

Design & Access Statement 5 Tanza Road NW3 2UA
Application for Inset Dormer, New windows Extension of main flat roof and alteration of
South Pitched roof Rooflight, Side store and Solar Panels
Single Family Dwelling Semi Detached Property

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Use

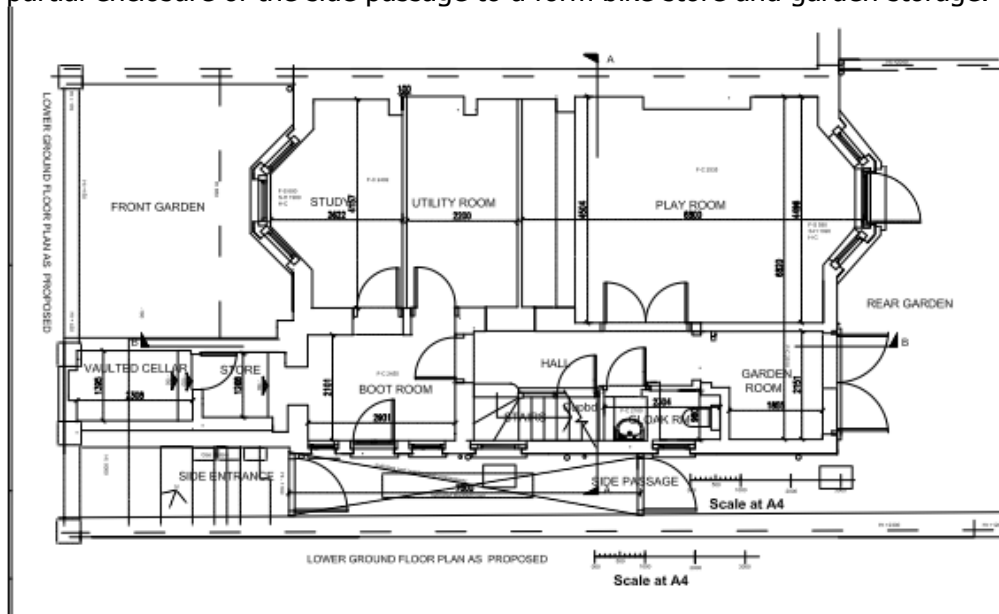
Number 5 Tanza Road is a Semi-detached Victorian house on the West side of Tanza Road a wide street, on a hill, linking Nassington Road and Parliament Hill. The street runs approximately North South rising some 25M or so at the North end. No 5 is the South end and the South side of the semi-detached pair. It was divided into three flats at some stage around twenty years ago. It has now been purchased by a young family with three children who live in the area. The house comprises four floors with seven rooms currently in use as bedrooms, two work from home studies, two kitchens and three bathrooms.

The new proposals are to incorporate the large loft space into the house to form the third floor. The proposals are to form a new inset dormer on the rear roof slope, 2 new side windows on the south elevation at this level.

This is facilitated by a new stair up to the loft, extending the flat roof and altering the pitch of the central sloping South roof between two south wall gables. The proposal also reinstates the Lower Ground floor double hung sash window in the rear bay and forms a pair of double doors to the rear garden from the existing small window to the south side of the rear elevation at this level. It is also proposed to form a covered storage passage in the side passage for bikes and other storage. On the new South facing roof slop it is proposed to install Solar PV panels.

Layout

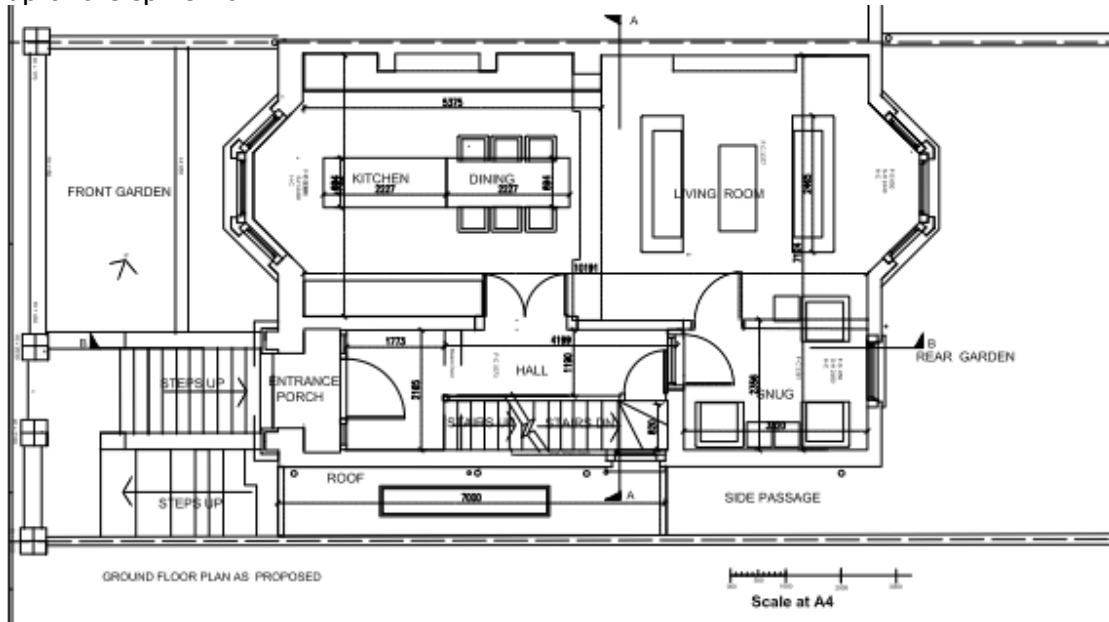
The proposed layout would be for the lower ground floor to be for functional use, a playroom, home office, utility room and an ancillary garden purposes area with the side partial enclosure of the side passage to a form bike store and garden storage.



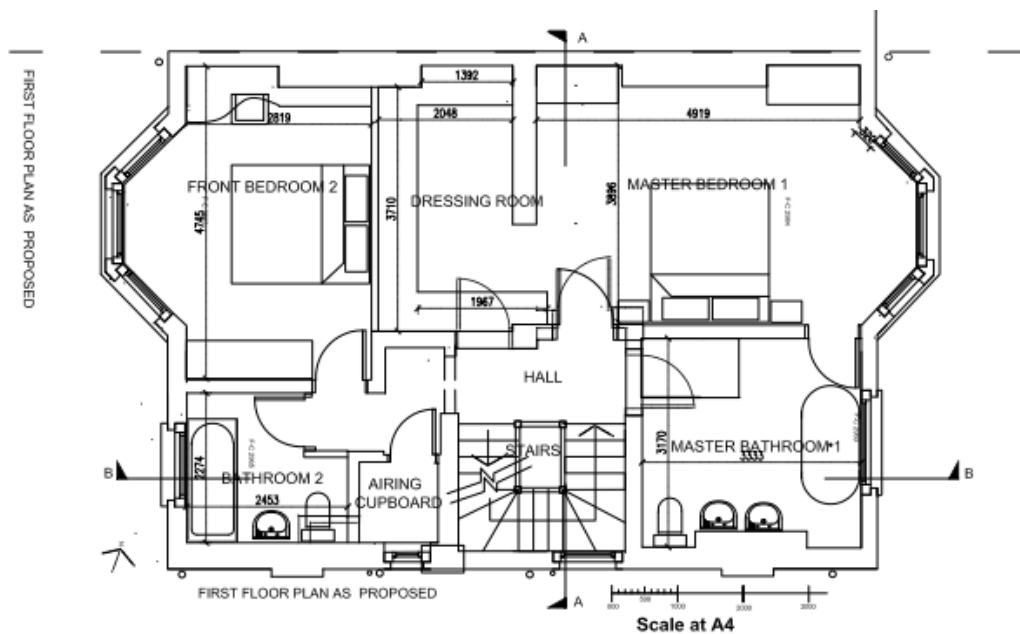
Neale+ Norden Consultants
January 2021 amended August 21

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The Ground floor would consist of the kitchen dining and living area, with the opening up of the spine wall.

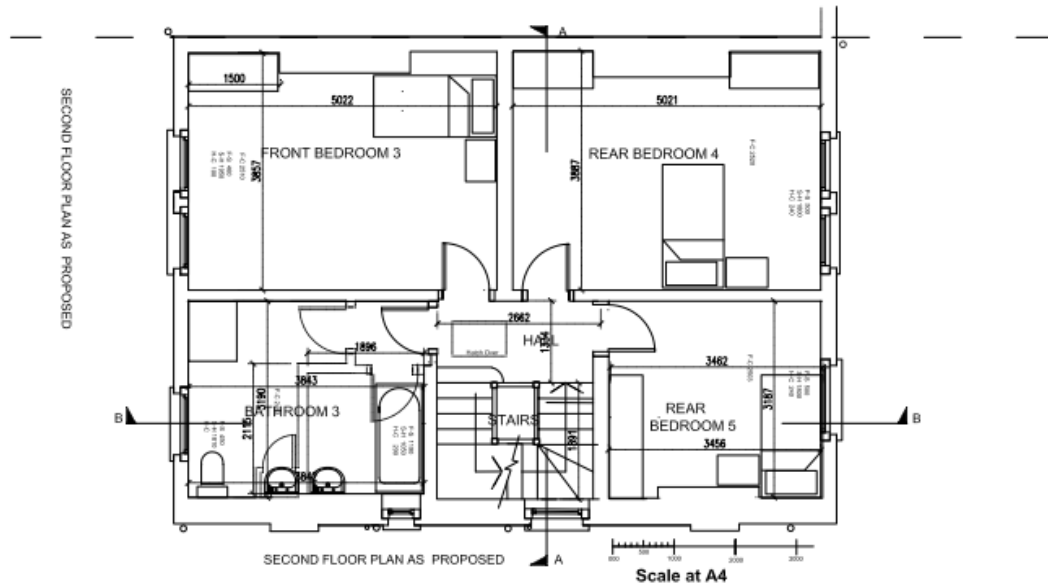


The first floor would be the master bedroom suite with a master bathroom and a spare bedroom and spare bathroom.

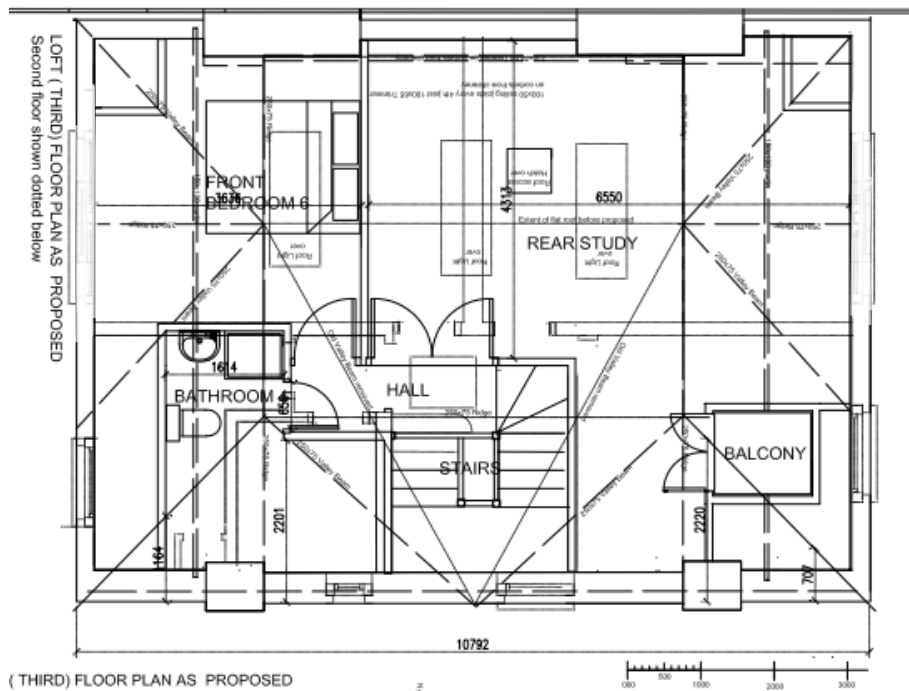


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The second floor would be three bedrooms for the children and a children's bathroom.



The new third floor would comprise a generous home office with a balcony overlooking Parliament Hill Fields and a spare bedroom for visiting relatives with a bathroom shower room and a new staircase extending the existing stairs in a dog leg with landing up to the third floor.



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Scale

The intention of the proposal is to preserve and enhance the rear and front elevation.



Front Elevation Photo Existing



Rear Elevation Photo Existing

The new front elevation will remain unaltered.

The rear elevation has two low level alterations, the reinstatement of the double hung sash window to the centre of the lower ground floor bay in lieu of the door and the reforming of the left-hand small window into a pair of traditional timber French doors and reforming the stone lintel over to extend to the new length. An inset balcony with double doors is to be formed in accordance with CPG1 and CPG3 figs 6 and 7.

Figure 7. Roof terraces

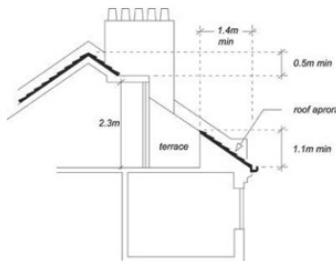
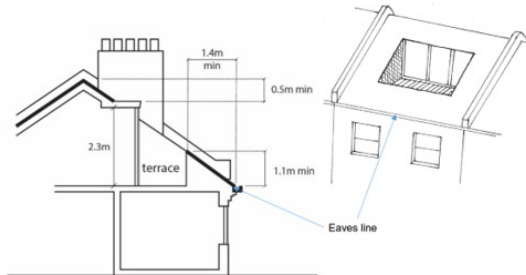


Figure 6: Inset roof terrace



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The new inset dormer will line up with the window below and will be in accordance with the CPG1 recommended 500mm and 1100 offsets.

The intention is to satisfy the requirements of CS14 and DP24 with respect to local context and a high standard of design to both preserve and enhance the conservation area as set out in and CPG1. This end of Tanza Road is characterised by a variation of rear dormer windows in the roofs and the further north particularly having Less sympathetic roof balcony's terraces and windows.



Further North from the rear

Landscaping

The proposals would require no major additional landscaping over and above that that has been carried out on site already.

There are no alterations proposed to the front landscaping save a tidying up of the planting. The rear garden will also be tidied up with new planting and be landscaped to be more children and dog friendly. The side steps down to the side passage will be renewed as they have deteriorated and need repair. There will be adequate storage for bicycles in the proposed covered side passageway similar to No 3 next door.

With respect to **ES3** Biodiversity the proposals do not have any significant impact on the existing biodiversity of the existing front and rear gardens planting and trees. There is an existing full width 22M long rear garden.

Appearance

The proposals would involve alterations to the external rear and side elevations and the appearance is discussed in Scale above. The building is listed in the Southill Park Conservation Area 2 for a positive contribution to the special character and appearance to the area. The alterations are not considered to detract from that goal. The proposed roof alterations take account of SHP 15 regarding the existing roof form, the alterations

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not being visible from either the Heath or the street. SHP 16 states dormers to the rear will be allowed if sensitively designed in relation to the building and other roofs, this is illustrated in the photos above. The replacement of windows is permitted in CPG1 4.7 and CPG 1 5. if they are sympathetic to scale and are not visually prominent. Rooflights are permitted as in 5.2 if they have no adverse effect on the skyline and internal roof terraces as in 5.6.

CPG1 5.9 encourages the use of solar panels to maximise efficiency and minimise visual effect, they will not be visible from the Heath or the street as they are in the internal roof slope in the middle of the South elevation as per CPG3 4.19

Regarding **CC1** Climate change mitigation, the proposals do not fall within the requirement to provide an energy statement other than the new construction and internal alterations will conform to the higher insulation standards of the building regulations thus reducing carbon emissions and the use of materials with low body carbon content will further contribute to the same reductions.

Access

Access at the front door and side door of the property would remain the same with the existing side passage leading to the side entrance door. Stairs up to the front door and down to the side door would not be suitable for disabled access unless a stair lift, and ramps were introduced. The hallways are of suitable width for wheelchair access and the existing windows are in the main low enough for opening access from a wheelchair.