

Delegated Report		Analysis sheet	Expiry Date:	03/06/2021
		N/A / attached	Consultation Expiry Date:	20/06/2021
Officer			Application Number(s)	
Obote Hope			2021/1691/P	
Application Address			Drawing Numbers	
Flat A 6 St Augustine's Road London NW1 9RN				
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
Erection of rear dormer and a side dormer extension, installation of 2 x rooflights to the front roof pitch and 1 x rooflights to the side roof pitch all associated with the conversion of the loft space to provide additional residential accommodation.				
Recommendation(s):	Refused			
Application Type:	Full Planning Permission			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	00	No. of objections	00
			No. electronic	00		
Summary of consultation responses:	A site notice was displayed from 21/05/21 to 14/06/21 and the application was advertised in the local paper on 27/05/21 (expiring 20/06/21).					
CAAC/Local groups* comments: *Please Specify	<p>The Camden Square CAAC made the objection as listed below:</p> <ul style="list-style-type: none"> Although on first sight the drawings appear technically adequate, closer inspection reveals confusion over the way they have been labelled and the absence of some vital dimensions; Drawing number EX10 (existing rear elevation) refers to the Garden Flat in the title, the proposal, however, is to do with the top floor flat; No section lines are indicated on the proposed drawings: one has to ascertain where these have been; No dimensions have been given on the plan or elevations to indicate the size of the proposed dormers. All that are provided are the distances from the eaves and party walls; In the roof plan and the rear elevation, the rear dormer appears to meet with the line of the roof hip at a point, whereas in reality this would be more likely to require some separation in order to flash adequately; The opening sentence of the Design Access Statement states that no. 6 St Augustine's Road is on the northern side of the road – it is actually on the south side; Building Regulations require a headroom of 2.2m in loft conversions, but only 2.1m is achieved in the apex at best. This then reduces to 2070mm within the proposed rear dormer; All this assumes that the proposal does not involve re-slating and insulating above the rafters. If this were to be required, however, the overall height of the roof would increase which in turn would necessitate planning permission, which may not necessarily be forthcoming; Whilst the design of the proposed dormers and conservation rooflights are aimed to be sympathetic additions to the host building, and according to the DAS will only be "fleetingly visible", it is not currently apparent that adequate headroom can be achieved within the current building envelope. Unless this concern can be addressed and meet the requirement of building regulations, approval of the proposed development should be withheld. 					

Site Description

The site is a semi-detached property located on the south side of St Augustine's Road with the junction of Agar Grove in the Camden Square conservation area. The property is one half of a symmetrical villa pair, across three floors (lower ground and 1st floors). The Camden Square Conservation Area Appraisal and Management Strategy (March 2011) (CAAMS) identifies the property as making a positive contribution to the character and appearance of the Conservation Area (CA).

Relevant History

Application site

2016/5010/P: Erection of a single storey side and rear extension at lower-ground floor, following the demolition of the existing shed and the installation of rooflights all associated with the use as residential flat (Class C3). Granted 23/11/2016

Other relevant site

2013/3851/P: Erection of full width rear dormer and side gable extensions to roof level of first floor flat (Class C3). **Refused** 01/08/2013.

12 St Augustine's Road

2016/4152/P: Installation of side dormer to roof slope. Refused 27/09/2016 Appeal allowed 07/04/2017

Relevant policies

NPPF 2021

London Plan 2021

Camden Local Plan 2017

Policy A1 Managing the impact of development

Policy D1 Design

Policy D2 Heritage

Camden Planning Guidance

Home improvements (January 2021)

Amenity (January 2021)

Camden Square Conservation Area Appraisal and Management Strategy (March 2011)

Assessment

1. Proposal

- 1.1. The application seeks planning permission for the erection of a side dormer roof extension and rear dormer extension and the installation of two rooflights to the front elevation and one rooflight to the side elevation.
- 1.2. There would be an obvious change to the roof form given the bulk and scale of the side dormer roof extension and rear dormer extension. The proposed roof extension to the side elevation would measure 3.4m in depth, 1.1m in width and 1.7m in height. The proposed rear dormer would measure approximately 3.0m in depth, 1.6m in width and 1.8m in height. The proposed dormers would be constructed in brick with lead to dormer cheeks and the windows would be timber sash.

2. Assessment

- 2.1. The main issues which need to be assessed are the design, the impact to the character and appearance of the Camden Square Conservation Area and neighbouring residential amenity.

2.2. Design

- 2.3. CPG 'Home Improvements' recommends that alterations to, or the addition of, roof dormers should be sensitive changes which maintain the overall structure of the existing roof form; should not be introduced into shallow roofs; should not disrupt an unbroken roofscape; should maintain adequate roof slope to maintain projection into the roofline; and should utilise materials which are complementary to the host building and local area. This guidance also advises that roof alterations / extensions may be accepted where they act to re-unite a group of buildings; remain architecturally sympathetic to the host building; maintain the integrity of the roof form; or where there is an established pattern of development which would be replicated by the development.
- 2.4. The policy justifications go on to amplify that "extensions to roofs will not always be acceptable. There will be situations, which are particularly sensitive to roof extensions...such as where a street retains its original unaltered roofline. It is therefore important to preserve the roofs unaltered where this occurs". In principle therefore, a roof extension would be unacceptable. The proposed dormers would be constructed with lead to dormer cheeks and the windows would be timber sash.
- 2.5. The Conservation Area statement makes the following observations on the character of St Augustine's Road. *"This street has an apparently consistent arrangement of set-back grander houses. On closer inspection there is a subtle change in character starting from the south, as it was built chronologically with larger plots, stucco and pediments, progressing to stucco or a mix of brick over stuccoed ground and lower floors, to the smaller terraced houses at the northern end."*
- 2.6. The host building is a semi-detached pair with both properties consisting of unbroken rooflines and policy D2 requires new development to preserve or enhance the area's character. The character of conservation area derives from the combination of a number of factors, including scale, density, and pattern of development. The shallow pitch roof concealed behind the parapet is a characteristic feature of the matching semi-detached pairs on this side of St Augustine Road (Nos. 6-52) "with the exception of no 12" which has a side dormer roof extension. The absence of dormer extensions at this groups of buildings is likely due to the shallow pitch of the roof preventing the creation of high quality habitable accommodation at roof level.

- 2.7. As stated, side and rear dormer roof extensions are not an established feature of the host building or the neighbouring semi-detached houses. The houses on both sides of St. Augustine's Road share a common, yet distinctive shallow pitch hipped roof and this character should be retained. The unbroken character would be lost with the introduction of a contrived side dormer which attempts to be invisible from the street but in reality would be apparent and visible from the street.
- 2.8 The proposed side dormer is not sympathetic to the host building and fails to respect its form and proportions. The proposed dormer would appear overbearing in terms of its height, form, scale and bulk relative to the scale of the host building. It would not appear as a modest 'dormer' sitting within the roofslope. The siting, design and appearance of the proposed dormer extension would be an inappropriate addition to the host building detracting from its character and appearance and the area in general. The dormer would be a discordant element, detracting from the roofscape and group value of the adjacent semi-detached properties.

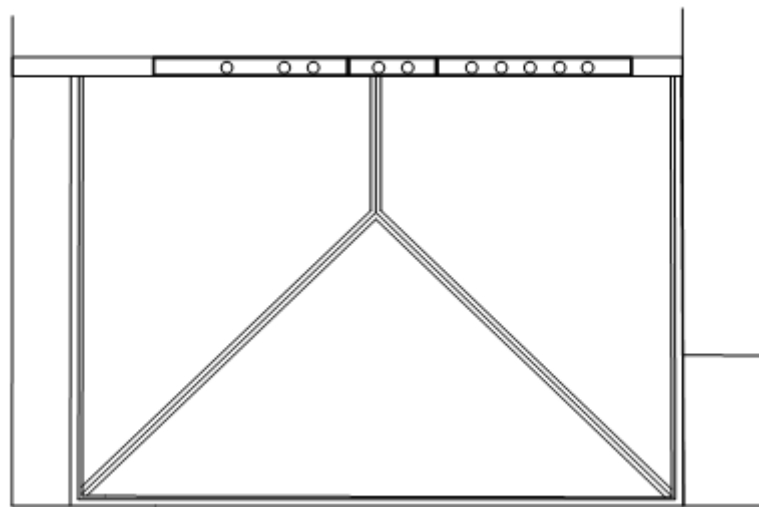


Image 1 Existing plan

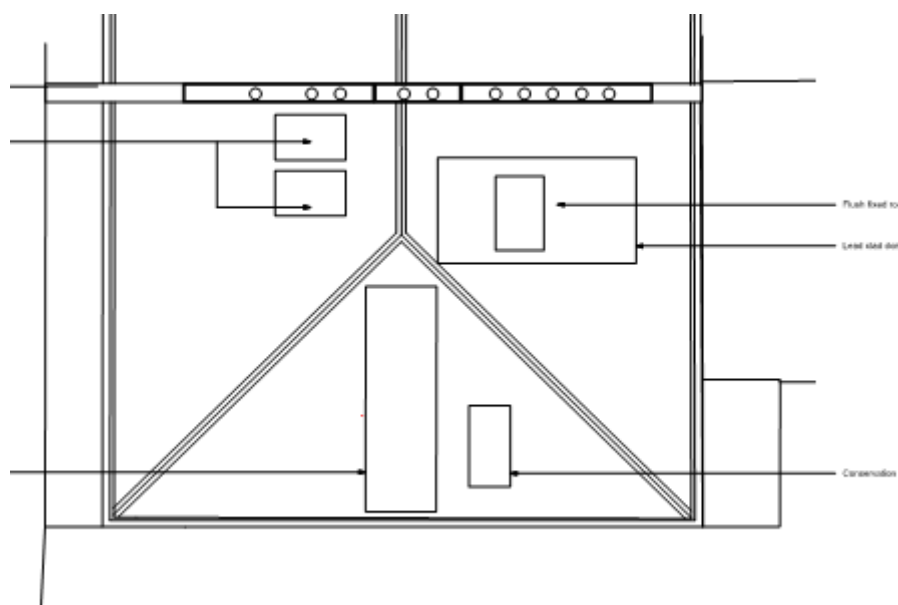


Image 2. Proposed roof plan

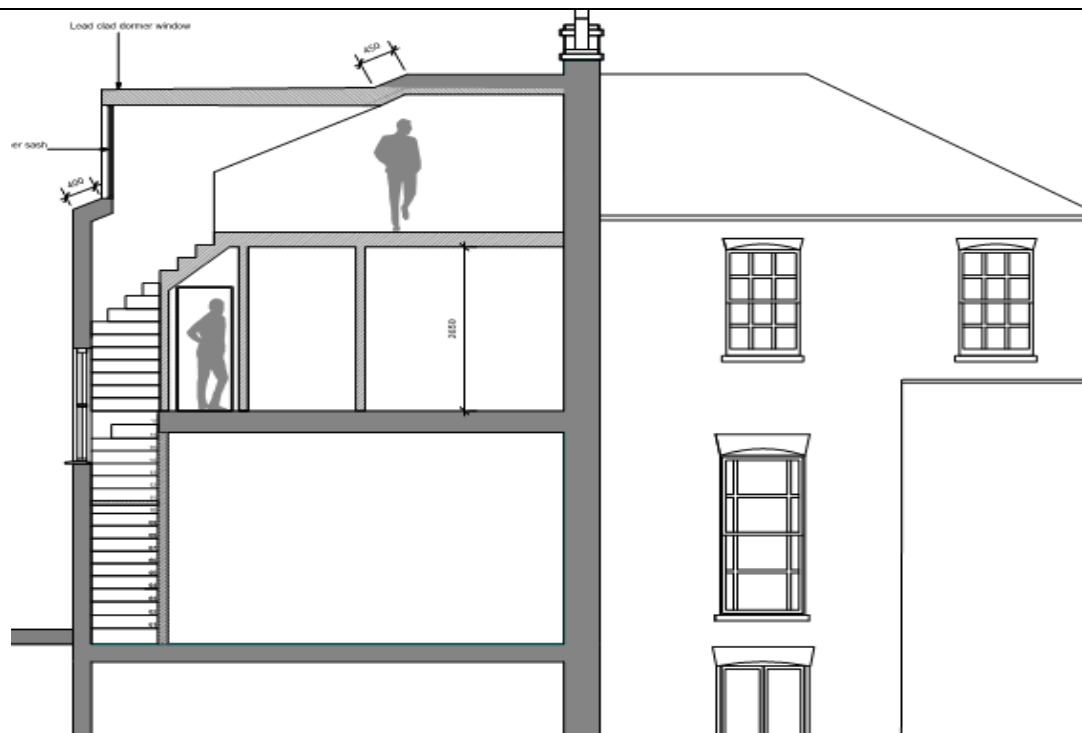


Image 3. Proposed section AA

- 2.9. In terms of the rear dormer, it is noted that the rear elevations of these semi-detached villas in this part of St Augustine's Road (Nos. Nos. 6-52) display a remarkable degree of uniformity at roof level with no roof extensions. The unimpaired roof slopes contribute to the conservation area. In this context, the proposed dormer roof extension would diminish this uniformity and would appear as an incongruous addition harming the conservation. The side dormer would be particularly visible in public views and in private views from the properties on Argyle Grove.
- 2.10. The proposed rear dormer window would not relate well to the existing fenestration / rear elevation. The width of the proposed dormer (1.9m) would be significantly greater than the width of the windows on the lower floors (approx. 1.0m). The proposed dormer roof extension would fail to be subordinate and the combination of the side dormer with the proposed rooflights would have a cumulative impact on the host building and wider conservation area. This would result in the dormer roof extension appearing dominant within the shallow pitch of this roof slope. The shallowness of the roof slope is not appropriate for a dormer extension. The lack of visibility of the rear would not necessarily mitigate the harm to semi-detached pair and the wider Camden Square Conservation Area.

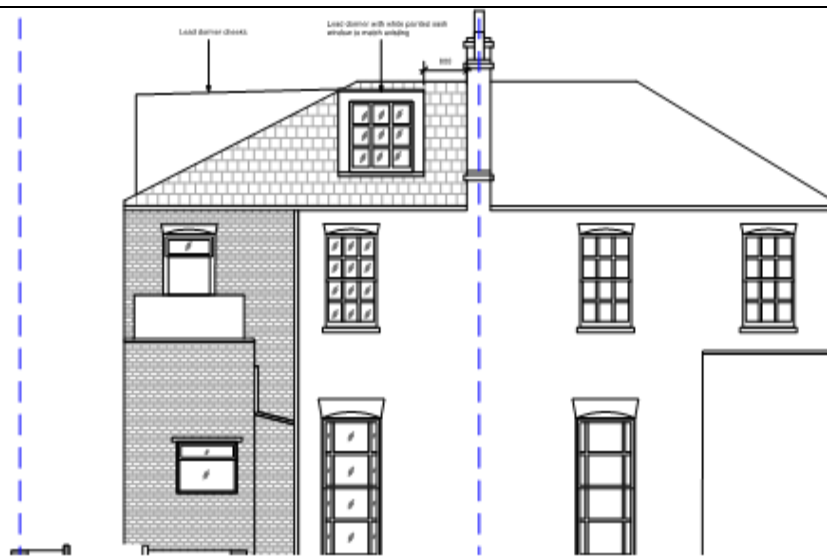


Image 4. Proposed Rear

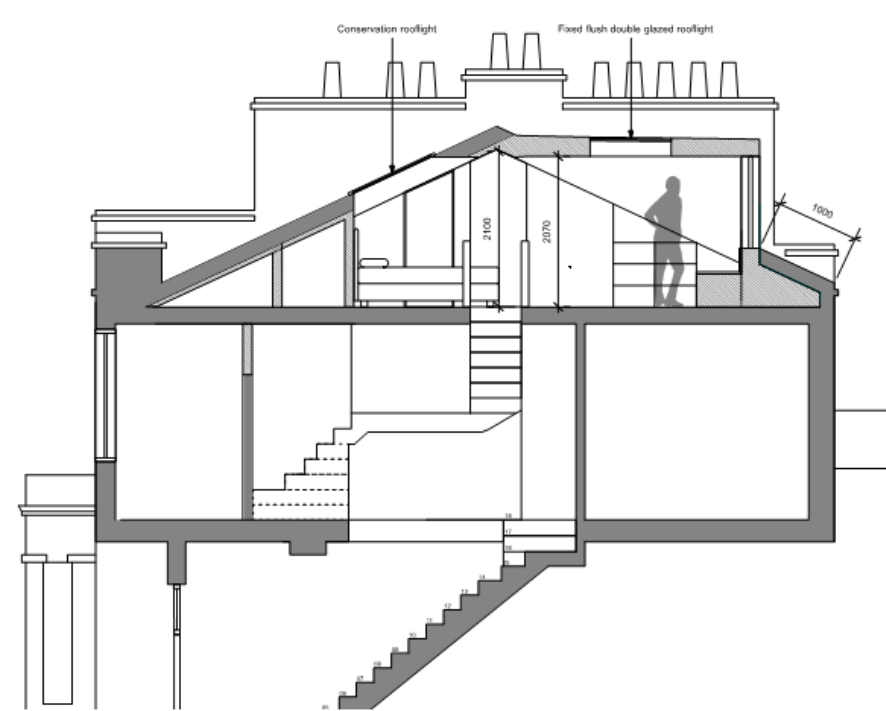


Image 5. Proposed Section BB

2.11 In addition, the internal alterations would allow the ceiling height to be 2.05m which is below the minimum 2.7m as recommended within the Governments Nationally Described Space Standards. It would provide compromised accommodation at third floor with a contrived layout. Adequate floor to ceiling height helps to ensure residential quality in terms of daylight penetration, ventilation and cooling, and sense of space. In this context, the proposed dormer extension would harm the appearance of the rear elevation and the skyline with questionable benefits in terms of the accommodation created. It is also noted that

2.12. Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area when considering applications relating to land or buildings within that Area.

- 2.13. The effect of this section of the 1990 Act is that there is a statutory presumption in favour of the preservation of the character and appearance of Conservation Areas. Considerable importance and weight should be attached to their preservation. A proposal which would cause harm should only be permitted where there are strong countervailing planning considerations which are sufficiently powerful to outweigh the presumption. The NPPF provides guidance on the weight that should be accorded to such harm and in what circumstances such harm might be justified (paras 193-202). Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.
- 2.14. The harm to the conservation area is considered to be less than substantial and there are no public benefit from this extension to provide additional residential accommodation with a substandard floor to ceiling height.
- 2.15. The submission includes details of dormer window which have been allowed at appeal on St. Augustine's Road (Nos. 12). The dormer permitted at this property was smaller than the proposed dormer window. As Figures 7 and 8 shows it was approved to slope down from the ridge but in reality it appears flush with the ridge as is dominant and incongruous. It is noted that a significant determinative factor for the side dormer allowed at appeal at 12 St Augustine's Road (2016/4152/P), was its fleeting visibility when viewed from the street due to the front parapet at eaves level. What is being proposed here would be significantly larger that would have a cumulative impact on the host building and wider conservation area.



Image 7. Front elevation of dormer approved 12 St Augustine's Road



Image 7. View of dormer at no.12 St Augustine's Road as built

2.16. The proposed rooflights to front and side roofslopes are considered acceptable.

2.17. Amenity

2.18. There would be no harm to neighbouring amenity in terms of overlooking or loss of daylight / sunlight from the proposed rear dormer window or the rooflights in the side roofslope.

2.19. Conclusion

Refuse planning permission