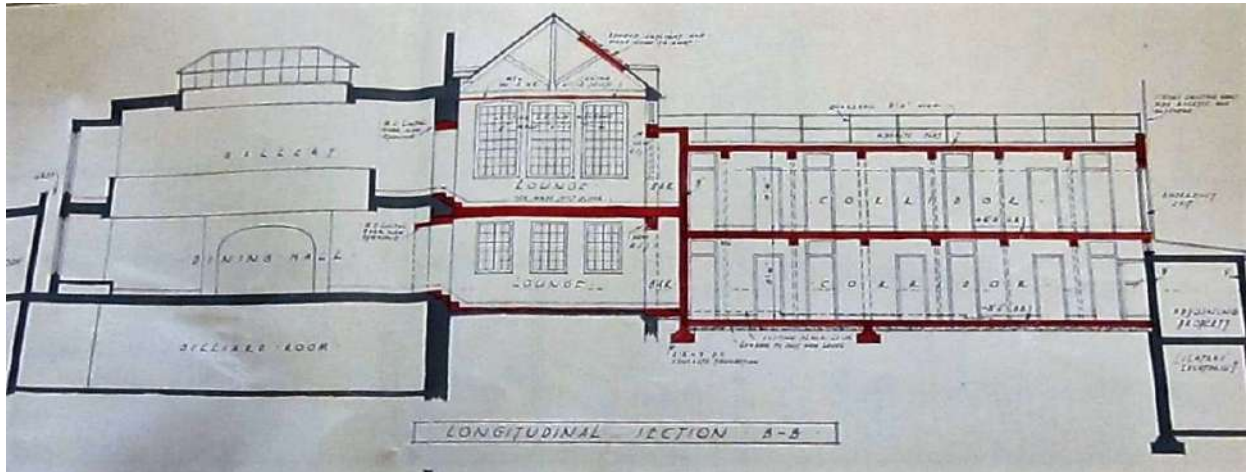




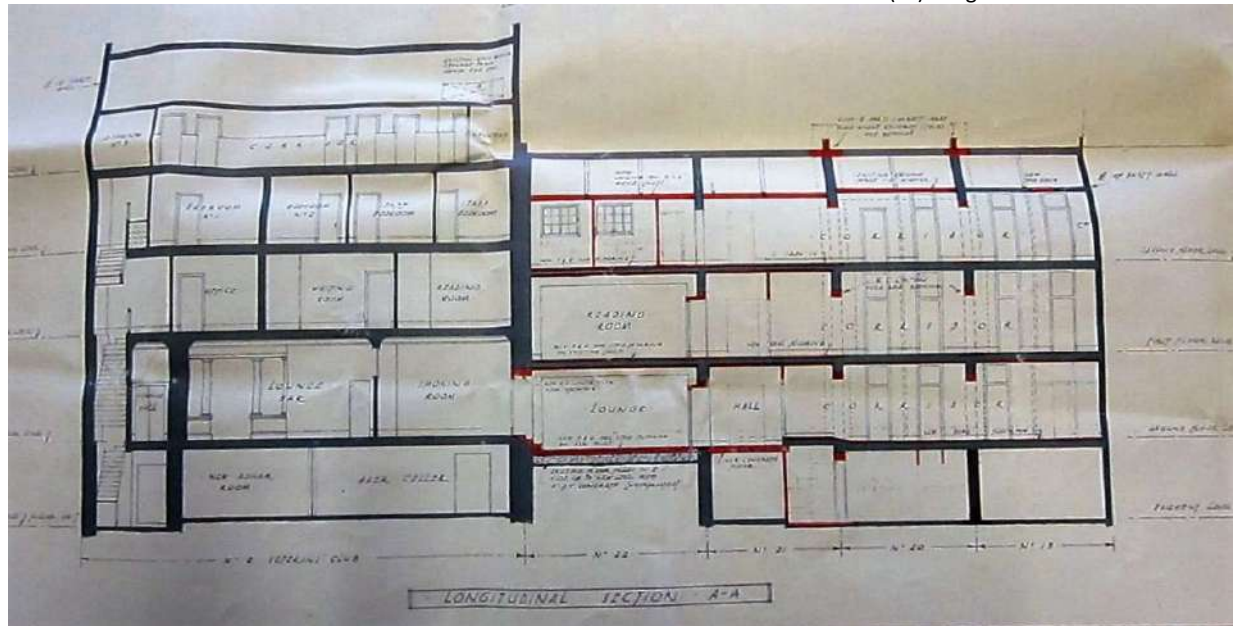
(v) Third floor



(vi) Section



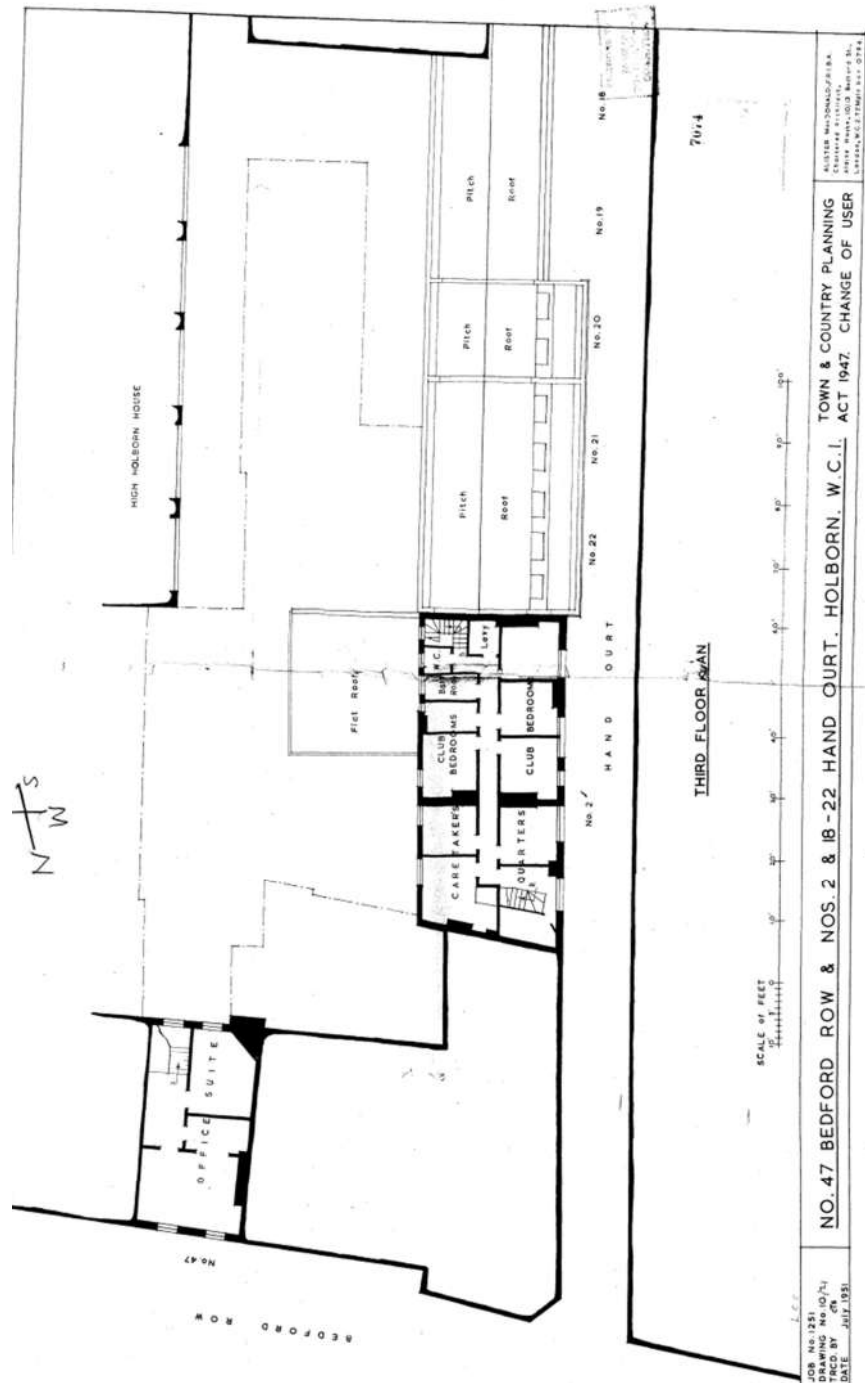
(vii) Longitudinal Section A-B floor



(vii) Longitudinal Section A-A

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# Appendix B: Proposals for No. 47 Bedford Row and Nos. 2 & 18-22 Hand Court, 1951



Floor	Freehold				Leasehold											
	No. 47 Bedford Row.		No. 2 Hand Court.		No. 22 Hand Court.		No. 21 Hand Court.		No. 20 Hand Court.		No. 19 Hand Court.		No. 18 Hand Court.			
	Old Use	New Use	Old Use	New Use	Old Use	New Use	Old Use	New Use	Old Use	New Use	Old Use	New Use	Old Use	New Use		
Basement	Stores	Stores	Billiard Rm. Lavy. Changing Rm. Boiler Rm. Wine Cellar Beer Cellar	Club Rec. Rm. Lavy. Store Boiler Rm. Store Store	-	-	-	-	Club Rm. Lavy. Store	Lavy Store	Lavy Store	Lavy Store	Lavy Store	Store		
Ground Floor	Entrance Entrance Office Area Land Cloaks Lobby	Club Entr. Vestibule Dining Hall Bar Service Saloon	Entrance Entrance Club Assembly and Din. Hall Serv. Kitchen Waiting Space d. 5 offices	Entrance Lounge Lounge Lounge	Club entrance Lounge Lounge	Entrance Lavy Office	Entrance Lavy Offices	Waiting & Assembly Rm. Office & Lobby Yard	Waiting & Assembly Rm. Office & Lobby Yard	Waiting & Assembly Rm. Office & Lobby Yard	Office & Entrance Yard	Office & Entrance Yard	Office Lavy Yard	Offices		
First Floor	Office Office	Bedrooms 142 Bedrooms 144 Bedrooms 145, 146, 147 Lavy Gallery & Entrance Hall	Study Shore Classrooms Lavy Gallery & Entrance Hall	Lounge Reading Rm. Bar	Club room Club room Shack bar.	Lavy Lavy Bedrm. 12	Lavy Lavy Offices	Bedrms. 8 9, 15, 14.	Bedrms. 10, 11, 15, 16.	Bedrms. 10, 11, 15, 16.	Office suite W.C.	Office suite W.C.	Office suite W.C.	Office suite W.C.		
Second Floor	Offices W.C.	Offices W.C.	3 staff Bedrooms 174, 18 W.C. & lavy Kitchen	Bedrooms 9, 10, 21, 22, 23.	Office suite	Lavy Bedrm. 24.	Lavy Office	Bathroom Bedrms. 25 26, 31.	Office suite	Bedrms. 27 28, 29, 30	Office suite.	Office suite.	Office suite.	Office suite.		
Third Floor	Waiting rm. Store.	Office suite	Bedrms. 14, 15, 16, 17 & 38, 39. Bath & Lavy	Corridors quarters. Club bed- rooms. Bath & Lavy.												
No. 47 Bedford Row & Nos. 2 & 18-22 Hand Court, Holborn W.C.I. New use-by prospective purchaser - The West Central Jewish Settlement & Club. Old use-by vendor - The Victory (Ex-Services) Association.																



## Appendix C: No. 46 Bedford Row, historical photographs



46 Bedford Row: doorway (1956)



46 Bedford Row: first floor front room (1975)



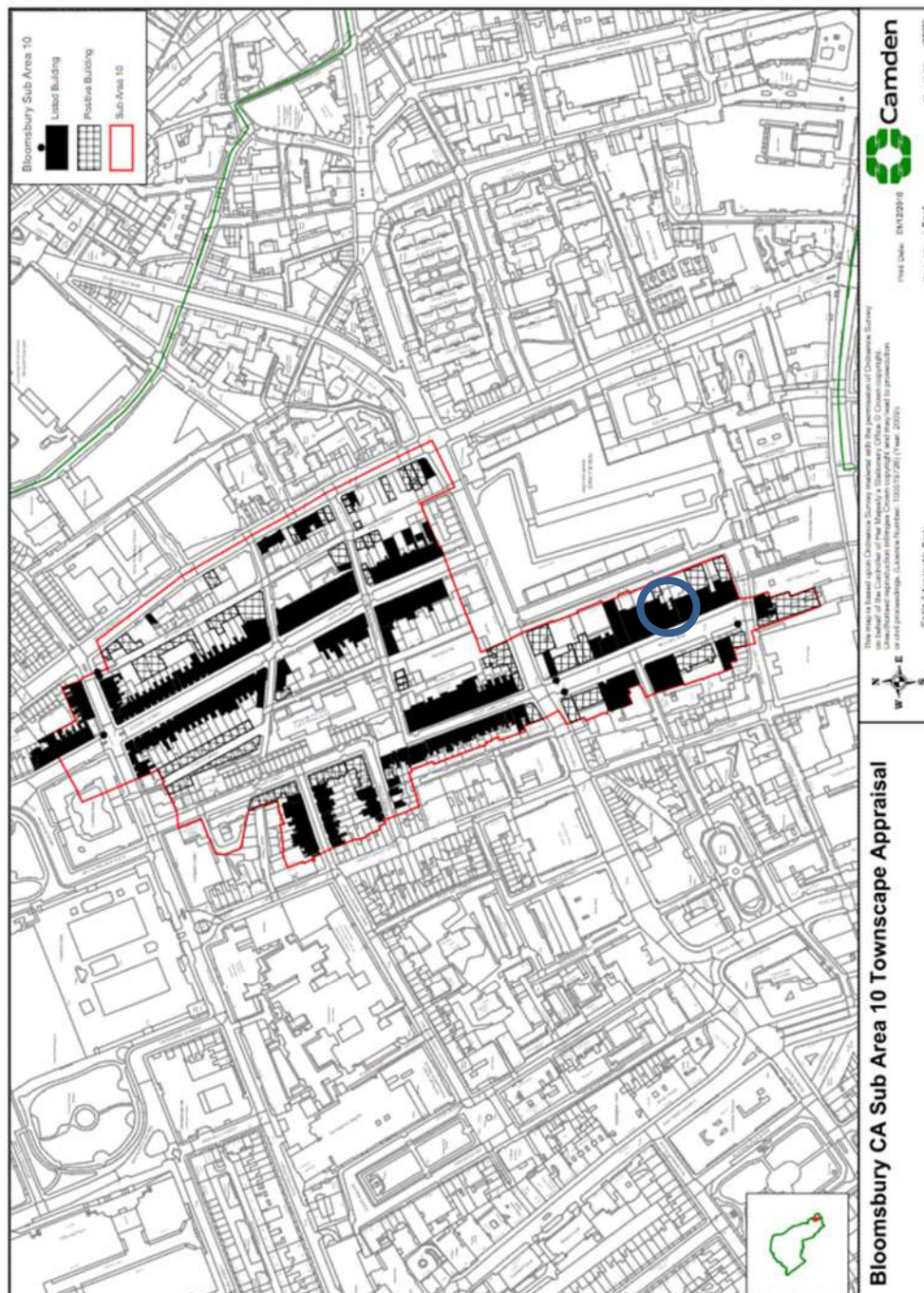
46 Bedford Row: first floor rear room (1975)



46 Bedford Row: second floor front room (1975)

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## Appendix D: Bloomsbury Conservation Area Sub-area 10



Bloomsbury Conservation Area Sub-Area 10. Site circled ([www.camden.gov.uk](http://www.camden.gov.uk))





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