

C&A CONSTRUCT

17B Nassington Road, London, NW3 2TX

Design and Access Notification



Date: July 2021

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1. CONTEXT AND VIEW

1a) Site, History and Context

The upper floor apartment of the property - Apartment B - belongs to the applicant. The flatness on the lower ground floor has a rear extension, built with a rather ugly bitumen felt roof when viewed from the application feature recently.

The design proposal is to add a terrace above the back extension - flat A - to the ground floor apartment, which was granted planning permission in 2016 (Application No: 2016/1295/P)

The applicant's property is located on the south side of Nassington Road. Nassington Road runs west from Parliament Hill road to the east and becomes a road for pedestrians where it meets Hampstead Heath in the east. The immediate area can be defined mainly as housing.

1b) Heritage Statement

The buildings in the immediate neighbourhood at 17 Nassington Road are beautiful examples of red brick Victorian townhouses with meritorious examples of cornicing and fenestration detailing. The red brick façade of the property is in good condition.

Local Listed and locally listed buildings.

17a Nassington Road - the subject of this app - is not listed.

There are no listed buildings along Nassington Road, but most of the buildings have been identified as positive contributors to the conservation area.

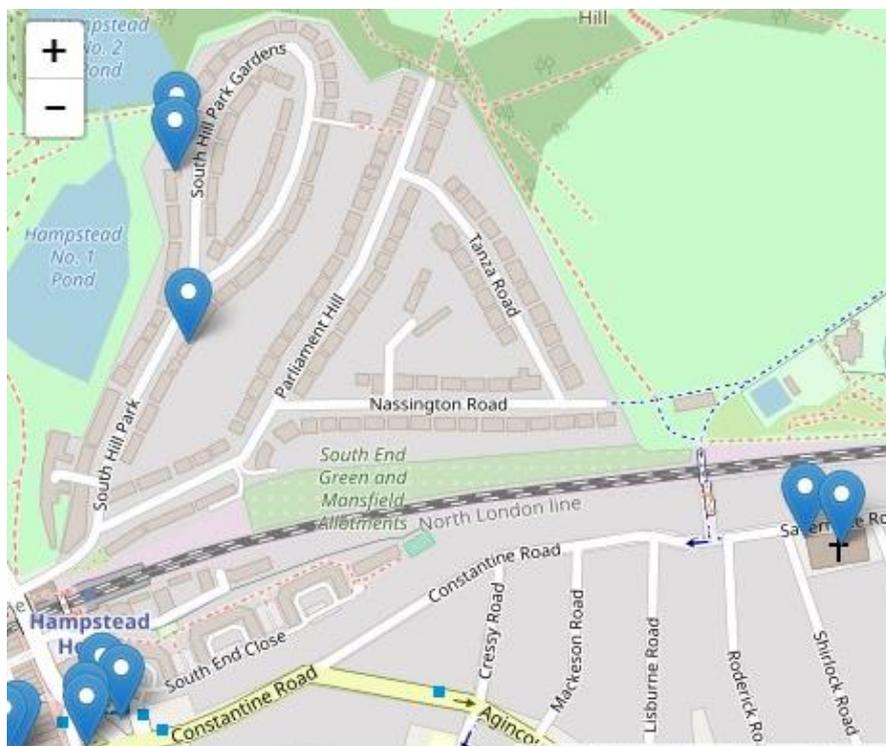
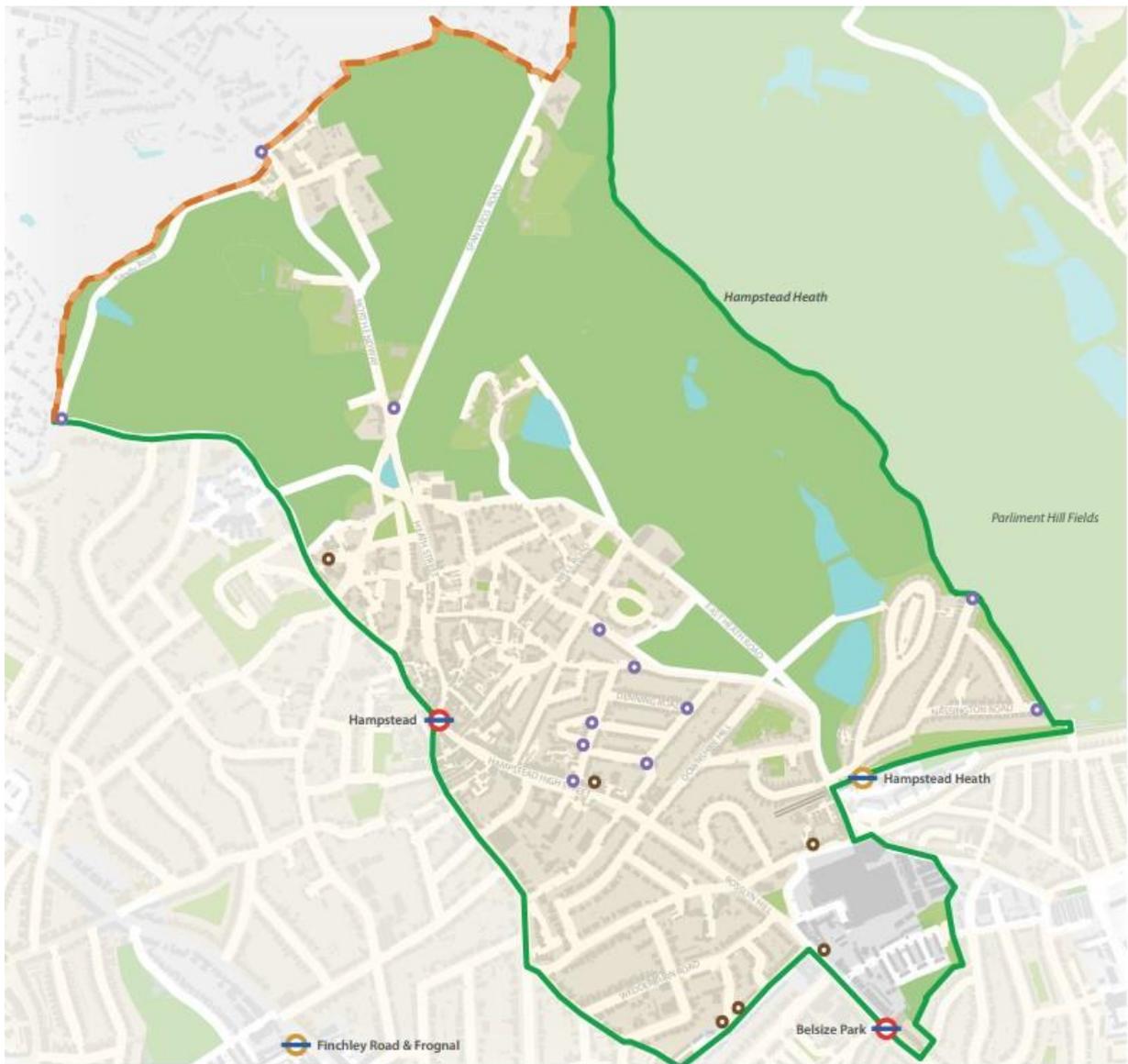


Figure 1: Nearby listed buildings to Nassington Road



Photograph	Asset Details	Description
<p>Ref204:</p>  <p>(Click here to return to the ward map)</p>	<p>Address: Boundary Marker - Parliament Hill, South part of Parliament Hill at Nassington Road entrance.</p> <p>Significance: Historical and Townscape Significance</p> <p>Asset Type: Street Feature or other Structures</p> <p>Ward: Hampstead Town</p>	<p>This parish boundary marker is a cast metal marker in shape of a cylinder with domed top cut vertically in half, the flat rear mounted against wall. Marked London County Council Boundary. Even though it is marked LCC property boundary it follows the line of the Hampstead and St Pancras border. This marker is one of a network of parish boundary markers that once existed across Camden and beyond, marking the boundaries of civil parishes which were the administrative precursors to the current London borough of Camden.</p> <p>Civil Parishes are an important part of our social history as they were the administrative bodies with responsibility for carrying out a wide range of civil functions. The functions were presided over by the vicar or rector, and his churchwardens and other officers as required by law, such as constables, watchmen, lamp lighters, scavengers, surveyors of highways, inspectors of nuisances and so on. Eventually entire organizations were established to carry out these duties, latterly including supplying water, gas and electricity (both Hampstead and St Pancras generated their own which was sold to consumers within their parishes). All these developments made it even more important to know where the boundaries were.</p> <p>The boundary markers themselves add interest to the townscape and the structures upon which they are fixed; they give an understanding of the origins of the present borough and they are an intimate and conspicuous part of its history. Parish boundary marks indicate boundaries often of huge antiquity, hundreds of years old (often even older) and given the extent of the network of markers that once existed the relatively few remaining markers are also significant for their rarity.</p>

Figure 2: Nearby locally listed buildings/street furniture to Nassington Road

As indicated in Figure 2 on the previous page, there is one item of street furniture on Nassington Road that is locally listed, but this is at the end of the road, is very small and has no bearing on the development site.

Historical Context

Nassington Road, 19. The character of the street is defined by the relatively steep slope and incremental steps of the houses, together with a series of Victorian Parliament Laws regulating the width of the street, the height of the buildings and the density and design of development in the area.

17 Nassington Road is not listed, but is located within the South Hill Park Reserve and has been designated as a positive addition to the conservation area. The building is a semi-detached Victorian house with 4 floors built of red brick and divided into apartments.

The 17B upper ground floor is flat and converted into flat accommodation, accessed through the building's original front door. The front height of the building has a series of steps leading to the front door.

It features a backyard about 80 feet from the house.

1c) Design Philosophy and Local Precedents

There are a number of examples of local developments expanding properties along Nassington Road and previous planning approvals that are very directly related to this practice. After giving a brief summary of the building works that are clearly visible from the rear windows of the application feature, I will focus on three issues that are particularly highly relevant: Application 2020/4793/P: [9 Nassington Road](#) and especially Application 2016/1295/P: [17A Nassington Road](#). Also important is the terrace 19 Nassington Road, seen in figure 2 on the page below.

Visible precedents from the back windows of 17B Nassington Road.

- 11 Nassington Road has a relatively historic 1/1.2m metal balcony with two doors in the south elevation. (see Figure 1 below).
- 9 Nassington Road can be seen in Figure 1 below, which will be explained in more detail in the section below.

(See photographs on following pages)



Figure 1: View from the roof of the rear extension at 17 Nassington Road facing west.



Figure 2- View from the roof of the rear extension at 17 Nassington Road, looking east, shows an existing roof terrace at number 19 - about 2650mm deep -with a 1500mm cage scan.

The terrace and sweep of Nassington Road 19, seen in figure 2 above, is an excellent example of an immediate local design precedent with a more sustainable and biodiversity approach to plant species specification and urban greening to be used as an additional degree of visual scanning that can be partially replicated at number 17 but is more suitable for neighboring features and also more environmentally beneficial.

Application no. 2020/4793/P - 9 Nassington Road is a relatively large-scale domestic project and is a very modern extension with very pronounced gray metal cladding at the top ground level and a brick extension downstairs. Looking west through the windows, it is very visible from the property and there is no immediate evidence of the privacy scanning methodology used.

The owners of the apartment recently bought the property and want access to an external activity area behind their property, footprint of the ground floor extension completed in 2016. In direct relation to this previous application at ground floor level (Application number 2016/1295/P - [17A Nassington Road](#)), there seems to be a proposal to build a floor-floored terrace in it - as shown in figure 3 on the following page.

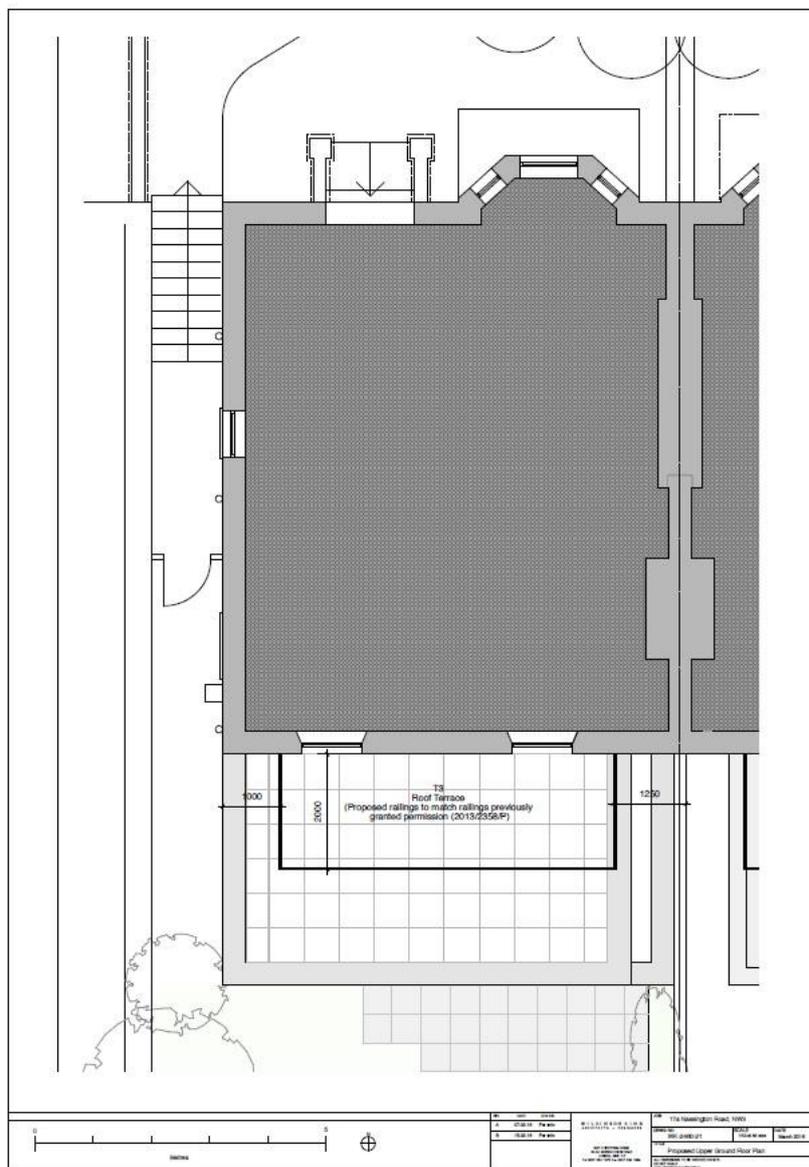


Figure 3: The upper ground floor plan of the application 2016/1295/P shows the approval of a roof terrace for the B Plain of 17 Nassington Road.

The application proposal aims to get this permit again, but for a slightly narrower terrace. This narrower terrace, railings and privacy 'green screens' are positioned 325 mm away from the edge of the structural openings for the proposed wooden double doors, so it will provide a more balanced look directly from the back of the property. These wooden door doors will be double or triple glazed wooden units. The terrace will be about 600mm deeper than the previously confirmed example in Figure 3, which will be aligned with the southern railings of the neighbouring terrace at 19 Nassington Road.

9 Nassington Road, briefly described above and seen in figure 4 below, is a particularly relevant precedent for this application, since it represents a precedent that is very much visible from neighboring features, it has greatly expanded the existing structural openings and proposes a roof terrace that is highly visible from neighboring features due to the topography of the site. This creates a very good case for the sensitive and environmentally friendly proposal of this proposal.

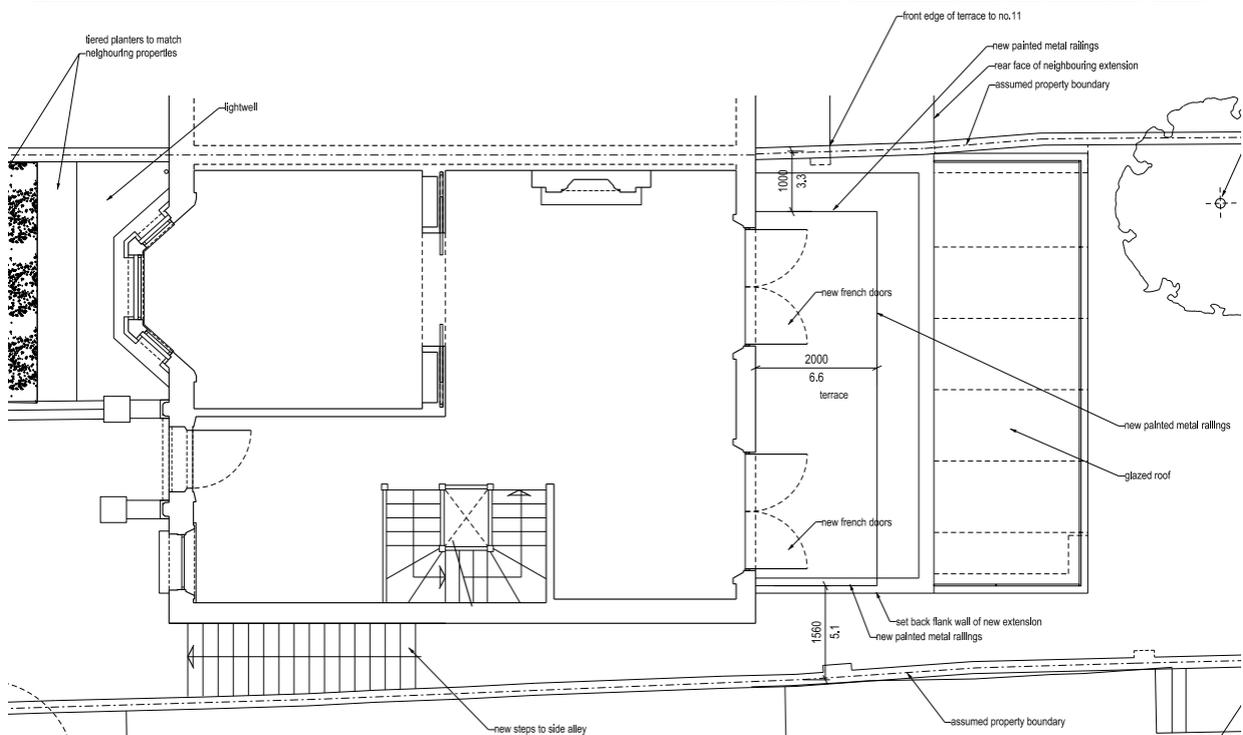


Figure 4: Recently completed extension and terrace at 9 Nassington Road – Photo and Top GF plan (NTS)

1d) Material Pallet, specification and sustainability.

This proposed terrace will be constructed with responsible welded and FSC certified wooden flooring and maximum care will be taken to ensure that the waterproofing is absolutely defective, and any batch (roof) wall discussion has been initiated before the design is finalized. The aforementioned privacy screen will essentially be a wooden structure, with a cage behind a 1100AFL railing for safety, it will be planted with evergreen climbers to increase the privacy screening provided by the cages, as well as biodiversity to local areas and benefits to the amenities of neighboring residents.

2 USAGE/MANAGEMENT.

2a Use

The lower ground floor apartment of the ground floor extension will be provided with an existing rooftop area and outdoor amenities for residents number 17B.



Figure 5: Proposed outline project renderings

The balcony will have “Green Screen” Privacy Screening with evergreen climbers on a trellis that is independent of the balustrade .

2b Extent of Terrace/external amenity – Options A and B

The client was rightly concerned about the reaction of their neighbours in flat A on the lower ground floor - who have been very objectionable, even though they absolutely understood that their approved rear extension included within it a terrace for flat A in the upper ground floor. Bearing this in mind, it was agreed with Angela Ryan (Principal Planning Officer – Camden Council) that the proposed development application could be for two options, in order to make this very

reasonable application more achievable without entering into legal disputes. Option A would be for a terrace to align with the neighbouring example at 19 Nassington Road - (as per the approved the flat roof space of the existing rear extension 2016/1295/P – this would extend 2615mm from the rear wall of the property. Drawings for option A are included within the application pack – numbers P.76 NAS_PL 05, P.76 NAS_PL 06 and P.76 NAS_PL 07. Option B would offer a fallback measure of allowing the client some access to southerly external amenity space by proposing a simple metal balcony stretching across the southern elevation of the property – drawings for this option are seen in NAS_PL 08, P.76 NAS_PL 09 and P.76 NAS_PL 10.

The structural openings for the existing windows may need to be very slightly enlarged in order to replace the UPVC windows with (high thermal performance) french doorsets.

3 ACCESS

3a) Site Location

17 B Nassington Road NW3 2TX



Figure 6: Aerial photograph of site

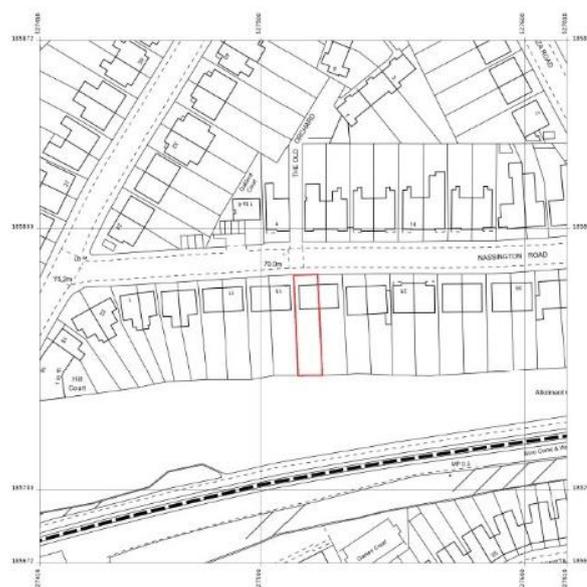


Figure 7:

The application site is a four-storey terraced dwelling situated on Nassington Road. This Victorian semi-detached house in Hampstead is located near Hampstead Heath, and the property is housed in a series of terraced residences.

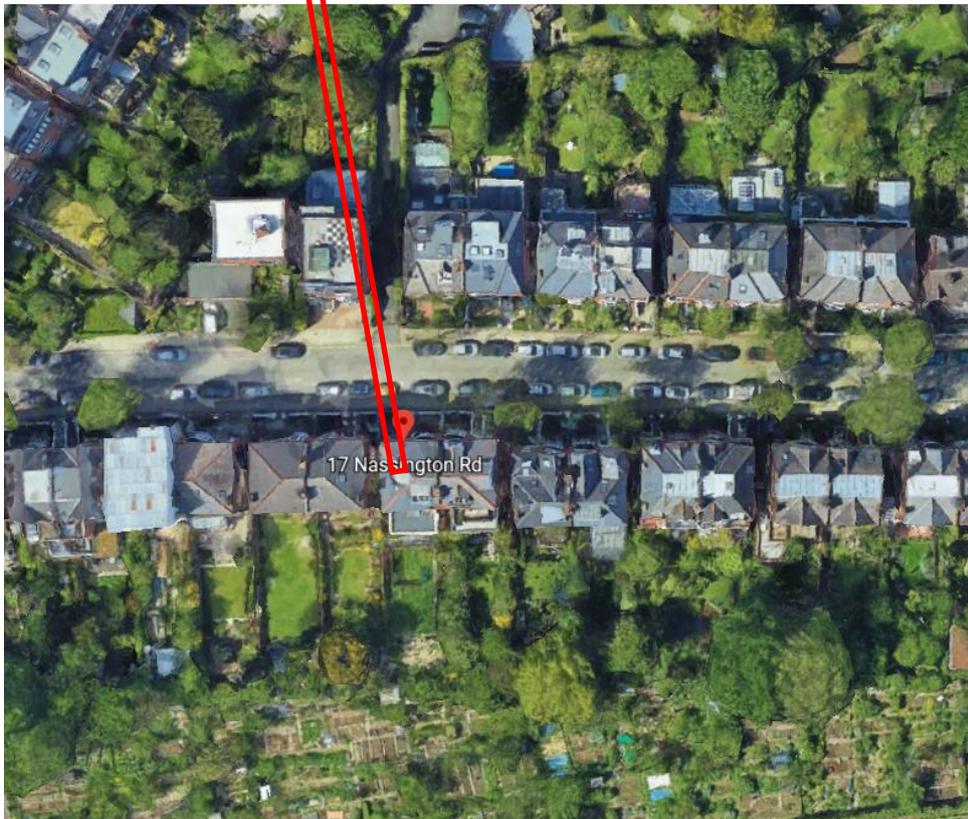


Figure 8: Aerial view showing no.17 with nos.15 to left and 19 to right

3b) Public Transport Connections

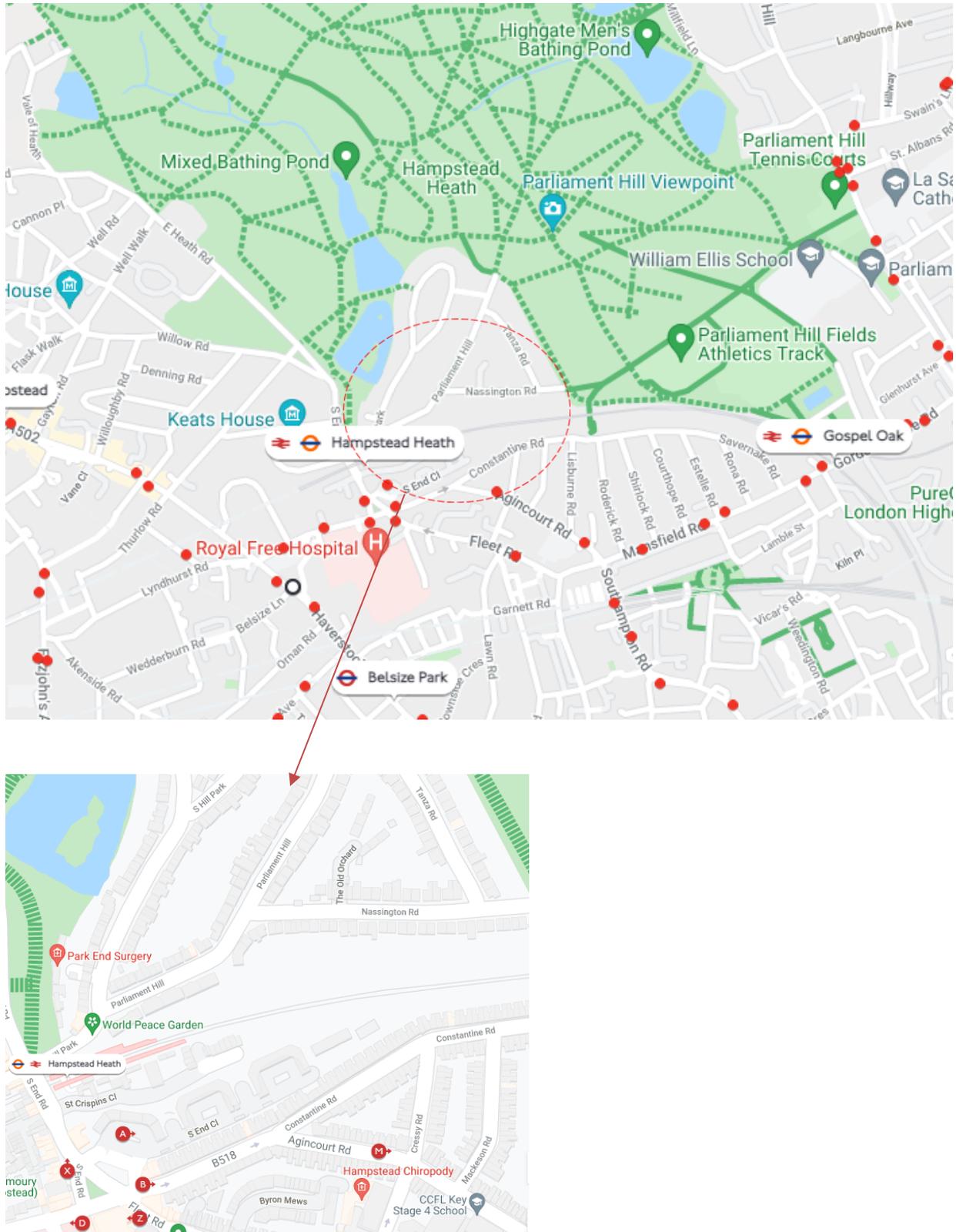


Figure 9: Transport connections to the development site

5)Site Photos

