

HERITAGE STATEMENT

21 MORNINGTON CRESCENT

KAS Architects

May 2021

Contents

1 Introduction 4

- 1.1 Introduction
- 1.2 Scope of Proposal

2 Site Context 6-13

- 2.1 Existing Building Analysis
- 2.2 Grade II Listing
- 2.3 Photos of Existing Building
- 2.4 Surrounding Context

3 Planning History 15-16

- 3.1 Planning History
- 3.2 Pre-1978 Planning Application
- 3.3 Post-1978 Planning Application

4 Historical Development 18-22

- 4.1 Camden Town Conservation Area
- 4.2 History of the Site Context
- 4.3 Development of the Site

5 Planning Policy 24

6 Heritage Impact Assessment 26-29

- 6.1 Proposal
- 6.2 Heritage Impact Assessment
- 6.3 Conclusion
- 6.4 Schedule of Precedents

1

Introduction

Introduction
Scope of Proposal

Introduction

1.1 Introduction

This document has been prepared on behalf of our client Xuelin Bates. This document is intended to support a planning and listed building application for 21 Mornington Crescent, which is Grade II listed building situated within the Camden Town Conservation area.

This Heritage Statement was produced using online and archived research, as well as site visits of the building and the surrounding context. The purpose of this statement is to define the significance of the listed building and its contribution to the conservation area in line with the National Planning Policy Framework. This statement will consider the historical and architectural context of the site, the neighbouring buildings and the proposed design itself.

The Heritage Statement can be read in conjunction with the proposed planning drawings and design & access statement as prepared by KAS Architects.

This statement will assess the significance of the building using principles set out in Historic England ‘Conservation Principles, Policies and Guidance’, as well as referring to the NPPF. This will then demonstrate that the special architectural and historic interest of the listed building and the character of the conservation area will be preserved. The statement will also demonstrate compliance of the proposal with national and local conservation policy.

1.2 Scope of Proposal

The proposed works consist of:

- Reconstruction and enlargement of previous outbuilding at basement level.
- Reconstruction and enlargement of previous outbuilding at ground floor level.
- Construction of a flight of stairs to reach garden level from basement level.
- Reconfiguration of size and shape of rear basement lightwell.
- Construction of a WC within the existing internal corridor of the ground floor with timber panelled door.



21 Mornington Crescent, September 1982. Source: Camden Planning Department.

2

Site Context

Existing Building Analysis

Grade II Listing

Photos of Existing Building

Surrounding Context

Site Context

2.1 Existing Building Analysis

The existing building was built c.1821-32 and forms part of a crescent which comprises three curved terrace groups. Originally the grouped crescent form was built around a communal garden, which was later demolished and replaced by the Art Deco Carreras building in 1926-28.

The terraced houses were originally surrounded by green fields, which had views across open country to the front and the rear. However, due to the construction of the railway line into Euston terminus, including the encroachment of new working class districts such as Kings Cross and Camden town, this led to a change in demographics during the Victorian era and the houses were increasingly being changed to multiple occupancy flats.





As stated in ‘Survey of London: Volume 24, the Parish of St Pancras Part 4: King’s Cross Neighbourhood’ (published in 1952, London):

“The crescent is one of the last groups of buildings to follow the designs which are characteristic of the earlier development in the neighbourhood already described in this volume. The houses are arranged in blocks of four storeys, flanking the streets radiating from the crescent, with intermediate houses of three storeys and attics lit by dormers in mansard roofs. Nos. 1 to 3, 11 to 14 (divided by Mornington Terrace), 23 to 26 (divided by Mornington Place), and Nos. 35 and 36 (the latter, at the south corner of Arlington Road, now rebuilt), are rendered in stucco throughout, with a bold cornice above the second floor, and architraves to the windows. The cornice continues through the intermediate blocks which have their upper storeys faced with brick. The ground floor of the whole crescent is of channelled stucco, with semi-circular heads to the doors and windows. The doors formerly had good fanlights and the windows glazing bars of interlacing Gothic design, but these have only survived in Nos. 16 and 21. Balconies of varying designs extend across the front of each house at first floor level. All the houses have basements and railed areas. At the angles of the streets the corners are rounded.”

As described in the book, the building is comprised of four floors including a basement level. The building forms part of a terrace group, with adjoining neighbours 20 and 22. The terrace group comprises the middle of the 3 terrace groups which form the Grade II listed buildings along Mornington Crescent.

The existing materials are a combination of stucco at basement and ground level, and brickwork above. This is a common material combination amongst this Georgian building typology in London. The proposed rear extension seeks use this material palette, and improve the rear elevation which has been altered from its original condition with the addition of a basement patio area and a bridge connection access from ground floor to rear garden.



-  Site Location
-  Grade II Listed Buildings
-  Positive Buildings
-  Camden Town Conservation Area Boundary

2.2 Grade II Listing

The listing description of the terrace 13-24 states:

“Terrace of 12 houses forming part of a crescent. c1821-32. Built by I Bryant. For the Southampton Estate. End of terrace houses, stucco with rusticated ground floors; others yellow stock brick with rusticated stucco ground floors. Stucco cornices. Symmetrical terrace with slightly projecting end bays (Nos 13 & 14 and 23 & 24). 4 storeys and basements. 2 windows each, No.13 with 3 blind window return. Round-arched ground floor openings; sashes of end houses in shallow recesses. Nos 13, 16, 20 & 21 with pointed and margin glazing. Most doorways with 3/4 Doric columns carrying cornice-heads; fanlights (Nos 19 & 23 patterned) and panelled doors. Nos 13 & 24, entrances on return. Recessed sashes; end houses architraved, others with gauged brick flat arches (some reddened). 1st floors with continuous cast-iron balconies. Main cornice at 3rd floor level (Nos 14 & 15 missing). Cornice and blocking course above 3rd floor (Nos 14 & 15, cornice missing). INTERIORS: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings with spearhead finials to areas. (Survey of London: Vol. XXIV, King’s Cross Neighbourhood (parish of St Pancras IV): London: -1952: 132).”

One of the key factors for listed buildings of this age and type is the external architectural composition and how it has played a role in the history and development of an area. The most significant features of the terrace is its front facade and how it contributes to the visual coherency of Mornington Crescent as well as the surrounding conservation area. The listing makes no reference to the interior of the terrace, with little to no reference of the rear elevation of the terraced buildings. The listing description primarily describes the frontal elevation, including the detailing of the elevation in terms of round-arched door and window openings, cast iron balconies and stucco detailing. Therefore the rear elevation is not emphasised in the listing description.

2.3 Photos of Existing Building



Front elevation of 21 Mornington Crescent.



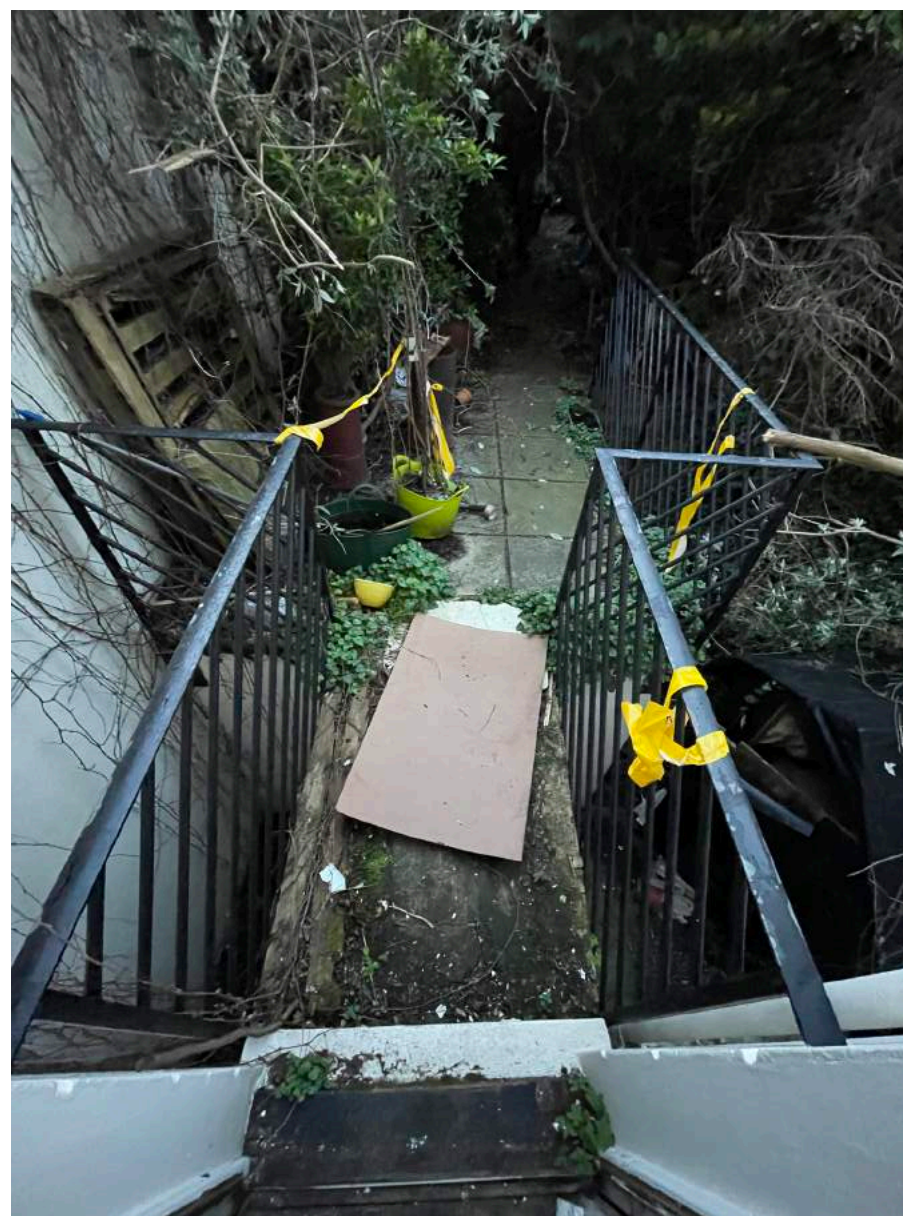
Rear elevation, showing bridge connection from ground level to garden which is not part of the original building and a more recent addition. The current levels of the basement and ground floor are inefficient and impractical, with the ground floor split between two levels as you enter the bridge connection, and the stairs leading from basement to garden being steep and non-compliant with Building Regulations.



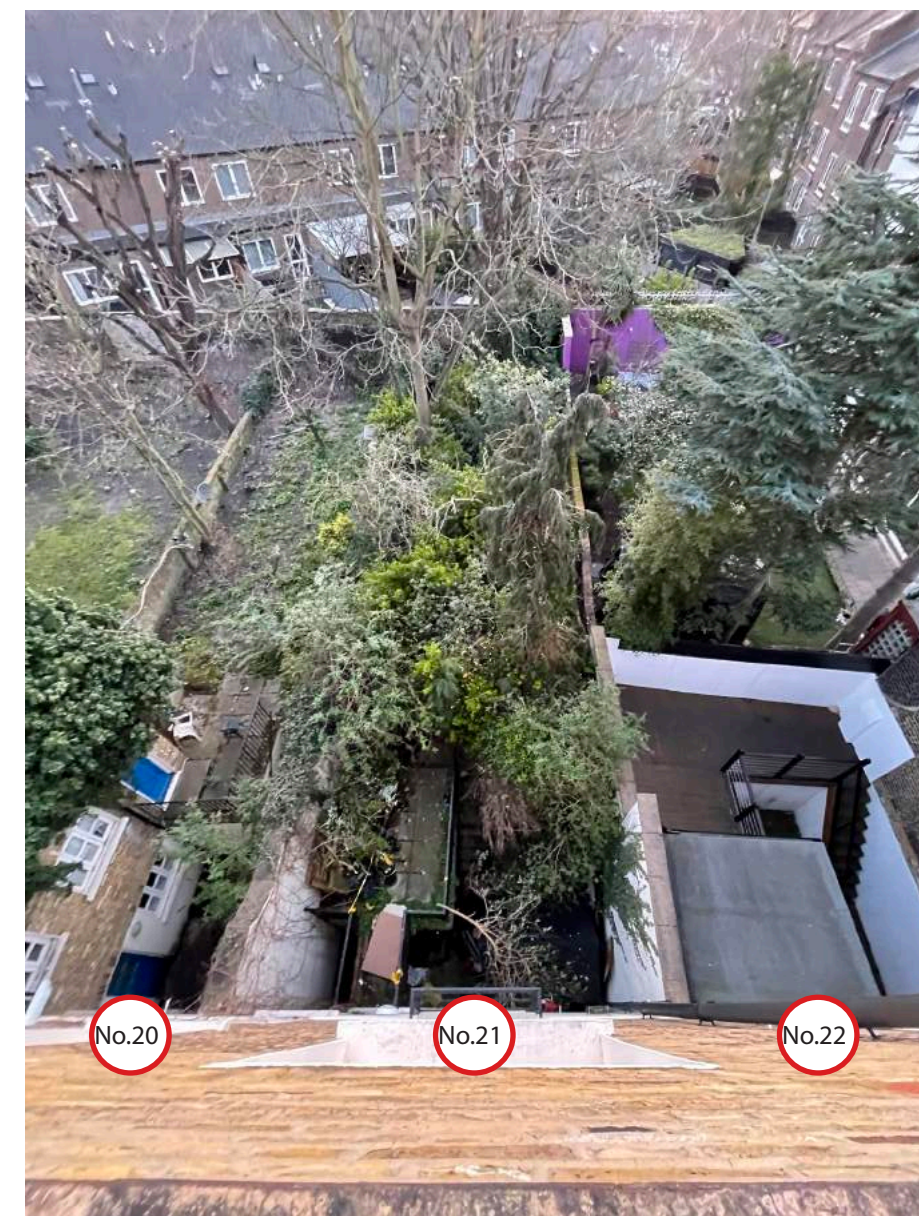
Rear basement patio area, showing signs of decay and an inefficient and impractical use of the rear garden.



Party wall along the length of garden in need of repair.



Bridge from ground floor into garden space is a later addition to the 1978 planning application. This has created a poor quality patio space underneath and an inefficient and unusable space. The bridge is in a state of disrepair and currently poses a safety hazard.



Rear garden as seen from 3rd floor bedroom window. Garden has been neglected over many years. The uncontrolled growth of trees/plantation has damaged the party wall and physical fabric of the garden generally.

No. 20 currently still has a 2 storey outbuilding intact, and no. 22 shows a more modern but poorly considered extension.



Kitchens in state of disrepair with water ingress.



Bathrooms in state of disrepair.



Ceilings showing water ingress from possible leakage of pipes.



Floor showing signs of water ingress.



Ceiling in need of reparation throughout the building.



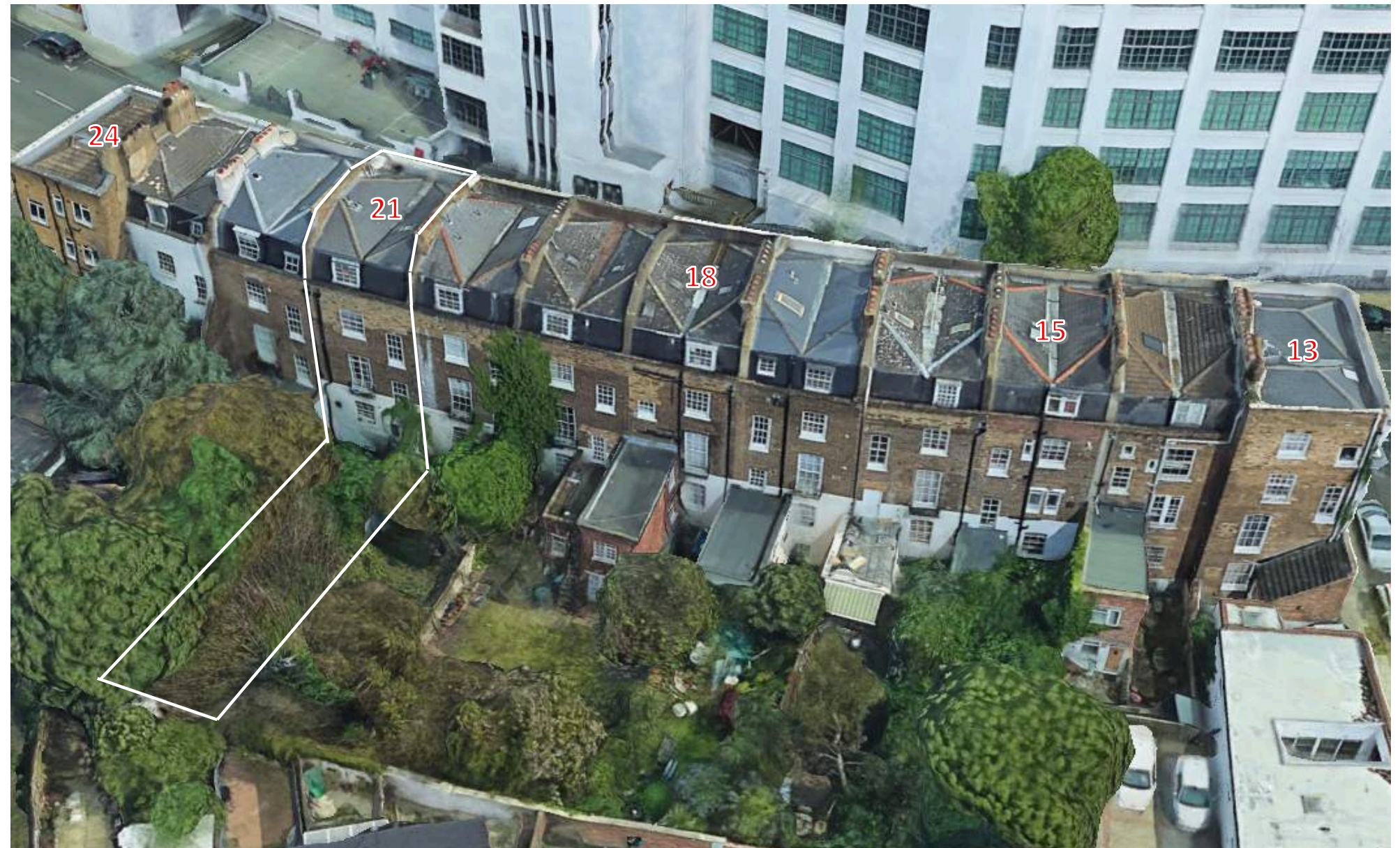
Uncovering of ceiling plasterboard has brought discovery of floor above with a significant hole underneath the bath in the bathroom.

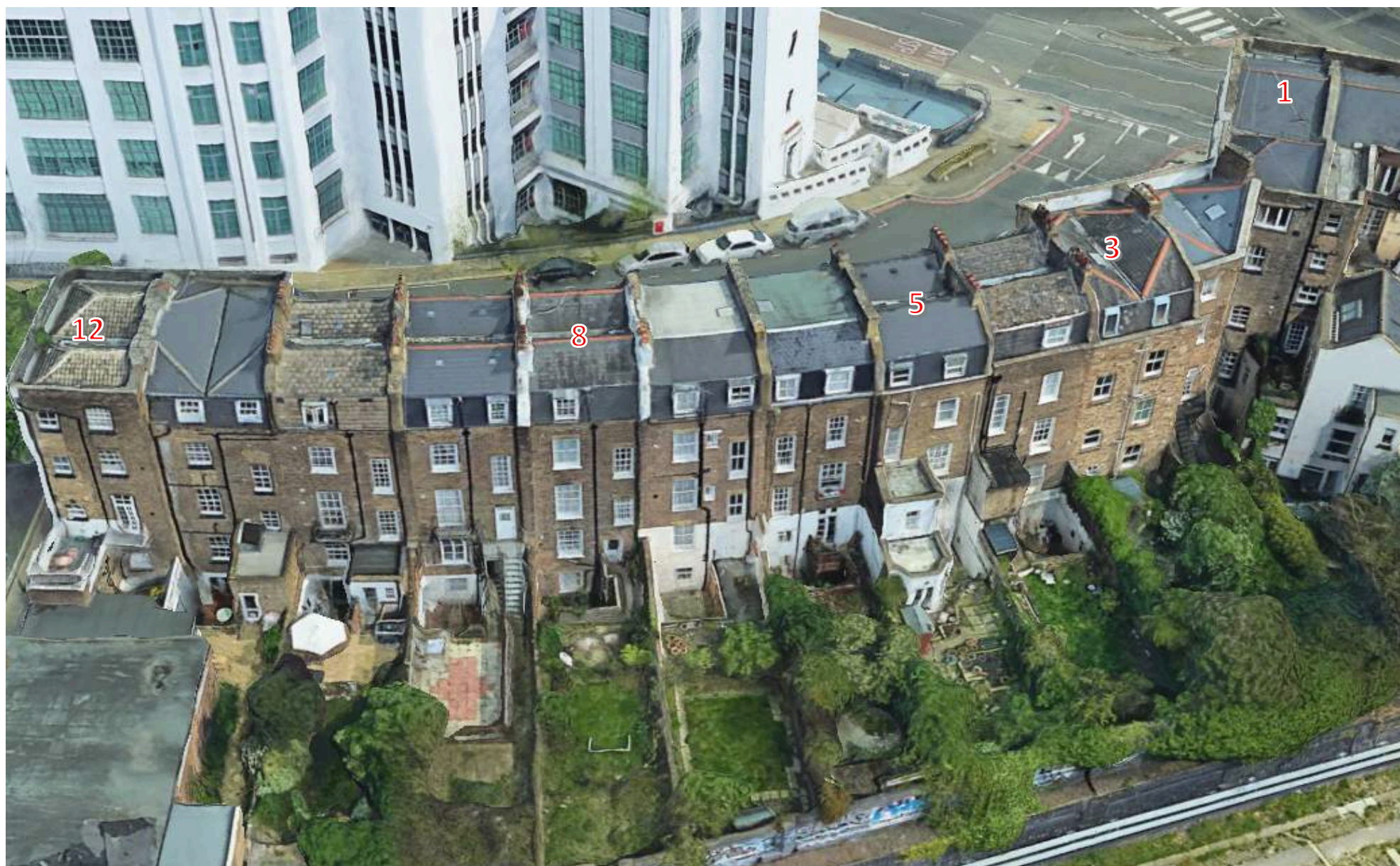
2.4 Surrounding Context

The aerial views of the site show a variety of roof forms and rear additions along the terrace.

In particular, nos. 4, 5, 10, 11, 12, 14, 15, 16, 17 and 18 all have considerable large rear additions, especially nos. 4, 5, 14 and 18 where the rear additions appear to extend two storeys above ground floor.

A recently approved planning application for no. 3 Mornington Crescent (**application number: 2018/0263/P**) is of a near identical mass and proportion to the proposed extension at no. 21.





Planning History

Planning History

Pre-1978 Planning Application

Post-1978 Planning Application

Planning History

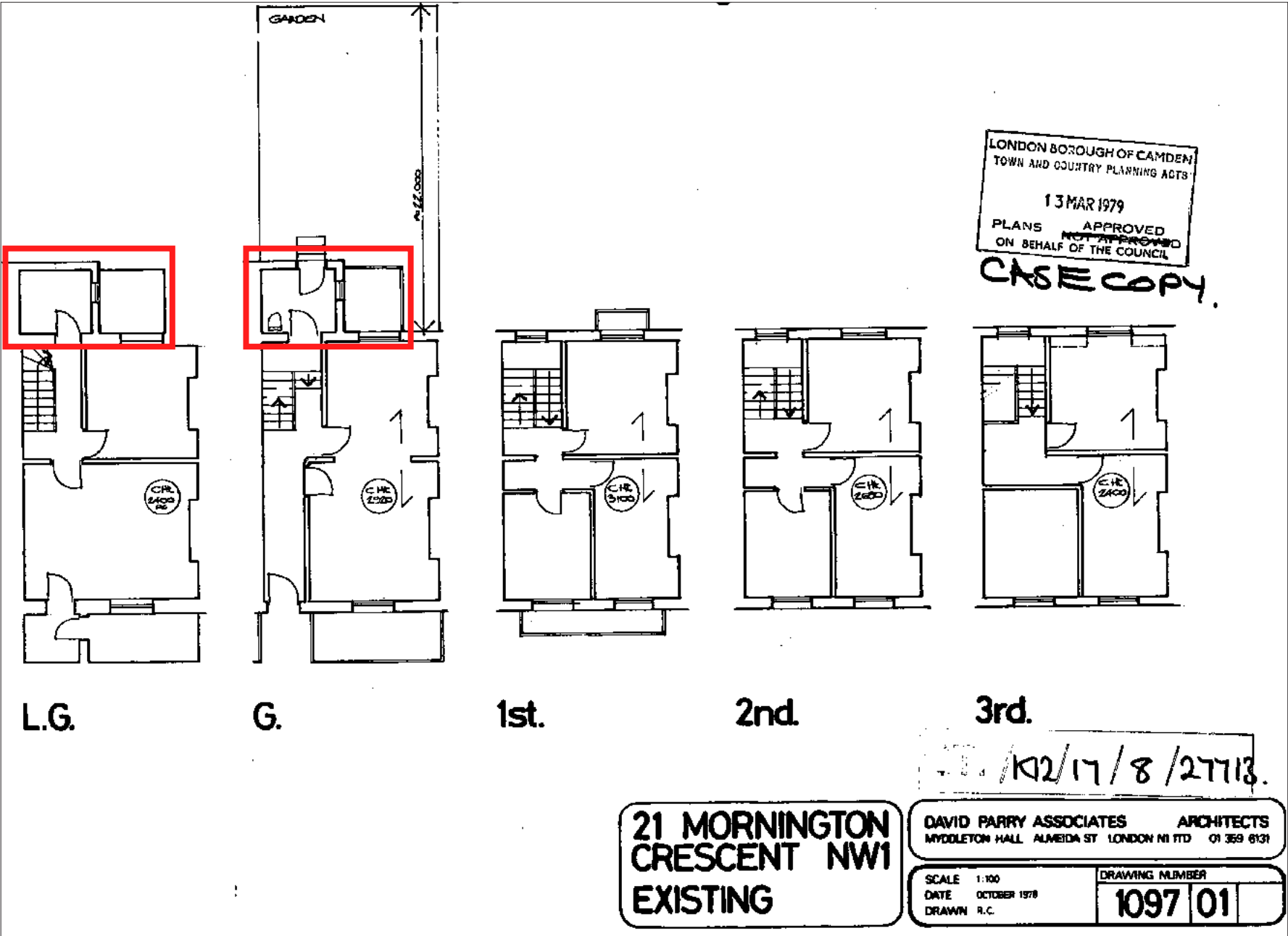
3.1 Planning History

The rear elevation has also been subject to alteration with the removal of the double storey outbuilding which previously existed but later removed as part of the 1978 planning application CTP/K12/17/8/27713. The current condition of the building is in fact a result of this planning application, which changed the building into 4 flats, comprising a 4 person 2 bed flat at basement and ground level, and three 1 person 1 bed flats above. The double storey outbuilding was removed and replaced with an external patio area, also acting as a lightwell for the bedroom at the rear of the basement.

As part of the 1978 planning application, the external door at the front of the house in the basement was removed and turned into a window. There is only one recorded planning application online since the digitisation of planning applications, and this was granted in 2019 which proposed secondary glazing at the rear of the 3rd floor due to noise mitigation during the construction of the HS2 railway at Euston (2019/2326/L).

The underuse of the rear garden has fallen to neglect, with the bridge connection posing a safety hazard with noticable structural decay, as well as overgrown plantation which has also damaged the brickwork of the brick party wall. The stairs leading from basement to the garden level are steep and not compliant with Building Regulations, and would greatly benefit with Building Regulation compliant stairs as an alternative means of escape in the event of a fire.

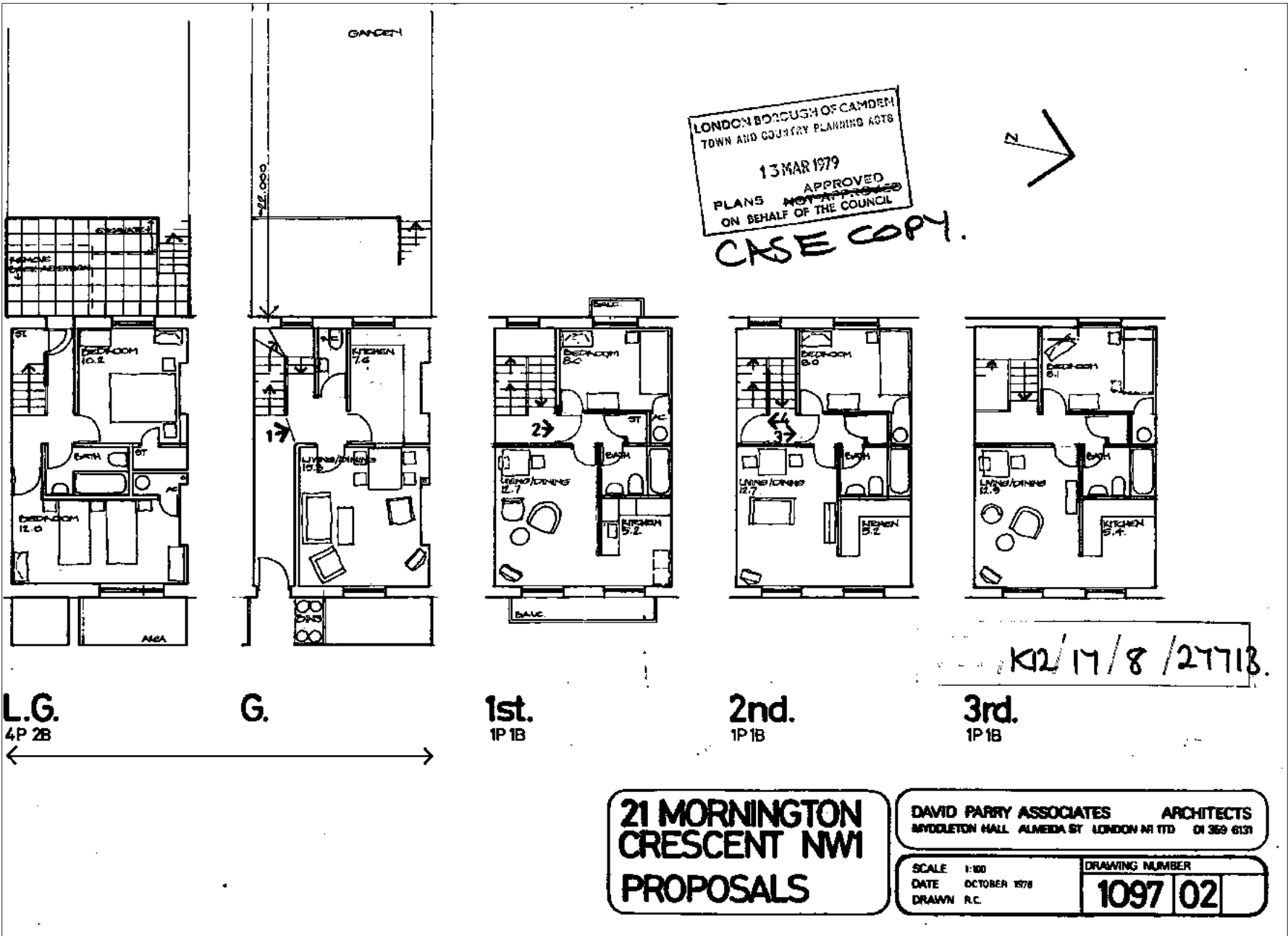
3.2 Pre-1978 Planning Application



Drawings shown above highlight the original layout of the terraced dwelling. The rear of the property at basement and ground level are the most altered, with the removal of the outbuilding creating an inefficient, impractical and not aesthetically pleasing rear elevation.

Red outline denotes previous double storey outbuilding.

3.3 Post-1978 Planning Application



Drawings shown above highlight the revised internal layout and external alterations and demolition work as part of the 1978 planning application. The most notable change is the removal of the double storey outbuilding, and the introduction of the rear patio area. The bridged access to the garden from the ground floor was later added as this attempted to solve the inaccessibility of the garden which was not considered in the 1978 planning application.

4

Historical Development
Camden Town Conservation Area
History of the Site Context

Historical Development

4.1 Camden Town Conservation Area

The Camden Town Conservation Area Appraisal and Management Strategy describes Mornington Crescent in terms of character and appearance. The following is an excerpt from the CAAMS:

“The sizeable townhouses of Mornington Crescent consist of four storeys raised on basements with mansard roofs and dormers. Constructed from brick, with restrained stucco ornament and with natural slate roofs, they boast finely detailed cast-iron balconies and doorcases with inset fluted columns.”

“The Camden Town Conservation Area can be divided into two sub areas of distinctly different character, a busy commercial and retail area, and, a quieter more formal residential area. The commercial sub area consists of a traditional wide shopping street linking the busy junction at Mornington Crescent to the eclectic and lively town centre at the heart of Camden Town.....Beyond the commercial interests are areas of late 18th and early 19th century residential development while to the west of the High Street narrow passage-ways link through to quiet tree lined streets forming the residential sub area. These streets of stock brick and stucco terraces date from the early to mid 19th century and are more consistent in character, and are in marked contrast to the dynamic, busy commercial frontages.”

The CAAMS states that new development should provide high quality design and high quality execution. The CAAMS states that the council expects that proposals should preserve or enhance the character or appearance of the Camden Town Conservation Area. The CAAMS further states that new development and work to existing buildings within the Conservation Area should maintain that the quality erosion and loss of architectural detail is prevented:

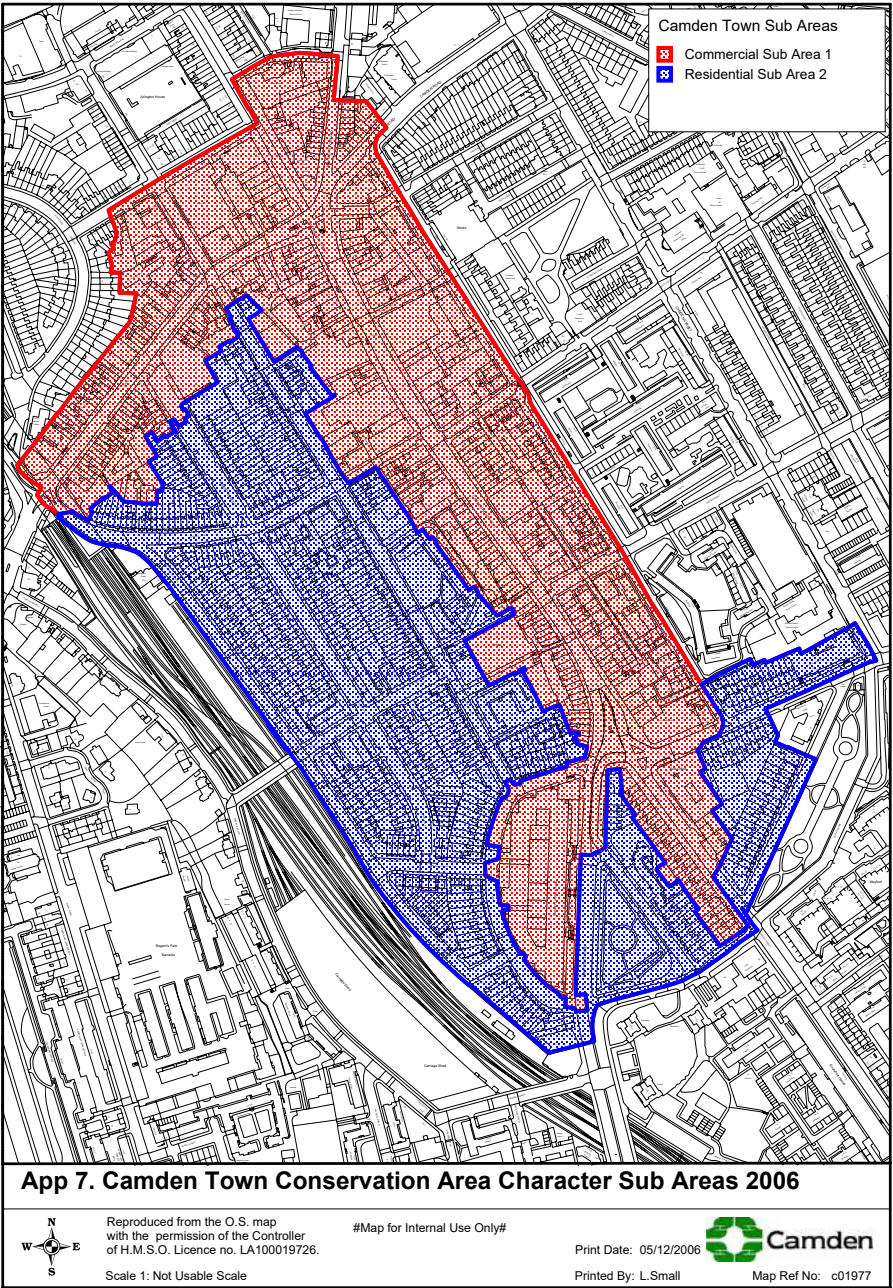
“The appearance of characterful buildings within the Conservation Area is harmed by the removal or loss of original architectural features and the use of inappropriate materials. For example, the loss of original joinery, sash windows and front doors, can have considerable negative

impact on the appearance of a historic building and the area. Insensitive re-pointing, painting or inappropriate render will harm the appearance and the long-term durability of historic brickwork. In all cases the Council will expect original architectural features and detailing to be retained, protected, refurbished in the appropriate manner, and only replaced where it can be demonstrated that they are beyond repair.”

With regards to rear extensions, the CAAMS states:

“Within the Camden Town Conservation Area there are many interesting examples of historic rear elevations. The original historic pattern of rear elevations within a street or group of buildings is an integral part of the character of the area and as such rear extensions will not be acceptable where they would compromise the special character.”

As noted in Section 3 of this document ‘Planning History’, there has been extensive work to the rear of the property which has changed the original features of the building, namely the removal of the two storey outbuilding. This has resulted in bad quality workmanship (poor quality bridge construction), resulting in poor quality amenity space for the patio area, which is largely now located underneath the bridge. The proposal seeks to reconstruct the two storey outbuilding, in a modern interpretation whilst taking detailed consideration of the existing architectural details, materials and mass.



Camden Town Conservation Area Map.

4.2 History of the Site Context

The application site is located in the historic Manor of Tottenhamhall which consisted of land to the west of Camden High Street and Hampstead Road, extending from Chalk Farm in the north down to Fitzrovia in the South. The area west of Camden High Street was owned by Charles Fitzroy, Baron of Southampton, who began to develop his land at the end of the 18th Century. Much of the surrounding area was also being developed at this time, including Delancey Street, Alington Road, Bayham Street, Pratt Street and King Street laid out but not yet lined with buildings. The Somers Town estate laid out on the Duke of Bedford’s land continued to creep northwards. However, large areas of open land remained to the north and west of this and between the west side of Hampstead Road and Regent’s Park.

The crescent of terraced buildings along Mornington Crescent was built in the 1820s. The crescent was named after the Earl of Mornington, and had a private garden with tennis courts in front of the crescent which was later demolished for the construction of the Carreras building. As seen in the subsequent maps, the terraced properties enjoyed a vast green space to the front, which included the private garden as well as the open green fields. The rear of the properties also enjoyed views of open fields of greenery with views towards Regents Park, however, due to the construction of the railway line into Euston terminus, including the encroachment of new working class districts such as Kings Cross and Camden town, the rear view also changed significantly over time.

Mornington Crescent was one of the earlier parts of the Southampton estate to be built as shown in the 1824 map. Due to the arrival of the railways from the late 1830s, this caused a boom in speculative development. As a result of this, the area north of the application site had started to be covered with roads lined with long terraces of houses. The Camden Town CAAMS states that:

“By the 1840’s the western part of the Conservation Area had been developed as family homes for professional families and created a transition between the grand Nash properties of Regent’s Park and Park Village and the gritty realities of working life in the more shabby

industrial and commercial areas to the east.”

The earliest development within the area had been aimed at the middle classes with ‘second rate’ houses such as those on Mornington Crescent with their relatively generous gardens. However, in the 19th century, the area had evolved into a crowded inner London suburb, with shopkeepers and the new working class moved in. The decline of Mornington Crescent was further substantiated with the railway line to the west which generated noise and dirt and decreased the attractiveness of the houses which were located close to it.

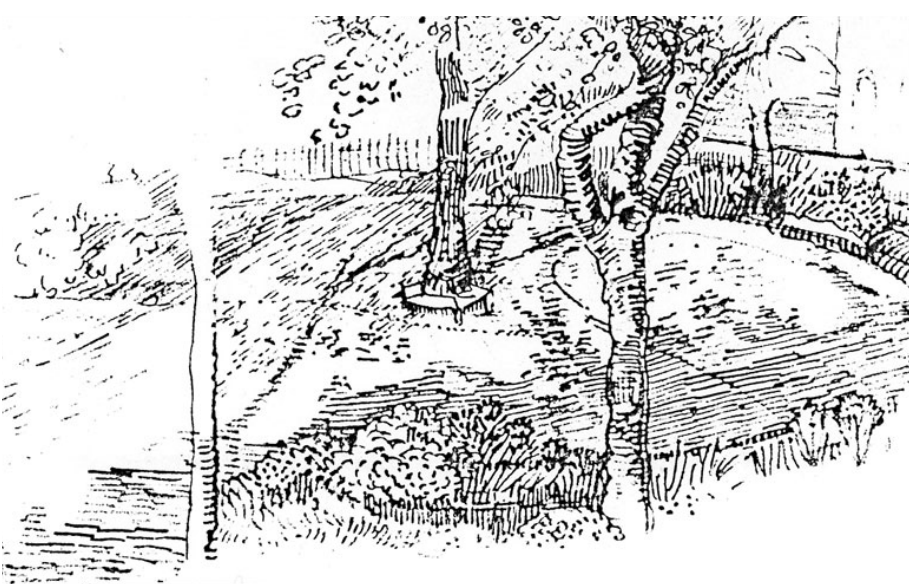
The 1894 OS Map shows the area as fully developed with a significant amount of terraced housing. In the OS Map dated 1914, Mornington Crescent Station can also be seen (built 1907), which replaced the terraced houses. However, the most significant impact upon the layout and character of Mornington Crescent was the building over the private gardens and the construction of the Carreras tobacco factory in 1926-28.

Another significant change to the character of Mornington Crescent was the construction of the Ampthill Estate in 1965 which resulted in a large loss of terraced housing, located east to the application site.

4.3 Development of the Site

The most significant difference between the original 21 Mornington Crescent and its current condition is the removal of the outbuilding to the rear of the property in 1978. This resulted in changes to the access into the rear garden, and created a new external patio area which later included a bridge connection for the ground floor to have access to the garden. The bridge resulted in an unpleasant patio space, which ended up being covered by a bridge. The steps leading to the garden from the basement were steep, and the general layout of the patio space was unpleasant and as a result became significantly underused as seen from the derelict nature of the current photos.

The other elements which changed the building over time was caused by changing the house into multiple flats, which meant more significant internal alterations.



Mornington Crescent Gardens, 1913-14 by Gilman



The St Pancras Parish Map 1804



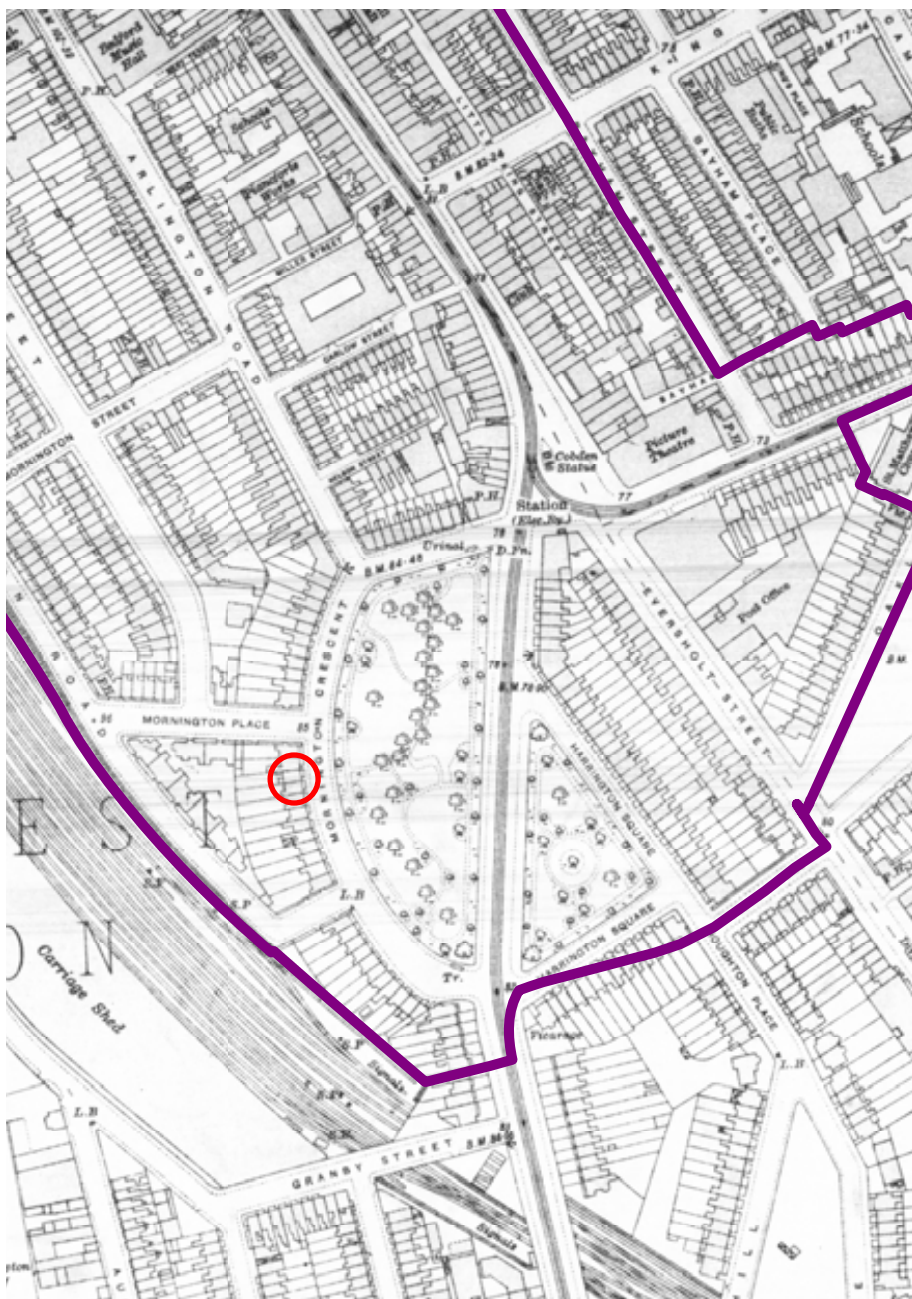
Camden Town 1824 Map



Camden Town 1894 OS Map



Camden Town 1914 OS Map



Camden Town 1835 OS Map



Camden Town Current OS Map



View of Mornington Crescent from Hampstead Road c.1905.

5

Planning Policy

Planning Policy

5.1 Planning Policy

The planning policy that was considered for this document was the National Planning Policy Framework (NPPF, updated in 2019), including the Camden Town Conservation Area Appraisal and Management Strategy (CAAMS - 2007), the Camden Planning Guidance: Basements, Camden Planning Guidance 4: Basements and Lightwells, and the newly adopted Home Improvements CPG. The planning guidance is specific for the London Borough of Camden and sets out planning guidelines for extensions in conservation areas and to listed buildings.

National Planning Policy Framework

The National Planning Policy Framework was published in 2012 and later revised in 2019. The NPPF sets out the government’s planning policies for England and how they should be applied.

Chapter 16 of the NPPF describes ‘Conserving and Enhancing the Historic Environment’. Paragraph 189 of Chapter 16 states the requirement to describe the significance of the heritage assets affected by the proposals in any application, including any contribution made to the heritage assets’ setting.

In terms of listed building status, paragraph 194 states:

“Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of:

Grade II listed buildings, or grade II registered parks or gardens, should be exceptional”

In terms of conservation area status, paragraph 200 states:

“Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their

significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably.”

Camden Town Conservation Area Appraisal and Management Strategy

The CAAMS states that new development should provide high quality design and high quality execution. The CAAMS states that the council expects that proposals should preserve or enhance the character or appearance of the Camden Town Conservation Area. The CAAMS further states that new development and work to existing buildings within the Conservation Area should maintain that the quality erosion and loss of architectural detail is prevented:

“The appearance of characterful buildings within the Conservation Area is harmed by the removal or loss of original architectural features and the use of inappropriate materials. For example, the loss of original joinery, sash windows and front doors, can have considerable negative impact on the appearance of a historic building and the area. Insensitive re-pointing, painting or inappropriate render will harm the appearance and the long-term durability of historic brickwork. In all cases the Council will expect original architectural features and detailing to be retained, protected, refurbished in the appropriate manner, and only replaced where it can be demonstrated that they are beyond repair.”

Camden Planning Guidance: Basements

With regards to basement developments, the guidance states that the developments must not cause harm to:

- neighbouring properties;
- the structural, ground, or water conditions of the area;
- the character and amenity of the area; and
- the architectural character and heritage significance of the

building and area.

- The siting, location, scale and design of basements must have
- minimal impact on, and be subordinate to, the host building and property.
- Basement development must be no more than one storey deep and must not exceed 50% of the garden of the property

Heritage Impact Assessment
Proposal
Heritage Impact Assessment
Conclusion

Heritage Impact Assessment

6.1 Proposal

The process of the design of the extension has been a study in site specificity and site history. The heritage of the existing building has been considered, as well as its history of formerly accommodating a double storey outbuilding, as well as the materiality, mass and practicality of use for the residential inhabitants. As well as reintroducing the double storey outbuilding, the proposal also seeks to open up the ground floor by removing the wall inbetween the existing living area and kitchen, and in doing so reinstating the original layout prior to the significant pre-1978 planning application changes.

The proposed works consist of the erection of a single storey rear extension at ground level which will accommodate the family living space. Beneath this the existing basement will be enlarged to the south and to the west to accommodate an additional bedroom for the family. This will be in the same location as the original outbuilding pre-1978 before it was demolished and replaced with an inefficient and poor quality patio which is in most parts covered by a bridge at ground floor level. The existing basement lightwell will be reconfigured in size and shape, to run in a narrower form adjacent to the party boundary with no.22. A flight of steps from the lightwell up to garden level is also proposed which will be more practical than the existing stairs which are steep and do not comply with building regulations. The proposed development is located in the same location as the previous outbuilding.

Within the building there will be a new corridor at basement level leading to the enlarged basement accommodation. This includes a new opening to the rear of the basement wall, which will be wide enough to accommodate a single leaf door, and will enable access into the enlarged basement accommodation. The corridor includes 3 additional steps down into the basement extension in order to achieve a sensible head height.

The existing building has a stucco exterior on the ground floor and basement level. Above the ground floor, the existing building has a yellow brick. The proposal seeks to maintain the material language at

ground floor with white brick being proposed. The white brick will sit gently next to the white stucco, whilst maintaining the materiality of the rear elevations across the terrace which is predominantly brick. The extension will also include large elements of full height glazing. The full height glazing enables parts of the existing building to be celebrated, such as the rear ground floor window, and the stucco and brick detailing to be visible from the interior of the extension. The height of the proposed eaves does not exceed the height of the brick boundary wall, and the proposed roof is all below the existing first floor windows. The double storey extension of adjoining neighbour no.22 is higher than the brick party wall, but the proposal does not seek to go as high as this in order for the extension to be largely concealed behind the party wall. The extension is not full width as it allows a lightwell for the basement accommodation. The lightwell is a configuration of the existing lightwell which exists.

It is important to note that the building has a long history of development beyond the rear elevation of the main building with varying projections at ground and basement level. Therefore the principle of a double storey extension in this position is well established and consistent with the historic development of the host building and indeed with the wider terrace. However, reinstating historic forms is not the sole basis of how this proposal should be considered, and the proposal should be considered on its own merits and taking into account the impact on the heritage asset.

To ensure that the proposed extension is subordinate to the overall scale of the house, it is of modest height and proportions and sits discretely at the base of the building. It would appear from nearly all angles that it is a single storey, as the basement level is not visible apart from the viewpoint of the stairs down to the basement level. The basement has also been designed to be less than 50% of the garden footprint in line with CPG for basements. The extension is not full width, which reduces the perceived bulk and makes reference to the historic pattern of the rear projection. In fact, nearly all terraces have varying forms and sizes of rear extensions and this would not set a

precedent or disturb the harmony of the rear elevations of the terraces.

Given its modest bulk and scale, the use of complementary modern materials and its lightweight appearance the proposal is not considered to detract in from the architectural value or composition of the rear facade. The installation of a sympathetic, high quality and well executed and detailed extension will enhance the overall appearance of the rear elevation of the listed building as well as providing attractive and thoughtfully designed internal accommodation for the current owners and future occupiers of the listed building. The extension also acts as a gateway space to the generous rear garden, and the glazed portions of the extension aim to bring the greenery into the interior of the space, considering the large amount of mature trees to the rear of the property and adjoining neighbours.

Because of its low level position on the building, and the high walls of the party boundaries, the proposed rear addition will be minimally visible from the adjoining neighbours. The curved layout of the crescent is also a factor here, limiting the ability to view the lower parts of each facade from adjacent properties. Due to the significant depth of the garden (c.22m), and the location of mature trees to the rear of the garden, the proposed addition will be minimally visible from properties along Clarkson Row.

The proposed extension will not be visible from Mornington Crescent or Hampstead Road. Therefore, considering its sensitive design and siting, the proposed extension is not considered to have any detrimental impact upon either the special architectural or historic interest of the listed building, views within and into Camden Town Conservation Area, or its character and appearance.

6.2 Heritage Impact Assessment

The purpose of this Heritage Impact Assessment is to assess how the proposal might affect its setting, and how due consideration has been given to the design, mass and scale of the proposal to mitigate any harm to the original listed building and the conservation area it is situated within. In assessing the impact of the proposal on the heritage of the site, local and national planning policy was considered.

The building is situated within a conservation area and is also grade II listed. Therefore assessment has been made on the impact of the proposal on the building as well as its setting within a conservation area. The significance of the asset has been assessed using principles set out in Historic England ‘Conservation Principles, Policies and Guidance’, as well as referring to the NPPF and D1 and D2 of the Local Plan.

The Conservation Principles, Policies and Guidance states that the Evidential Value, Historical Value, Aesthetic Value and Communal Value should be considered. The document states “Conservation is the process of managing change to a significant place in place in its setting in ways that will best sustain its heritage values, whilst recognising opportunities to reveal or reinforce those values for present and future generations.”

The site has been assessed in terms of levels of varying significance:

High significance: playing a major role in understanding the building’s values

Considerable significance: playing an important role in reflecting the building’s values

Low significance: playing a limited role in the understanding of the building’s values and of minor interest

No significance: detracting from the significance of the building

Evidential value

The evidential value of the building lies within the combined groups of terraces forming the crescent, as well as the elevational detailing of brickwork, stucco, round-arched windows and cast-iron balconies.
Significance: Considerable

Historical Value

The building has historic value with regards to it being one of the earliest parts of the Southampton Estate.
Significance: Considerable

Aesthetic Value

The exterior of the listed building is an example of Georgian terraced housing. The architectural importance also lies within the row of terraces as a composition of adjoining properties forming the crescent.
Significance: Considerable

The rear of the elevation has been altered with the removal of the outbuilding, significant changes to the garden levels with the introduction of a new patio area which has over time been overshadowed by the introduction of a bridge at ground floor.
Significance: Low

The interior has been altered over time, with the separation of the house into flats, which included many associated internal partition alterations.
Significance: Low

Communal Value

The terrace forms part of the crescent which is of considerable communal value.
Significance: Considerable

The façade has limited communal value
Significance: Low

Local Plan

The proposal has also been assessed using the Local Plan Policy D1 (Design) and Policy D2 (Heritage).

Policy D1 refers to general design principles and requires development to be of high quality, which respects local context and character and preserves or enhances heritage assets. Policy D2 relates specifically to proposals which affect listed buildings and conservation areas and requires that development preserves and where appropriate enhances these designated heritage assets. The Council will resist proposals that cause harm to the special architectural and historic interest of listed buildings or their settings. The current proposals are considered to fully comply with policies D1 and D2.

In this case the proposals have been sensitively conceived and formulated to be respectful to the character of the listed building and the wider terrace. The proposed ground floor extension will be situated in the position of the historic rear addition and will cause no visual harm to the wider terrace, bearing in mind the larger additions that can be found at nos.4, 5, 10, 11 and 12 Mornington Crescent. The proposed extension is modest in scale and would be visually subordinate to the host building. Its sympathetic form and materials would complement the character of the listed building, whilst its clean, robust and simple contemporary design is clearly of its time.

The proposals are also considered to comply with the provisions of Camden’s Planning Guidance CPG1, which has a number of relevant paragraphs relating to rear extensions. The checklist points have been addressed below:

- be secondary to the building being extended, in terms of location, form, scale, proportions, dimensions and detailing.

Response:

The proposed extension is appropriately scaled and proportioned and will have a simple, crisp contemporary design executed in complementary materials. The proposals will be fully subordinate to the overall listed building.

- respect and preserve the original design and proportions of the building, including its architectural period and style;

Response:

The upper floors of the listed building will remain unaltered and there will be no physical conflict between the extension and the windows. The windows at ground and basement level that will be removed are later fabric of no demonstrable significance. The new door in the rear elevation at basement level will be well concealed and minimally visible so as to avoid any harm to the alignment or hierarchy of the windows above it.

- respect and preserve existing architectural features, such as projecting bays, decorative balconies or chimney stacks

Response:

The extension is designed so as to avoid conflict with the 1st floor windows on the rear façade. No decorative or architectural features of note will be affected.

- respect and preserve the historic pattern and established townscape of the surrounding area, including the ratio of built to

unbuilt space;

Response:

The proposed extension will be on the site of a historic rear addition and will be in keeping with the varied pattern of projections along the wider terrace. The proposed extension is a single storey structure at ground floor level only and will be minimally visible from the surrounding townscape.

- allow for the retention of a reasonable sized garden

Response:

Due to the scale of the extension the majority of the rear garden will be unaffected by the proposals and its green and secluded character will be retained. The area of hard landscaped terrace that will be covered by the proposed extension was the site of a historic ground floor addition until the mid 1970s.

- retain the open character of existing natural landscaping and garden amenity, including that of neighbouring properties, proportionate to that of the surrounding area.

Response:

As above, the existing character and openness of the garden will be maintained and it will continue to be proportionate to the size and scale of the house.

6.3 Conclusion

The application is for the erection of a single storey ground floor rear extension and basement rear extension. Internal works are proposed to reconfigure the ground floor to remove a wall between kitchen and living area. Internal works to the basement include provision for a corridor entry to the basement extension and combining separate bathroom and WC into one family bathroom.

The proposed extensions and alterations are considered to respect the character, appearance, layout and setting of the listed building. There will be minimal alterations to its plan form and spatial quality and its historic integrity will be preserved, through the clear visual and physical distinction between the existing house and the proposed extension. The proposals have been designed so as to respond sensitively and contextually to the host building, preserving and in overall terms enhancing its special architectural and historic interest. The front and rear garden setting of the building will be maintained, as well as its contribution to the significant group of buildings that form Mornington Crescent and the wider streetscene.

The proposed works are considered to fully comply with the requirements of the London Borough of Camden's Local Plan. They are considered to preserve, and indeed enhance the special architectural and historic interest of the listed building in line with the statutory duty. The works will preserve the character and appearance of the Camden Town Common Conservation Area. The proposals also accord with the provisions of the National Planning Policy Framework, in particular ensuring that the significance of the listed building is sustained and enhanced.

6.4 Schedule of Precedents

Two recently approved applications for rear extensions on Mornington Crescent are similar in size and proportions to the proposed extension at 21 Mornington Crescent.

31 Mornington Crescent **2014/0744/L**

Project description:

Conversion of existing building containing 5 self-contained dwellings to 4 self-contained dwellings including excavation for single storey basement extension to rear, erection of a single storey ground floor extension and alterations to rear fenestrations.

3a Mornington Crescent **2018/0263/P**

Project description:

Erection of a single storey ground floor extension and basement extension.

Please note, this particular project is nearly identical in mass and proportion to the proposed extension at 21 Mornington Crescent.

In addition to the two project mentioned above, there is currently a double storey extension to no. 22, including a rather large raised platform which extends out quite far into the garden. Neighbour no. 20 currently has a two storey extension.

