



32 Glenloch Road, London, NW3 4DN

**Design & Access Statement**

Proposed Rear Dormer Extension &

Front Elevation Roof Lights in a Conservation Area

July 2021 (Planning Issue)

## 1. ABOUT MARKTX

MARKTX is an Essex based architectural practice which focuses on delivering high quality residential architecture throughout London & the South East.

We specialise in Precision Architecture expressing detail through innovative use of modern materials. Our sectors of expertise include residential developments for property developers through to new build high-end bespoke dwellings, basements and extensions for private clients.

MARKTX are highly skilled professionals who are reliable and pride themselves in practicing architecture using R.I.B.A best practice techniques. Our ambition is to be a well established brand in London & the South East recognised for our bespoke service using clear communication and our honest approach to a project budget.

We are always actively seeking new clients with ambition who champion high quality contemporary design with an interest in sustainability.

## 2. INTRODUCTION

MARKTX have been instructed by our client Mr Woulfe to prepare a Design & Access Statement to support the proposed development at 32 Glenloch Road, London.

The proposal includes the internal refurbishment of the existing second floor apartment as well as a new rear roof dormer extension to provide access to the existing rear roof terrace. The proposal also includes two new conservation roof lights to the front elevation. This statement has therefore been prepared to support the approach of the design submitted.

The purpose of this document is to illustrate the key factors that have influenced the external design of the proposal and to demonstrate how it aims to enhance and conserve / protect the character of the Belsize Park Conservation Area.

This document should be read in conjunction with the submitted planning drawings listed in section 16 of this document.

### 3. SITE & CONTEXT

Glenloch Road is located approximately 0.1 miles west from Belsize Park Tube Station. The properties along Glenloch Road are generally two storey brick terrace dwellings with a basement and rooms in the roof with a slate gambrel roof profile. Number 32 Glenloch Road has an Edwardian style with brick banking, cornice detailing, a slate roof and white painted timber windows. The property was constructed using red brick to the front elevation and a London Stock brick to the rear elevation. At roof level, the party walls are expressed as upstands with shared chimneys located at the ridge.

Glenloch Road is surrounded by similar properties in terms of their architecture and finish. There are other good examples of terraced properties of similar scale to that on Glenloch Road along Glenilla Road to the South, Glenmore Road to the East and Belsize Avenue to the West.

Number 32 is located centrally along Glenloch Road on the northern side of the street surrounded by Tudor Close to both sides. Numbers 30 and 34 respectively adjoin both sides of the property and both share a party wall.

Number 32 is a mid terrace property including a basement floor, a ground floor, a first floor and a second floor. The property has four distinct levels with the second floor apartment including an internal mezzanine level. The property currently consists of three self contained residential apartments and our client Mr Woulfe shares the freehold of the building with three equal partners.

The existing property benefits from an existing front elevation dormer on the lower mansard and a rear external roof terrace accessed through a roof window, which acquired planning permission in 2008.

### 4. PROPOSAL

Our approach throughout our collaborative design process with our client has been to enhance and conserve / protect the character of the Belsize Park Conservation Area. We have referenced local guidance and policy to inform our design throughout the entire design process.

The design includes three distinct elements as follows:

1. Minor internal layout alterations to the apartment.
2. Two conservation rooflights on the front elevation upper roof slope.
3. Rear roof dormer extension providing improved access to the rear terrace and additional access to a new room at mezzanine level.

Each of the three elements have been carefully considered and analysed to ensure high quality design that contributes positively to Glenloch Road and enhances the character of the wider Belsize Conservation Area.

## 5. USE CLASS

The existing use of the property is residential C3, which will be retained as part of this application.

The property will be developed from a one bedroom apartment back to a two bedroom apartment. It is assumed that the apartment was previously a two bedroom unit before it was developed into a one bedroom layout when the terrace was erected in 2008. Our proposal is therefore to reinstate the original occupancy of the apartment.

## 6. BELSIZE CONSERVATION AREA

The Belsize Conservation Area is located between Chalk Farm at the bottom of Haverstock Hill and Hampstead at the top which extends westwards towards Swiss Cottage. It forms a triangle of land bordered by Haverstock Hill, Adelaide Road and Fitzjohn's Avenue. The character and appearance of the area is largely derived from mid 19<sup>th</sup> century Italianate villas.

The Belsize Conservation Area was established in 1973 and extended in 1984, 1985, 1988, 1991, 1994 and 2002 respectively. It is noted that Glenloch Road was included in the Conservation area from 1988.

Glenloch Road is located West of Haverstock Hill and is located in Sub Area 4 of the Belsize Conservation Area. The property is not listed on Historic England's data base.

The Belsize Conservation Area Statement states that the Glenloch Road is a distinct area of Edwardian housing developed by the Glenloch Insurance Company. It is noted that the properties along Glenloch Road are modest family housing of a much smaller scale than other properties located within the Conservation Area.

The properties all have a very similar design but each property has subtle variations in their architecture. All the properties have three light two storey bay window structures to the front elevation and dormers on the front elevation. In some instances these provide access to a roof terrace facing the street.

It is noted that number 32 is part of a collection of buildings that make a positive contribution to the Conservation Area. Our proposal therefore sets out to enhance this collection of buildings.

The key characteristics of Glenloch Road identified in the Conservation Area Statement are the scale of the properties, the size of the building plots, the appearance of the front elevations, which have a strong rhythm and consistency and the consistent use of lava bricks to the front boundary walls. There is however no mention of the characteristics of the rear of the property, which the main aspects of this application relate directly to. It is noted that the rear of each property along the terrace has subtle variations resulting in inconsistencies between each dwellings architecture.

The Conservation Area Statement highlights that the following forms of development do not preserve or enhance the character and appearance of the Conservation Area:

- Inappropriate Materials
- Inappropriate scale / bulk / height / massing
- Inappropriate relationship the street and neighbouring properties
- Impact on privacy of neighbouring properties
- Alterations and extensions to existing buildings
- Large, inappropriately proportioned roof dormers
- Inappropriately scaled and detailed modern doors

MARKTX have carefully considered our design in collaboration with Mr Woulfe to ensure the following:

1. That the sensitive materials that are proposed are in keeping with the existing context. Please refer to the drawings noting material selections to match existing.
2. The dormer scale / bulk / height / massing sits contextually and sensitively with the existing roof form. This was essential to preserve the character of the conservation area.
3. The design does not have an inappropriate relationship with the street or surrounding neighbours. In fact the proposal is completely screened at ground level by existing trees and the existing roof terrace balustrade. Please see photos in section 12 of this document.
4. We have ensured that there is no impact on the privacy of the neighbouring properties by setting the dormer back from the party wall line. The property also already benefits from an existing roof terrace which will remain as existing.
5. We have developed the design to be the smallest it possibly can be to ensure it does not appear large or as an inappropriate proportioned roof dormer. Our design is very contextual and respects the existing roof form. It is therefore sensitively proportioned.
6. We have developed a design makes use of the existing materials and context to ensure it does not appear too modern or inappropriate in design against the existing property.
7. The proposal is not prominent at street level and is largely completely invisible. This is a key consideration in our proposal which was to make the height of the dormer as small as possible but also maintaining Building Regulation head room requirements.

## 7. RELEVANT PLANNING POLICY

There are several planning polices that are directly relevant to this application such as:

DP24 – Securing High Quality Design

DP25 – Conserving Camden's Heritage

DP26 – Managing the impact of development on occupants and neighbours

It is also noted in the Belsize Conservation Area Statement that “the council will seek to ensure that development in conservation areas preserves or enhances their special character or appearance, and is of high quality in terms of design, materials and execution.” Our design sets out to maintain these three policies alongside the Conservation Area Statement.

Item BE26 of the Belsize Conservation Area Statement notes that roof extensions and alterations which change the shape and form of the roof, can have a harmful impact on the Conservation Area and are unlikely to be acceptable where:

- It would be detrimental to the form and character of the existing building
- The property forms part of a group or terrace which remains largely, but not completely unimpaired
- The property forms part of a symmetrical composition, the balance of which would be upset
- The roof is prominent, particularly in long views

Whilst we acknowledge that the design alters the existing roof, it has been designed so that it is not detrimental to the character of the existing roof and is instead sympathetic. The design therefore respects the existing roof form and follows the same elevational design to ensure the proposal is in harmony with the existing. The design is therefore subordinate to the existing roof.

The property is also part of a group of buildings which have all had various roof interventions, some of which do not have planning consent. We have noted that this area and group of buildings has an established broken roof line and therefore our design is not breaking the rhythm of an existing roof. Please see photographs in section 14 of this document.

Number 32 is also part of a symmetrical composition which has already been broken by some roof alterations at number 30, which has established an existing unsymmetrical composition. We have not found any planning history for these alterations on Camden's planning portal.

## **8. CAMDEN DESIGN GUIDANCE (DORMER)**

Upon detailed review of Camden's Planning Guidance (July 2015 / Update March 2018), it is noted that "roof dormers should be sensitive changes, which maintain the overall structure of the roof form" and "proposals that achieve this will generally be considered acceptable".

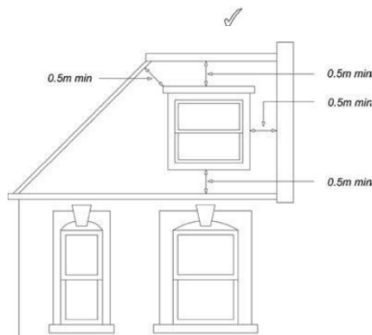
Upon critical appraisal of the proposed dormer extension, we are of the opinion that the proposal is sensitive to the existing roof as it maintains the overall structure of the existing roof form. The design is very sympathetic to the existing roof.

The guidance also highlights the following, which are considerations for any application:

- "The pitch of the existing roof is sufficient to allow adequate habitable space without the creation of disproportionately large dormers or raising the roof ridge. Dormers should not be introduced to shallow pitched roofs."

We can confirm that the existing roof has adequate space for one habitable room and the proposal is proportionate and considerate to the existing roof form. The ridge has not been raised and the design is subordinate to the existing roof. The dormer is also not being introduced to a shallow pitched roof.

- “Dormers should not be introduced where they cut through the roof ridge or the sloped edge of a hipped roof. They should also be sufficiently below the ridge of the roof in order to avoid projecting into the roofline when viewed from a distance. Usually a 500mm gap is required between the dormer and the ridge or hip to maintain separation (see figure 4).”



*Figure 4 - Camden's Planning Guidance*

We have carefully considered this guidance when preparing our design and can confirm that the design complies with this guidance and exceeds the 500mm distance in some instances. The design is therefore policy compliant.

- Full length dormers, on both the front and rear of the property, will be discouraged to minimise the prominence of these structures.

We have considered this point carefully in our design proposal and can confirm that the dormer is as small as possible to ensure compliance with Camden's guidance as well as ensuring Building Regulation's head room compliance. The dormer is therefore not the full width of the existing roof. The design is therefore policy compliant.

- “Dormers should not be introduced where they interrupt an unbroken roofscape”

Please see section 14 for evidence illustrating that the roofscape has already been broken by numerous rear dormer extensions including one with an door access. Our design proposal is much smaller and more sensitive than the roof dormer illustrated with a door. It is therefore not breaking an existing roofscape. The design is therefore policy compliant.

- “In number, form, scale and pane size, the dormer and window should relate to the façade below and the surface area of the roof.”

Due to the distance of the set back of the roof from the rear terrace below (approximately six metres) and the surrounding mature trees, one cannot read the elevation as one. The dormer therefore does not align with windows below. Please see evidenced photos in section 12 of this document. From our detailed analysis, the new dormer extension will not be visible from ground level and therefore there is no visual impact on the character of the Conservation Area. It is worth noting the high quality of the design will however contribute positively to the Conservation Area. The design is therefore policy compliant.



- Roof dormers “should appear as separate small projections on the roof surface”.

We can confirm that our design intent is to comply with this exact statement. In our opinion the small roof extension is subordinate to the main roof and is not detrimental to the character of the Conservation Area. The design is therefore policy compliant.

- “It is important to ensure the dormer sides (cheeks) are no wider than the structure requires as this can give an overly dominant appearance.’

We have considered this item very carefully when preparing our design. The proposal is as small as possible to ensure the minimum compliance with the Building Regulations. We have used our best endeavours to ensure the roof structure is as small as possible to minimise the size of the dormer cheeks. The design is therefore policy compliant.

- “Materials should complement the main building and the wider townscape and the use of traditional materials such as timber, lead and hanging tiles are preferred.”

When we discussed the material selection with Mr Woulfe, we raised this point to ensure the design was sympathetic and contributed positively to the character of the Conservation Area. As such we have selected traditional materials as indicated on the drawings rather than modern and contemporary materials, which would detract from the enhancement of the Conservation Area. This approach is contrary to our clients preference but we have studied the guidance provided by Camden very carefully before making our decision to submit a design with traditional materials. The design is therefore policy compliant.

Upon detailed review of the preferred local guidance listed above, we have illustrated and justified our design to ensure the submitted design is sympathetic and compliant with local policy.

## 9. CAMDEN DESIGN GUIDANCE (ROOFLIGHTS)

Upon detailed review of Camden’s Planning Guidance (July 2015 / Update March 2018), it is noted that “rooflights can have an adverse impact upon the character and appearance of buildings and streetscapes. This occurs where they are raised above the roof slope rather than being flush with the roof profile, or where they are an incompatible introduction into an otherwise uncluttered roofscape, or where they conflict with other architectural roof elements.” It also states that “rooflights should be proportioned to be significantly subordinate both in size and number”

We have considered this item in a lot of detail and have also reviewed the existing streetscape to inform our proposal. The proposed roof lights will have a conservation specification with an integral central glazing bar to ensure the small intervention contributes positively to the character of the Conservation Area.

The roof lights will also have a recessed detail to adjoin the existing roof to ensure the roof lights do not appear raised above the roof slope. We have also carefully positioned each roof light to ensure the roof does not appear cluttered or clash with other architectural features on the roof. In

our opinion, the design, size and position of the roof lights are compliant with local policy and are subordinate to the existing roof. The design is therefore policy compliant.

The is also supporting precedent where numerous properties on Glenloch Road have had roof light interventions approved by Camden Council. One example includes application 2019/0846/P at number 35D Glenloch Road and another example includes application 2014/3560/P at number 16 Glenloch Road.

## 10. DETAIL DESIGN

The detail design of any new structure in a Conservation Area is crucial to ensure the proposal contributes positively to the character of the area.

We have conducted a study of the local area in great detail to understand the unique features that are characteristic to this area of London. We have therefore prepared and submitted a design which will replicate other similar dormer features in close proximity to 32 Glenloch Road.

Similar features will include white painted joinery for all glazing, decorative cornice detailing at the eaves and areas glazing with glazing bars. We are also proposing to finish the dormer cheeks in hanging slate to ensure the cheeks are an extension of the roof. These key design principles will ensure the dormer is not detrimental to the character of the Conservation Area.

The two example images below illustrate the detail design and character of the proposed dormer extension. It is worth noting that Mr Woulfe would have preferred a much more modern dormer geometry and material finish but this would not be in keeping with the character of the Conservation Area. We have therefore proposed a traditional design to sit contextually with the existing building.

This attention to detail with every aspect of the design will enhance and protect the character of the Belsize Park Conservation Area.



*Image: Illustrating aspiration of dormer detail design*



*Image: Illustrating aspiration of dormer detail design*

## 11. ACCESS & PARKING

The existing access and parking arrangements will remain as existing as part of this application. The property however currently benefits from the option to apply for a parking permit if desirable and there is also ample storage facilities in the existing dwelling for two cycle parking spaces.

## 12. VISIBILITY

MARKTX and Mr Woulfe have conducted a number of different ground studies from the rear of the property to determine the visibility from ground level of the existing roof terrace and the proposed dormer extension.

We can confirm that the existing terrace is very difficult to see from all rear angles as it is largely screened by several mature trees. We have therefore concluded that due to the obscure finish of the existing roof balustrade that the proposed roof dormer extension will not be visible at ground level. This point is very important as it illustrates that it will not be possible for the general public to view the roof dormer extension and this in itself will protect the character of the Conservation Area. We have included some photographs below illustrating this very important point.



*Image: View from Tudor Close to North West of 32 Glenloch Road*