



*Image: View from Tudor Close to North West at ground level adjacent to 32 Glenloch Road*

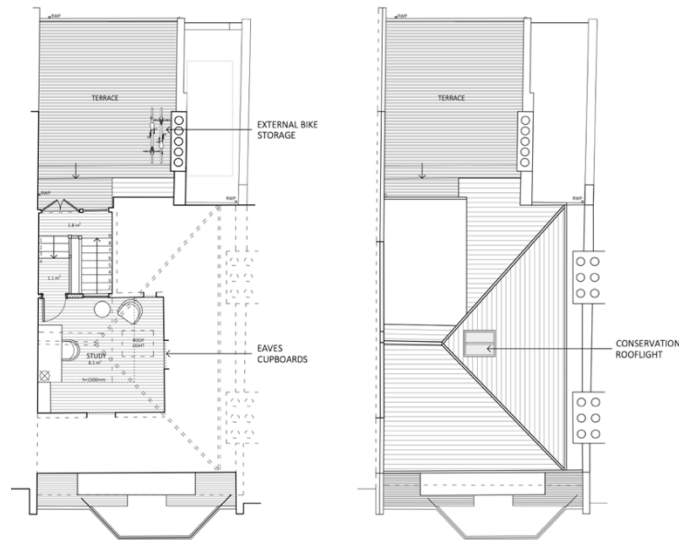
### 13. RELEVANT PLANNING PRECEDENTS

- 2019/0846/P (Installation of two conservation style roof lights to the front upper mansard roof slope and relocation of one roof light on the upper mansard) – Granted permission 27<sup>th</sup> March 2019.

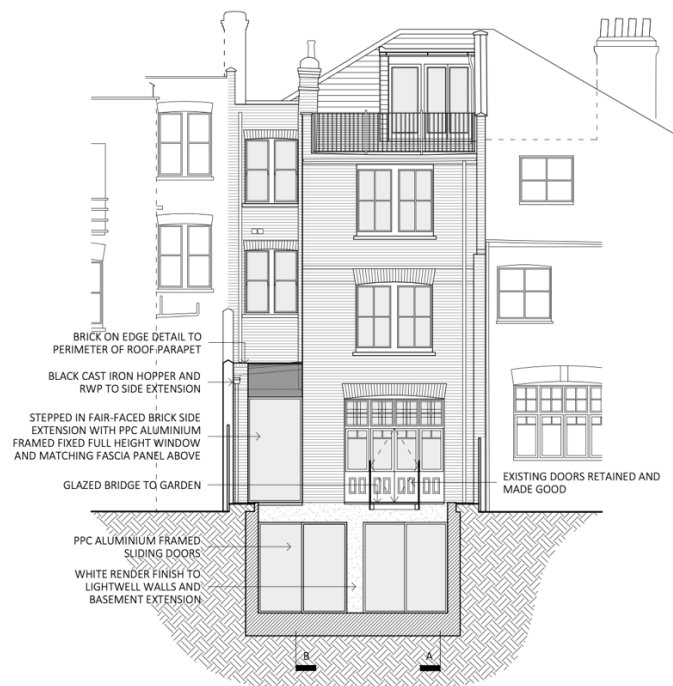


*Image Credit: Opis Design – (Planning Ref: 2019/0846/P)*

- 2018/4200/P (Enlargement of existing basement including creation of rear lightwell and enlargement of front lightwell, erection of replacement rear infill extension and other external alterations in association with conversion of dwelling house into 3 self contained residential units) – Granted permission 28<sup>th</sup> May 2020.



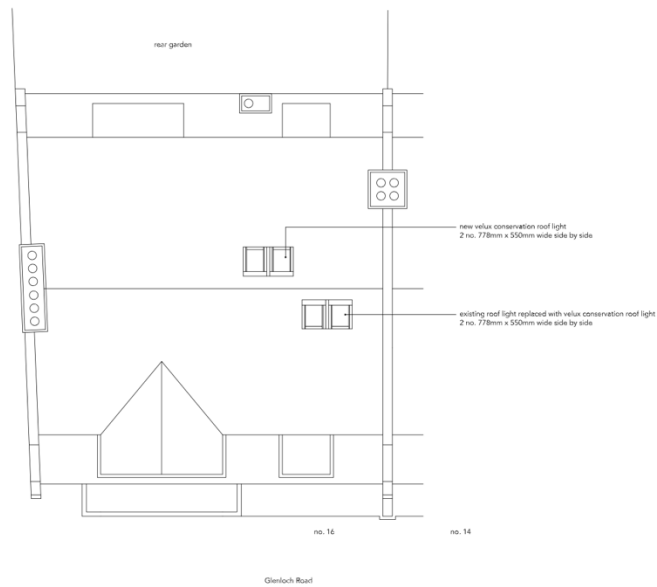
*Image Credit: Nash Baker Architects – (Planning Ref: 2018/4200/P)*



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Note: This precedent is very important as the existing dwelling had a roof dormer with external doors to provide access to the roof terrace. Our design is aiming to achieve the same principle.

- 2014/3560/P (Installation of 2x rooflights to front and rear roof slope) – Granted permission 11<sup>th</sup> August 2014

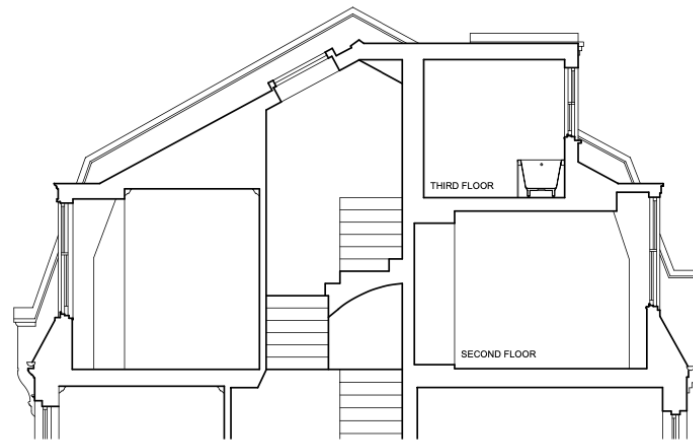


*Image Credit: Stephen Setford Architects – (Planning Ref: 2014/3560/P)*

- 2011/5797/P (Erection of a dormer extension on rear upper roof slope in connection with existing residential dwelling) – Granted permission 5<sup>th</sup> April 2012.



*Image Credit: Pedder & Scampton Architects – (Planning Ref: 2011/5797/P)*



*Image Credit: Pedder & Scampton Architects – (Planning Ref: 2011/5797/P)*

Note: We have considered this application very carefully in the context of scale / mass / height in the Belsize Park Conservation Area. We note that this dormer extension recently acquired planning permission. Our proposal is much smaller in relation to the existing roof form in terms of its scale / mass / height.

#### 14. SURROUNDING EXAMPLES

This section of the Design & Access Statement illustrates several relevant examples to support our application submission. In our professional opinion, there are many built examples to support a rear dormer extension to an existing property in the Belsize Conservation Area. There are also several examples of doors within dormers in the roof as well as windows.



*Image: View from Budgens Carpark*





*Image: 2 Glenloch Road (Dormer on upper roof slope)*



*Image: 26 Glenloch Road (Dormer on upper roof slope)*