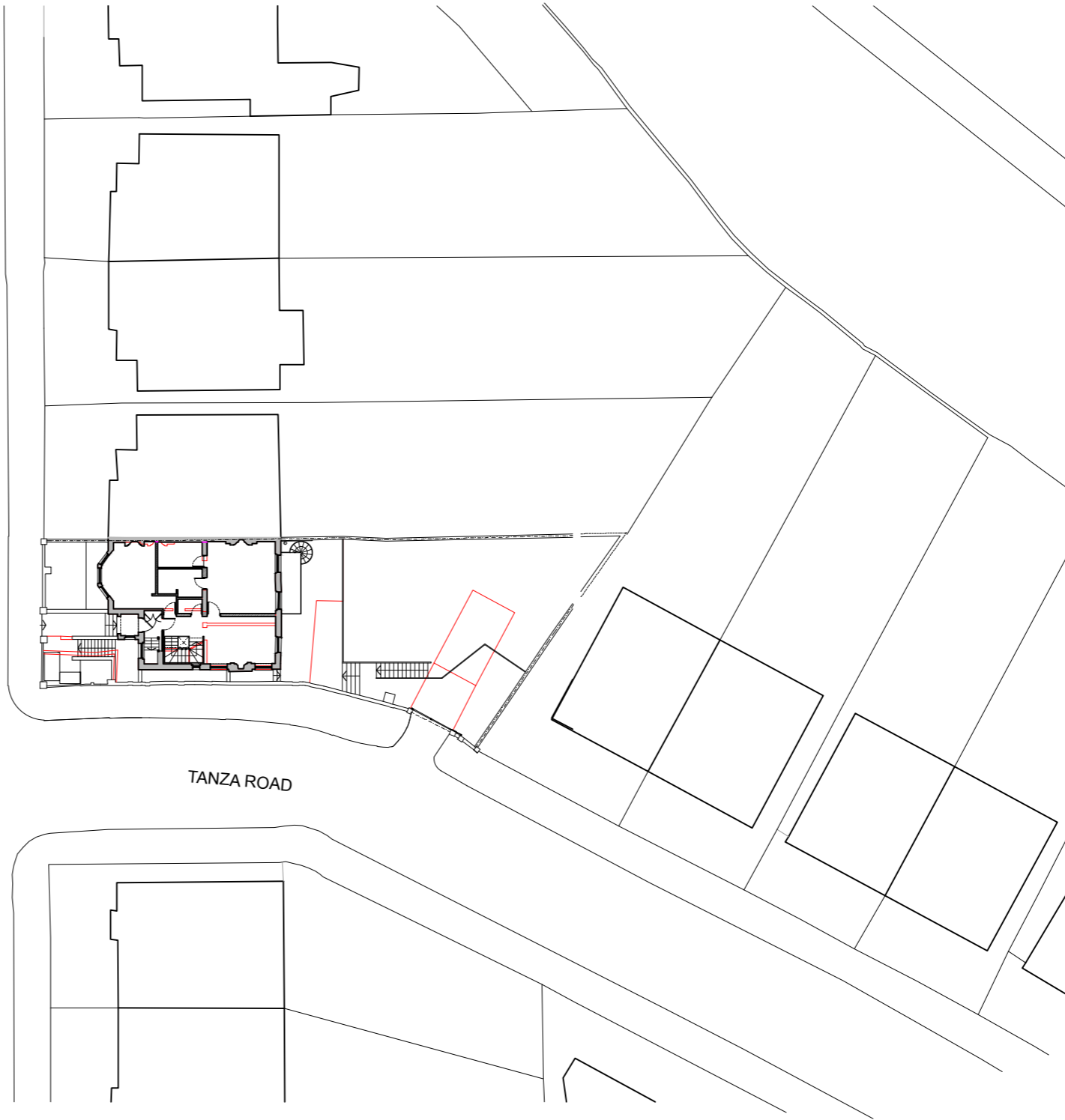


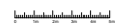
PARLIAMENT HILL



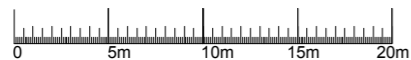
TANZA ROAD

NOTES:

1. Do not scale from this drawing
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3. Report any discrepancy to the Client immediately
4. Execute all work in accordance with all laws, regulations and by-laws



REVISIONS:



SHER+WHITE dMFK

CONTACT:

Deborah Sher 07966 205 219
Gemma White 07711 605 633

PROJECT:
62_Parliament Hill

CLIENT:
P.Popp

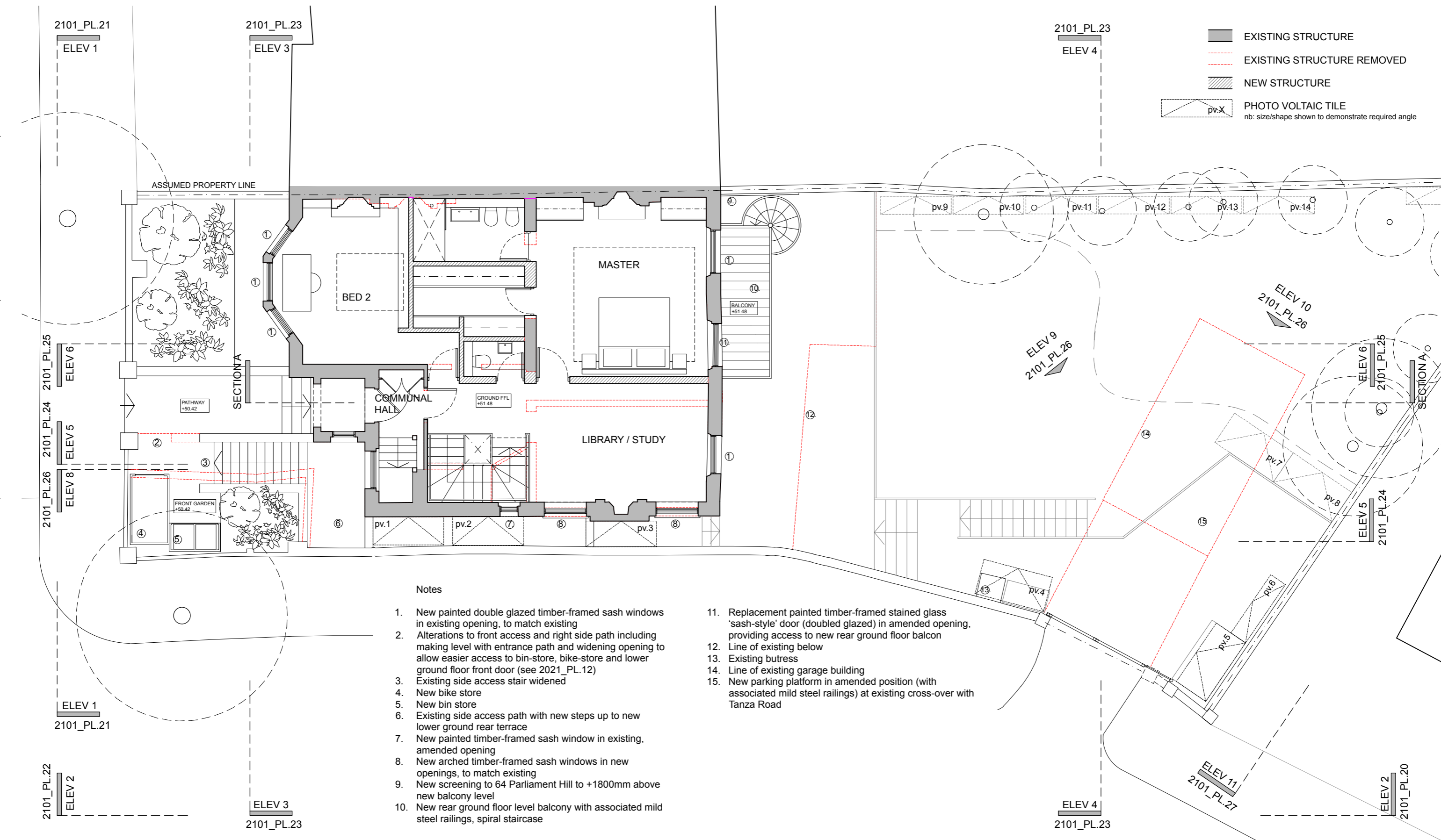
DRAWING:

PROPOSED SITE PLAN
2101/PL.01

format:
A1

scale:
1:200

date:
APR 21



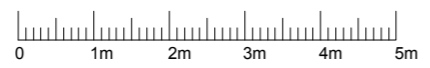
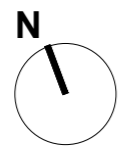
Notes

1. New painted double glazed timber-framed sash windows in existing opening, to match existing
2. Alterations to front access and right side path including making level with entrance path and widening opening to allow easier access to bin-store, bike-store and lower ground floor front door (see 2021_PL.12)
3. Existing side access stair widened
4. New bike store
5. New bin store
6. Existing side access path with new steps up to new lower ground rear terrace
7. New painted timber-framed sash window in existing, amended opening
8. New arched timber-framed sash windows in new openings, to match existing
9. New screening to 64 Parliament Hill to +1800mm above new balcony level
10. New rear ground floor level balcony with associated mild steel railings, spiral staircase
11. Replacement painted timber-framed stained glass 'sash-style' door (doubled glazed) in amended opening, providing access to new rear ground floor balcon
12. Line of existing below
13. Existing buttress
14. Line of existing garage building
15. New parking platform in amended position (with associated mild steel railings) at existing cross-over with Tanza Road

NOTES:

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3. Report any discrepancy to the Client immediately
4. Execute all work in accordance with all laws, regulations and by-laws

REVISIONS:



SHER + WHITE dmfk

CONTACT:

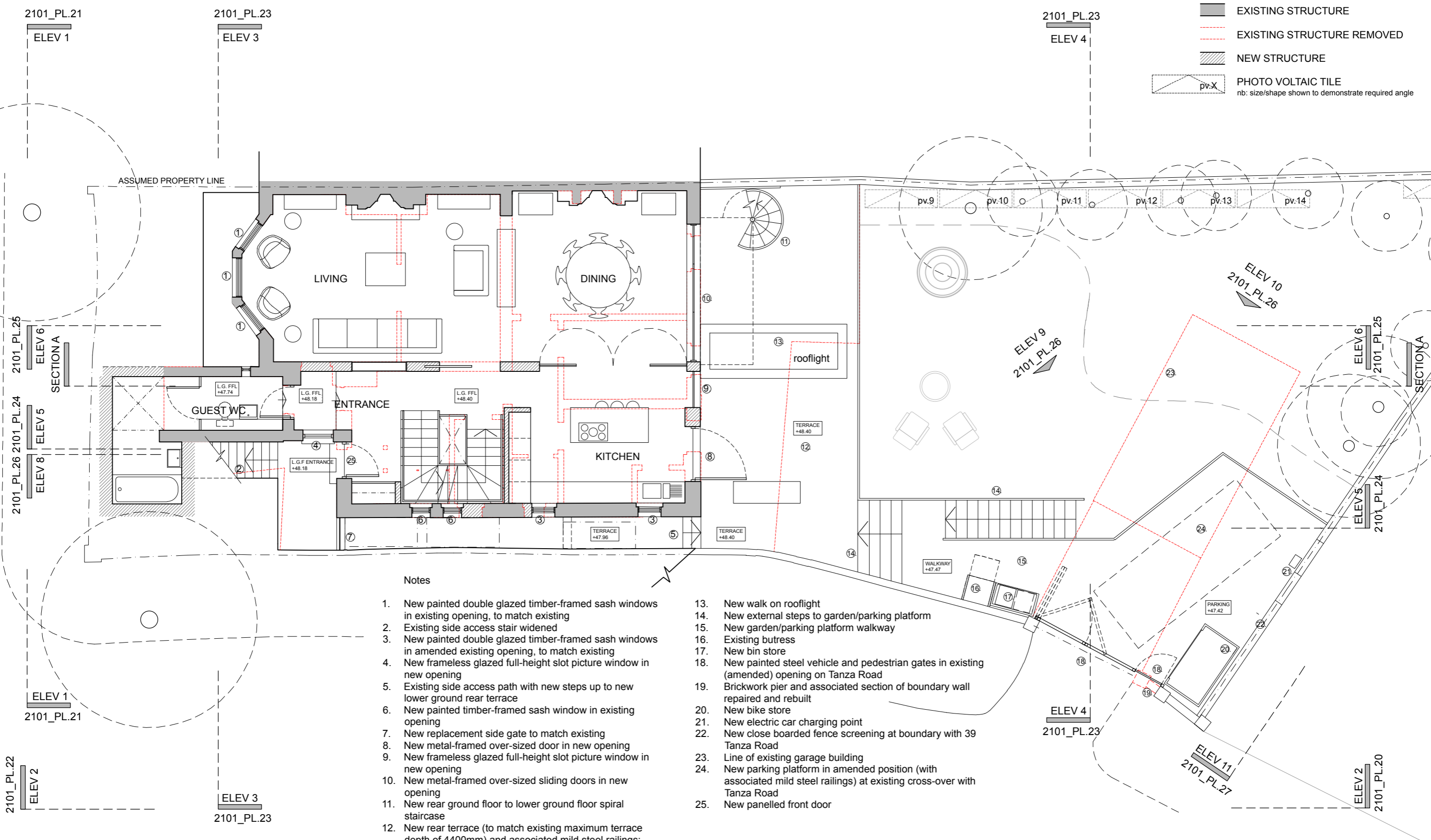
Deborah Sher 07966 205 219
Gemma White 07711 605 633

PROJECT:
62_Parliament Hill

CLIENT:
P.Popp

DRAWING:
PROPOSED
GROUND FLOOR PLAN
2101/PL.11_A

format:	scale:	date:
A1	1:50	APR 21



EXISTING STRUCTURE
 EXISTING STRUCTURE REMOVED
 NEW STRUCTURE
 PHOTO VOLTAIC TILE
 nb: size/shape shown to demonstrate required angle

- Notes**
1. New painted double glazed timber-framed sash windows in existing opening, to match existing
 2. Existing side access stair widened
 3. New painted double glazed timber-framed sash windows in amended existing opening, to match existing
 4. New frameless glazed full-height slot picture window in new opening
 5. Existing side access path with new steps up to new lower ground rear terrace
 6. New painted timber-framed sash window in existing opening
 7. New replacement side gate to match existing
 8. New metal-framed over-sized door in new opening
 9. New frameless glazed full-height slot picture window in new opening
 10. New metal-framed over-sized sliding doors in new opening
 11. New rear ground floor to lower ground floor spiral staircase
 12. New rear terrace (to match existing maximum terrace depth of 4400mm) and associated mild steel railings;
 13. New walk on rooflight
 14. New external steps to garden/parking platform
 15. New garden/parking platform walkway
 16. Existing buttress
 17. New bin store
 18. New painted steel vehicle and pedestrian gates in existing (amended) opening on Tanza Road
 19. Brickwork pier and associated section of boundary wall repaired and rebuilt
 20. New bike store
 21. New electric car charging point
 22. New close boarded fence screening at boundary with 39 Tanza Road
 23. Line of existing garage building
 24. New parking platform in amended position (with associated mild steel railings) at existing cross-over with Tanza Road
 25. New panelled front door

NOTES:

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2. Check all levels and dimensions on site before executing work
3. Report any discrepancy to the Client immediately
4. Execute all work in accordance with all laws, regulations and by-laws

REVISIONS:

SHER + WHITE dMFK

CONTACT:

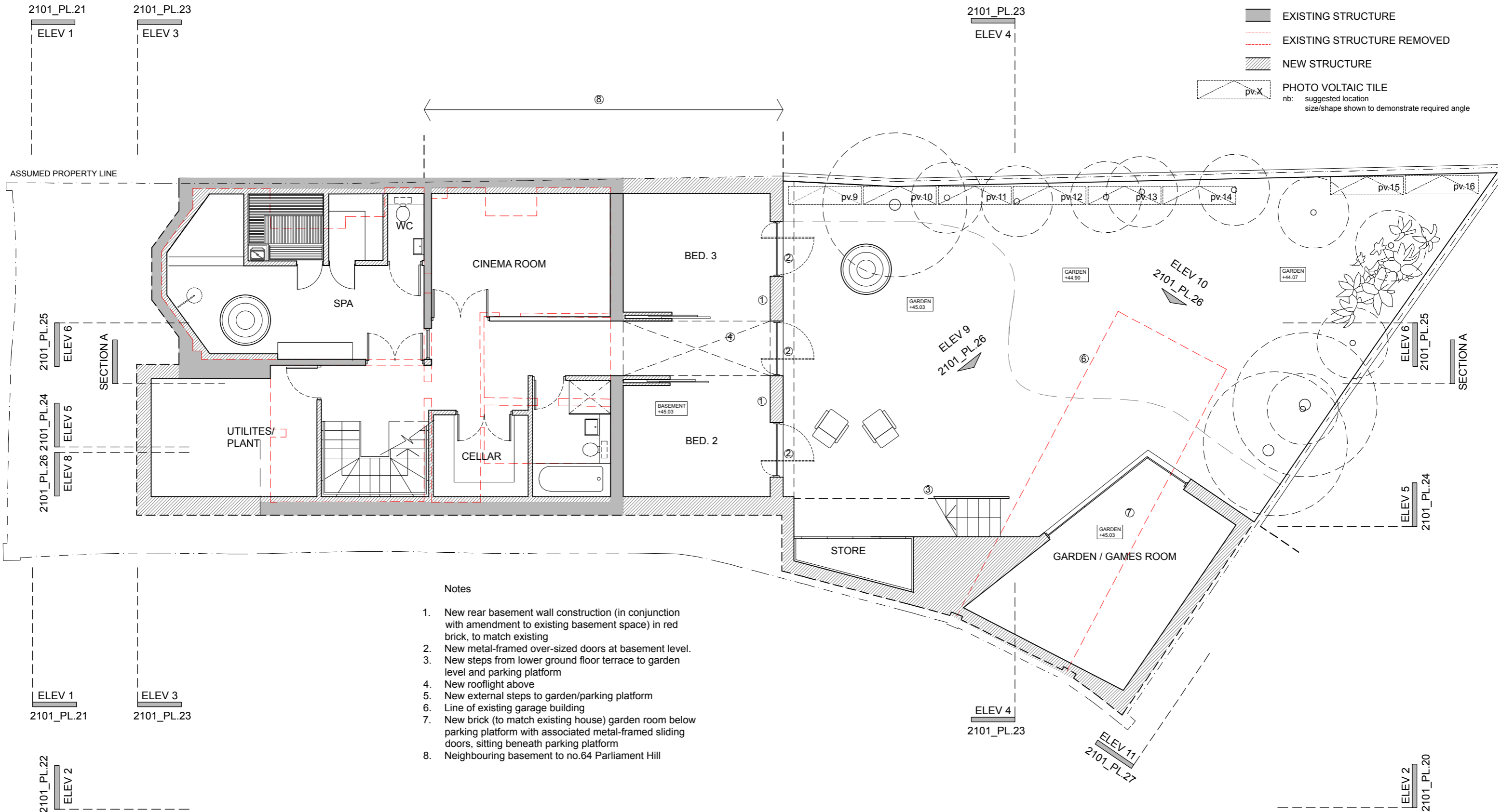
Deborah Sher 07966 205 219
Gemma White 07711 605 633




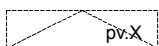
PROJECT:
62_Parliament Hill

CLIENT:
P.Popp

DRAWING:
PROPOSED
LOWER GROUND FLOOR PLAN
2101/PL.12_A

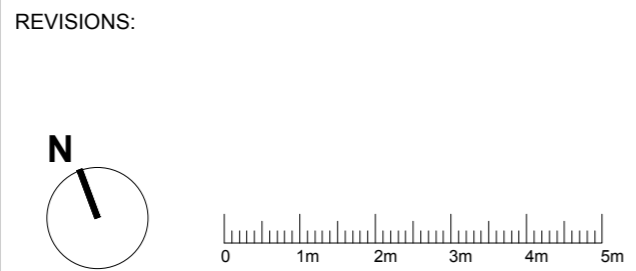
format:	scale:	date:
A1	1:50	APR 21



-  EXISTING STRUCTURE
-  EXISTING STRUCTURE REMOVED
-  NEW STRUCTURE
-  PHOTO VOLTAIC TILE
nb: suggested location
size/shape shown to demonstrate required angle

- Notes
1. New rear basement wall construction (in conjunction with amendment to existing basement space) in red brick, to match existing
 2. New metal-framed over-sized doors at basement level.
 3. New steps from lower ground floor terrace to garden level and parking platform
 4. New rooflight above
 5. New external steps to garden/parking platform
 6. Line of existing garage building
 7. New brick (to match existing house) garden room below parking platform with associated metal-framed sliding doors, sitting beneath parking platform
 8. Neighbouring basement to no.64 Parliament Hill

- NOTES:
1. Do not scale from this drawing
 2. Check all levels and dimensions on site before executing work
 3. Report any discrepancy to the Client immediately
 4. Execute all work in accordance with all laws, regulations and by-laws



SHER+WHITE dMFK

CONTACT:

Deborah Sher 07966 205 219
Gemma White 07711 605 633

PROJECT:
62_Parliament Hill

CLIENT:
P.Popp

DRAWING: PROPOSED BASEMENT PLAN		
2101/PL.13_A		
format:	scale:	date:
A1	1:50	APR 21

Notes

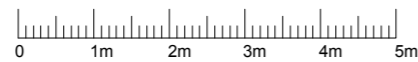
1. New painted timber panelled entrance door to lower ground floor, in amended opening
2. New painted double glazed timber-framed sash windows in existing opening, to match existing, with stained glass panels as existing
3. New bike store
4. Communal front door to all flats
5. Existing lower ground floor 'coal store/bathroom' space
6. New side access gate



NOTES:

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2. Check all levels and dimensions on site before executing work
3. Report any discrepancy to the Client immediately
4. Execute all work in accordance with all laws, regulations and by-laws

REVISIONS:
A



SHER + WHITE **dmfk**

CONTACT:

Deborah Sher 07966 205 219
Gemma White 07711 605 633

PROJECT:
62_Parliament Hill

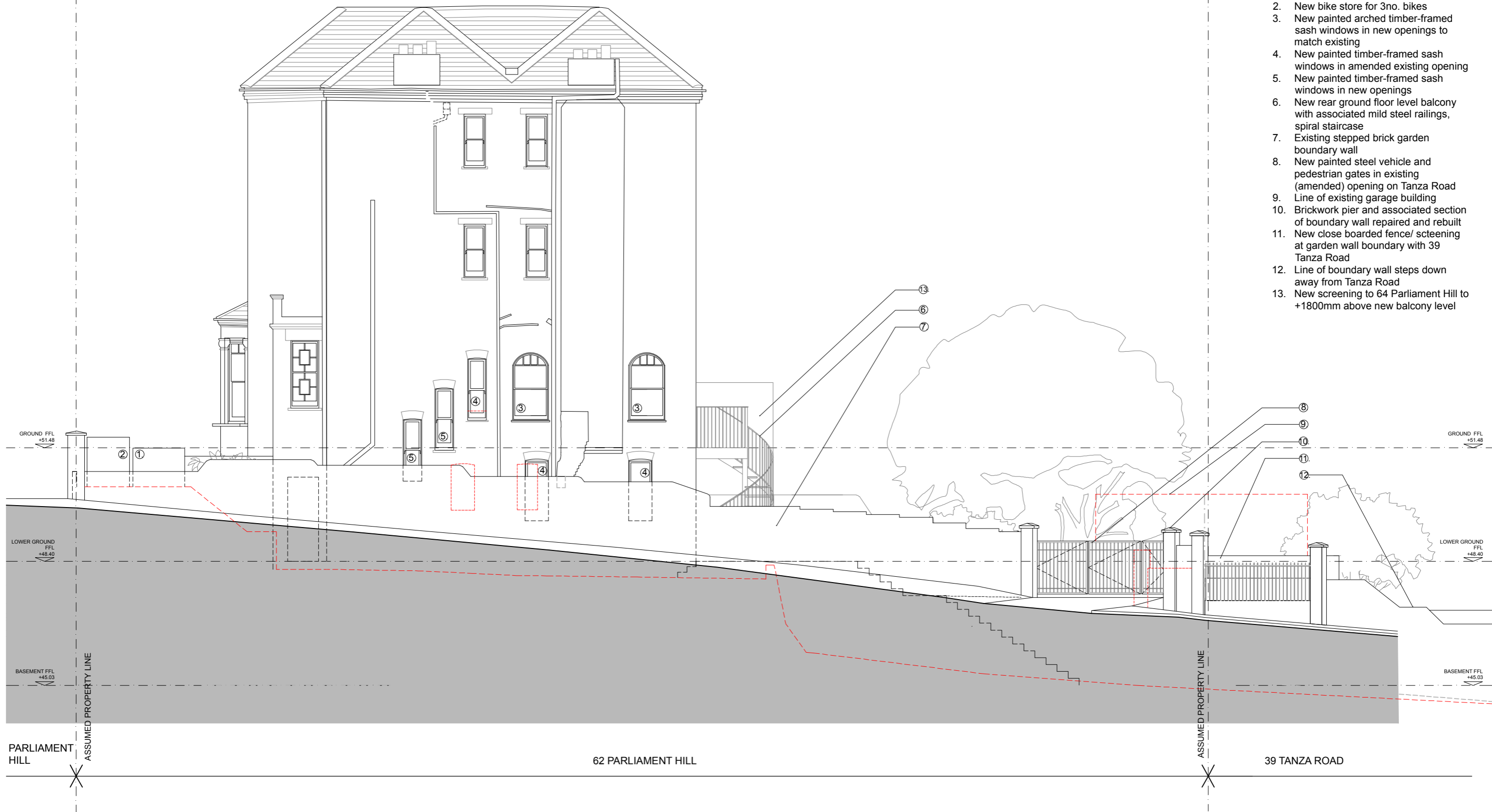
CLIENT:
P.Popp

DRAWING:
**PROPOSED FRONT (WEST)
ELEVATIONS 1 AND 3
2101/PL.21_B**

format:	scale:	date:
A1	1:50	APR 21

Notes

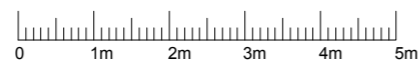
1. New bin store for 2no. wheelie bins
2. New bike store for 3no. bikes
3. New painted arched timber-framed sash windows in new openings to match existing
4. New painted timber-framed sash windows in amended existing opening
5. New painted timber-framed sash windows in new openings
6. New rear ground floor level balcony with associated mild steel railings, spiral staircase
7. Existing stepped brick garden boundary wall
8. New painted steel vehicle and pedestrian gates in existing (amended) opening on Tanza Road
9. Line of existing garage building
10. Brickwork pier and associated section of boundary wall repaired and rebuilt
11. New close boarded fence/ screening at garden wall boundary with 39 Tanza Road
12. Line of boundary wall steps down away from Tanza Road
13. New screening to 64 Parliament Hill to +1800mm above new balcony level



NOTES:

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4. Execute all work in accordance with all laws, regulations and by-laws

REVISIONS:



SHER + WHITE dMFK

CONTACT:

Deborah Sher 07966 205 219
Gemma White 07711 605 633

PROJECT:
62_Parliament Hill

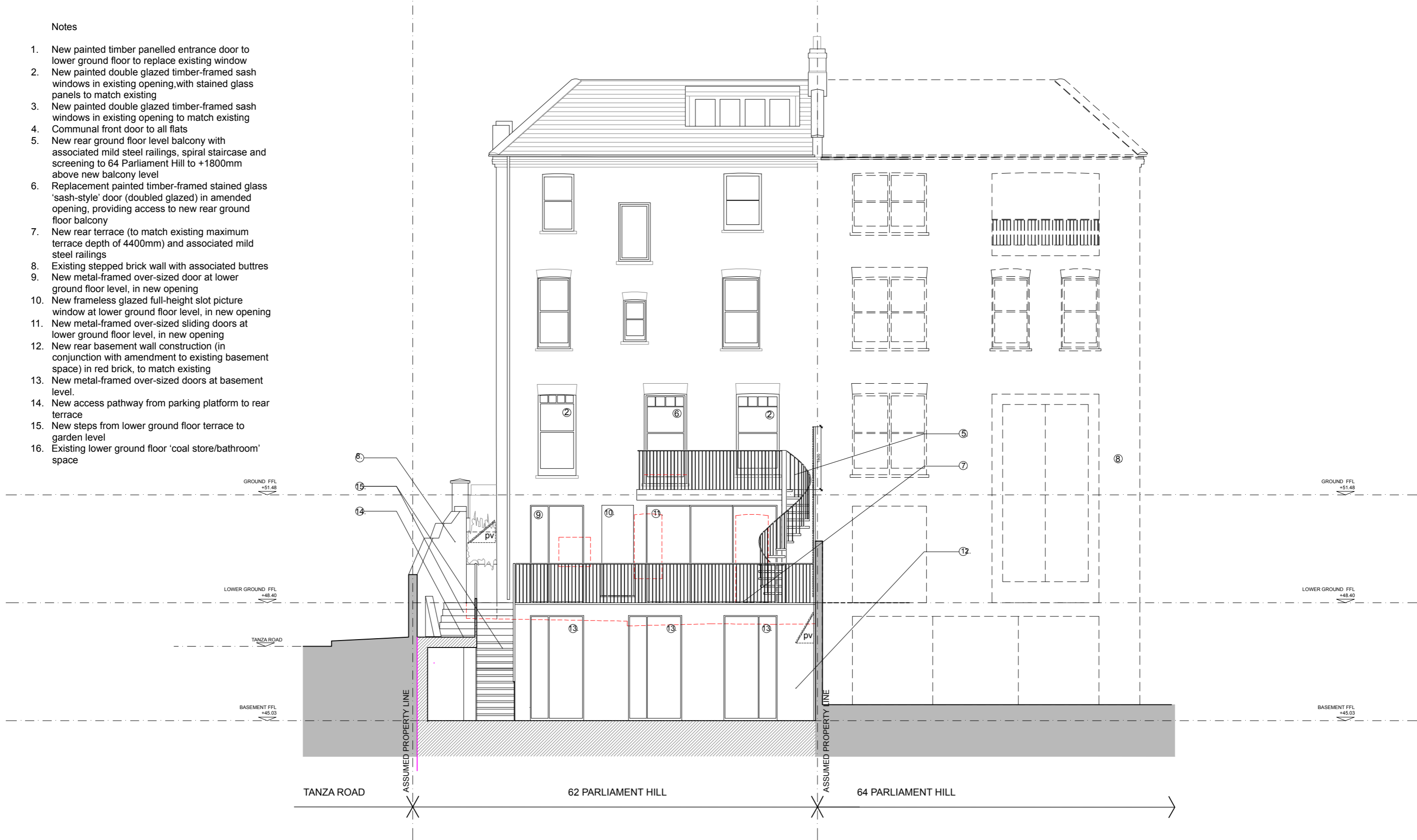
CLIENT:
P.Popp

DRAWING:
SIDE (SOUTH) ELEVATION 2
(TANZA ROAD ELEVATION)
2101/PL.22_A

format:	scale:	date:
A1	1:50	APR 21

Notes

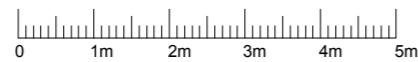
1. New painted timber panelled entrance door to lower ground floor to replace existing window
2. New painted double glazed timber-framed sash windows in existing opening, with stained glass panels to match existing
3. New painted double glazed timber-framed sash windows in existing opening to match existing
4. Communal front door to all flats
5. New rear ground floor level balcony with associated mild steel railings, spiral staircase and screening to 64 Parliament Hill to +1800mm above new balcony level
6. Replacement painted timber-framed stained glass 'sash-style' door (doubled glazed) in amended opening, providing access to new rear ground floor balcony
7. New rear terrace (to match existing maximum terrace depth of 4400mm) and associated mild steel railings
8. Existing stepped brick wall with associated buttres
9. New metal-framed over-sized door at lower ground floor level, in new opening
10. New frameless glazed full-height slot picture window at lower ground floor level, in new opening
11. New metal-framed over-sized sliding doors at lower ground floor level, in new opening
12. New rear basement wall construction (in conjunction with amendment to existing basement space) in red brick, to match existing
13. New metal-framed over-sized doors at basement level.
14. New access pathway from parking platform to rear terrace
15. New steps from lower ground floor terrace to garden level
16. Existing lower ground floor 'coal store/bathroom' space



NOTES:

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2. Check all levels and dimensions on site before executing work
3. Report any discrepancy to the Client immediately
4. Execute all work in accordance with all laws, regulations and by-laws

REVISIONS:



SHER + WHITE dmfk

CONTACT:

Deborah Sher 07966 205 219
Gemma White 07711 605 633

PROJECT:
62_Parliament Hill

CLIENT:
P.Popp

DRAWING:
**PROPOSED
REAR (EAST) ELEVATION 4
2101/PL.23_A**

format:	scale:	date:
A1	1:50	APR 21

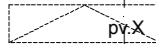
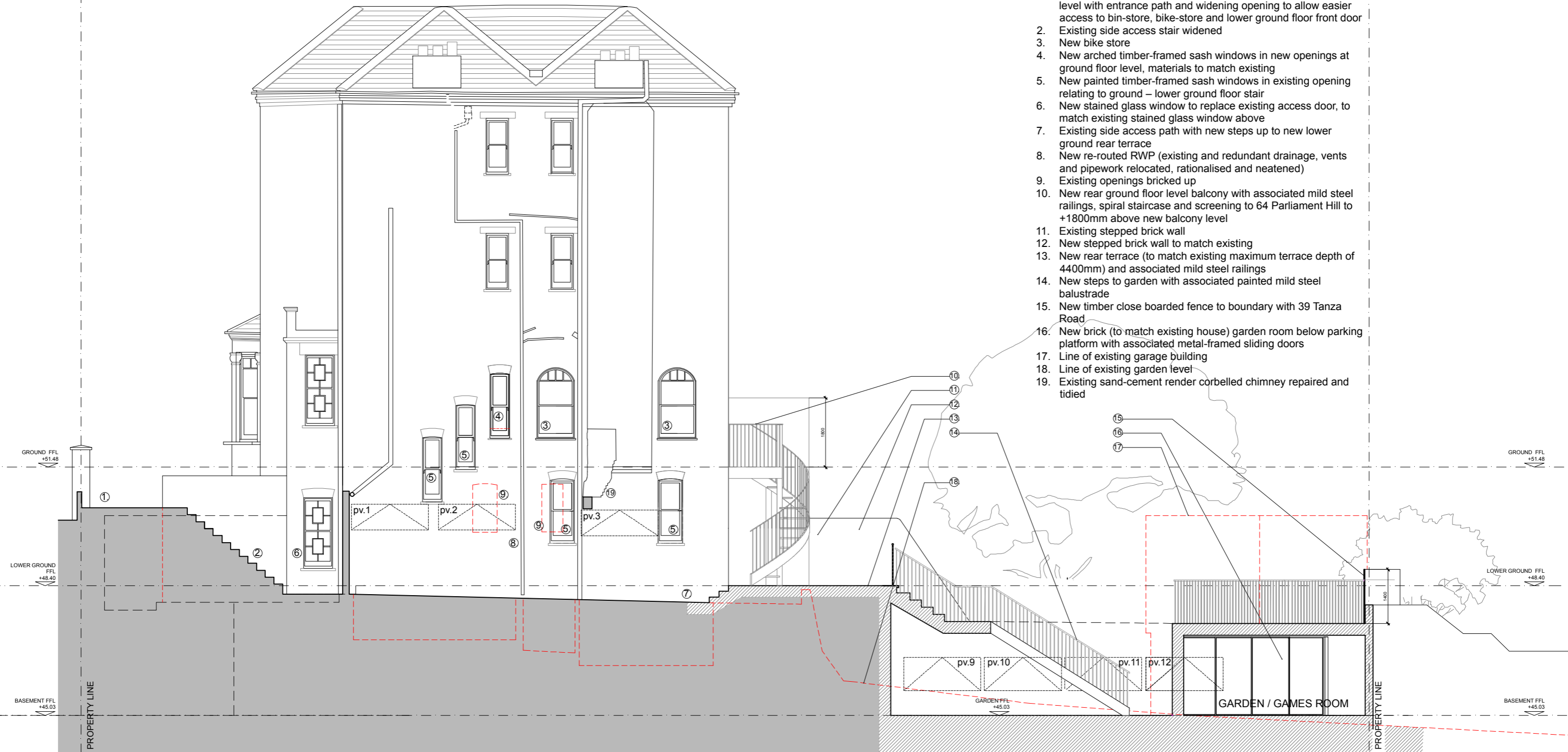


PHOTO VOLTAIC TILE

nb: suggested location
size/shape shown to demonstrate required angle

Notes

1. Alterations to front access and right side path including making level with entrance path and widening opening to allow easier access to bin-store, bike-store and lower ground floor front door
2. Existing side access stair widened
3. New bike store
4. New arched timber-framed sash windows in new openings at ground floor level, materials to match existing
5. New painted timber-framed sash windows in existing opening relating to ground – lower ground floor stair
6. New stained glass window to replace existing access door, to match existing stained glass window above
7. Existing side access path with new steps up to new lower ground rear terrace
8. New re-routed RWP (existing and redundant drainage, vents and pipework relocated, rationalised and neatened)
9. Existing openings bricked up
10. New rear ground floor level balcony with associated mild steel railings, spiral staircase and screening to 64 Parliament Hill to +1800mm above new balcony level
11. Existing stepped brick wall
12. New stepped brick wall to match existing
13. New rear terrace (to match existing maximum terrace depth of 4400mm) and associated mild steel railings
14. New steps to garden with associated painted mild steel balustrade
15. New timber close boarded fence to boundary with 39 Tanza Road
16. New brick (to match existing house) garden room below parking platform with associated metal-framed sliding doors
17. Line of existing garage building
18. Line of existing garden level
19. Existing sand-cement render corbelled chimney repaired and tidied



PARLIAMENT HILL 62 PARLIAMENT HILL 39 TANZA ROAD

NOTES:

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4. Execute all work in accordance with all laws, regulations and by-laws

REVISIONS:

SHER + WHITE dmfk

CONTACT:

Deborah Sher 07966 205 219
Gemma White 07711 605 633

PROJECT:
62_Parliament Hill

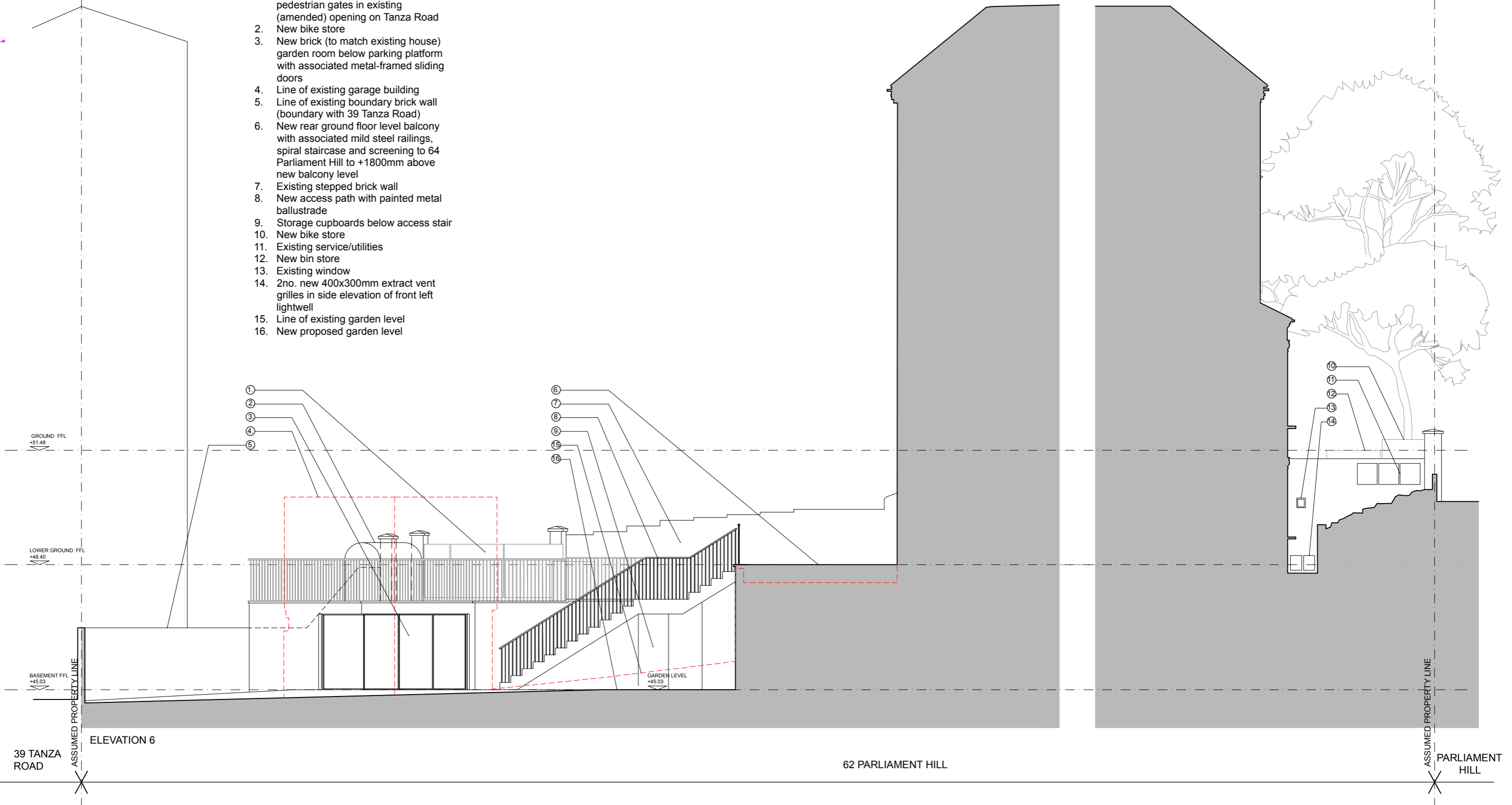
CLIENT:
P.Popp

DRAWING:
SIDE (SOUTH) ELEVATION 5
2101/PL.24_B

format:	scale:	date:
A1	1:50	APR 21

Notes

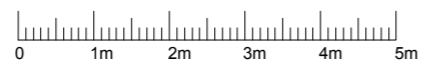
1. New painted steel vehicle and pedestrian gates in existing (amended) opening on Tanza Road
2. New bike store
3. New brick (to match existing house) garden room below parking platform with associated metal-framed sliding doors
4. Line of existing garage building
5. Line of existing boundary brick wall (boundary with 39 Tanza Road)
6. New rear ground floor level balcony with associated mild steel railings, spiral staircase and screening to 64 Parliament Hill to +1800mm above new balcony level
7. Existing stepped brick wall
8. New access path with painted metal balustrade
9. Storage cupboards below access stair
10. New bike store
11. Existing service/utilities
12. New bin store
13. Existing window
14. 2no. new 400x300mm extract vent grilles in side elevation of front left lightwell
15. Line of existing garden level
16. New proposed garden level



NOTES:

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REVISIONS:



SHER + WHITE dmfk

CONTACT:

Deborah Sher 07966 205 219
Gemma White 07711 605 633

PROJECT:
62_Parliament Hill

CLIENT:
P.Popp

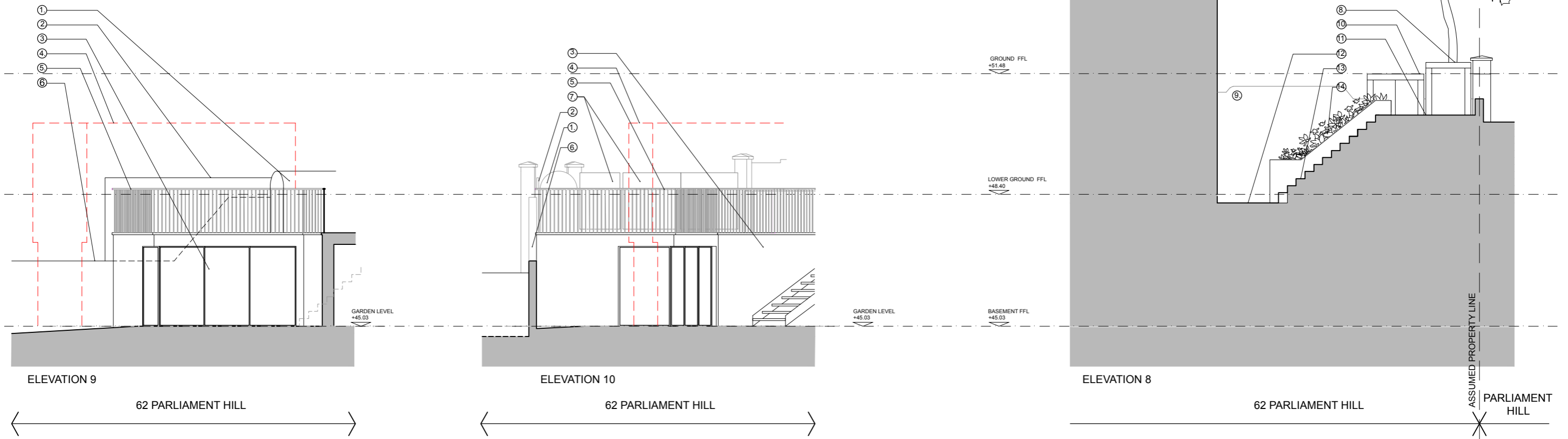
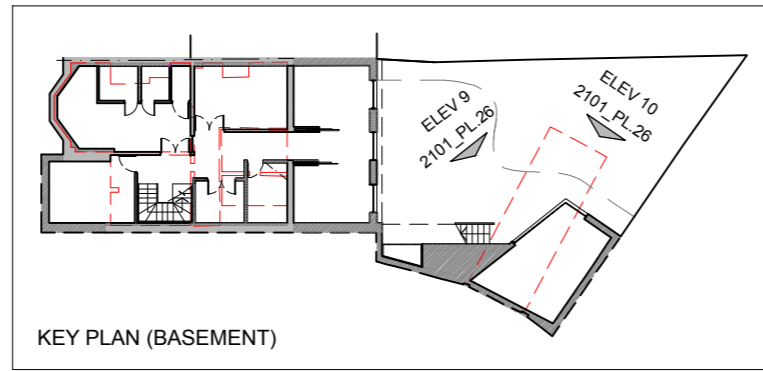
DRAWING:
SIDE (NORTH) ELEVATION 6

2101/PL.25_A

format:	scale:	date:
A1	1:50	APR 21

Notes

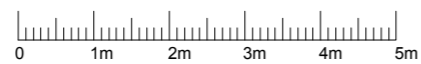
1. New bike store
2. New timber close boarded fence to boundary with 39 Tanza Road
3. New brick (to match existing house) garden room below parking platform with associated metal-framed sliding doors
4. Line of existing garage building
5. New black painted mild steel railings
6. Existing stepped brick wall (boundary with 39 Tanza Road)
7. New painted steel vehicle and pedestrian gates in existing (amended) opening on Tanza Road
8. New bike store
9. Existing stepped boundary wall to Tanza Road
10. New bin store
11. Alterations to front access and right side path including making level with entrance path and widening opening to allow easier access to bin-store, bike-store and lower ground floor front door
12. Existing LG floor external path
13. Existing side access stair widened
14. Renewed landscaping down to lower ground floor level



NOTES:

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REVISIONS:



SHER + WHITE dmfk

CONTACT:

Deborah Sher 07966 205 219
Gemma White 07711 605 633

PROJECT:
62_Parliament Hill

CLIENT:
P.Popp

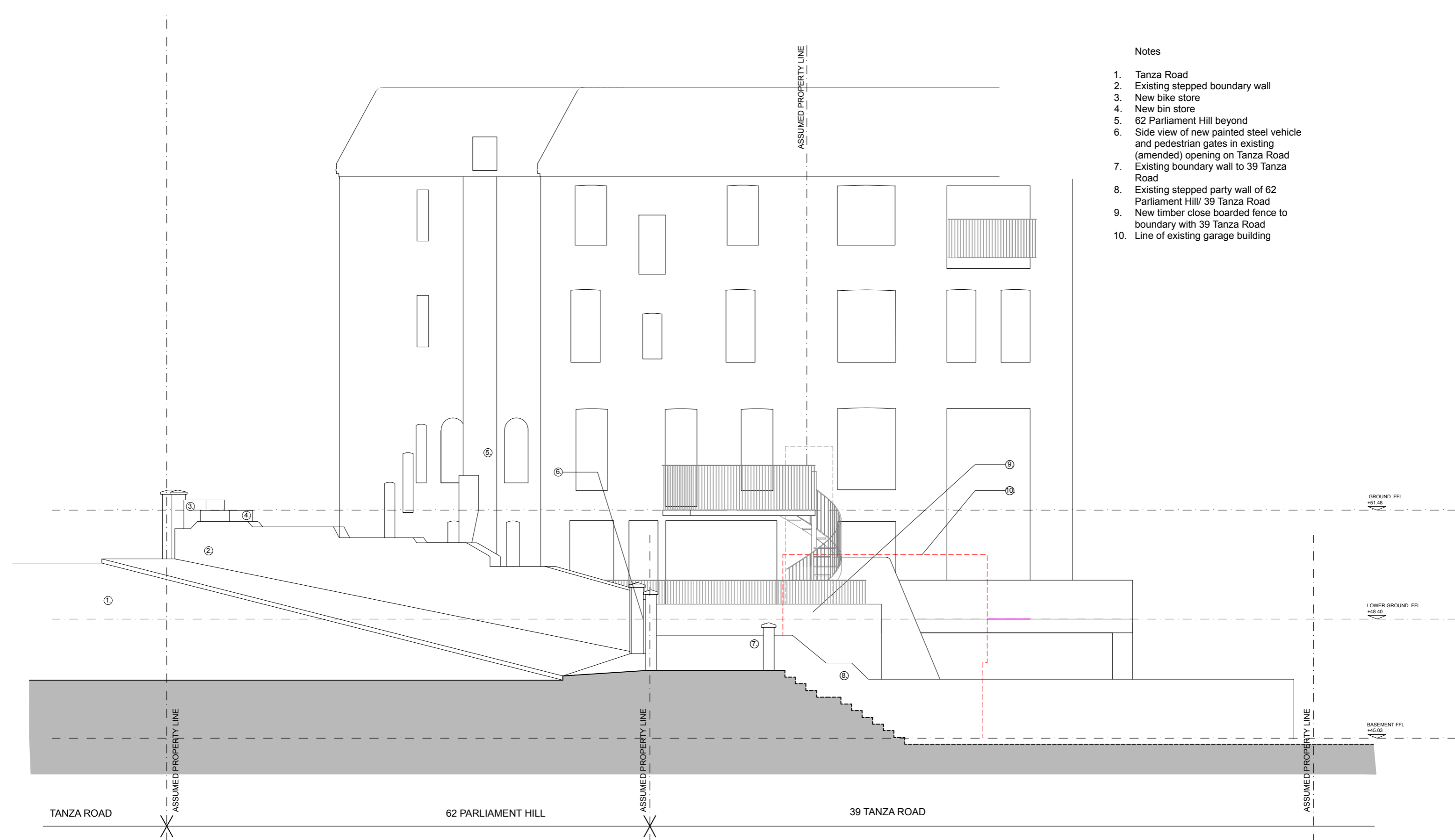
DRAWING:
SIDE (NORTH) ELEVATIONS 8,9 & 10

2101/PL.26_A

format:	scale:	date:
A1	1:50	APR 21

Notes

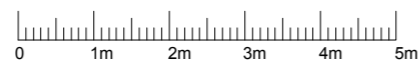
1. Tanza Road
2. Existing stepped boundary wall
3. New bike store
4. New bin store
5. 62 Parliament Hill beyond
6. Side view of new painted steel vehicle and pedestrian gates in existing (amended) opening on Tanza Road
7. Existing boundary wall to 39 Tanza Road
8. Existing stepped party wall of 62 Parliament Hill/ 39 Tanza Road
9. New timber close boarded fence to boundary with 39 Tanza Road
10. Line of existing garage building



NOTES:

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REVISIONS:



SHER + WHITE dmfk

CONTACT:





Deborah Sher 07966 205 219
Gemma White 07711 605 633

PROJECT:
62_Parliament Hill

CLIENT:
P.Popp

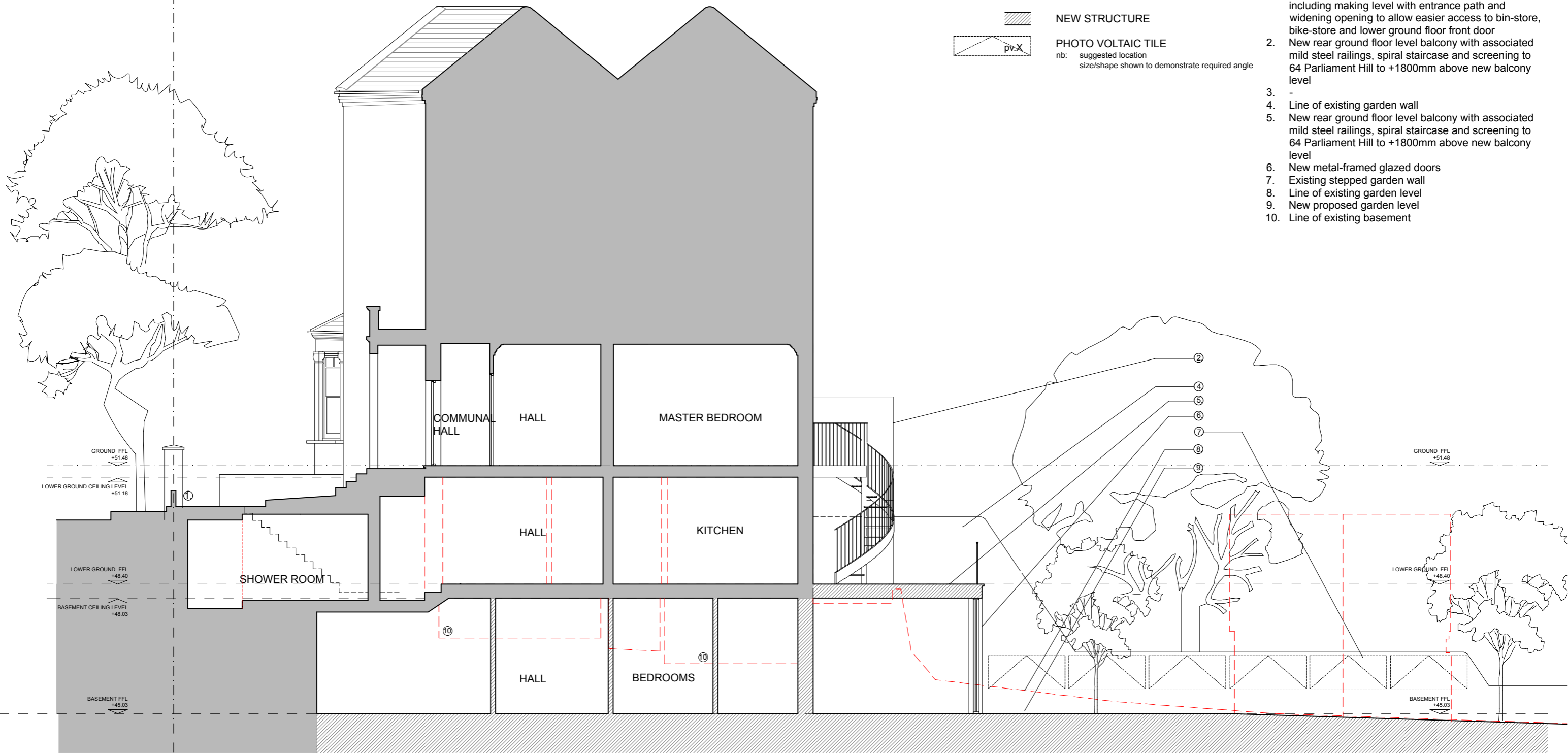
DRAWING:
**SOUTH EAST
BOUNDARY ELEVATION 11
2101/PL.27_A**

format:	scale:	date:
A1	1:50	APR 21

-  EXISTING STRUCTURE
-  EXISTING STRUCTURE REMOVED
-  NEW STRUCTURE
-  PHOTO VOLTAIC TILE
nb: suggested location
size/shape shown to demonstrate required angle

Notes

1. Alterations to front access and right side path including making level with entrance path and widening opening to allow easier access to bin-store, bike-store and lower ground floor front door
2. New rear ground floor level balcony with associated mild steel railings, spiral staircase and screening to 64 Parliament Hill to +1800mm above new balcony level
3. -
4. Line of existing garden wall
5. New rear ground floor level balcony with associated mild steel railings, spiral staircase and screening to 64 Parliament Hill to +1800mm above new balcony level
6. New metal-framed glazed doors
7. Existing stepped garden wall
8. Line of existing garden level
9. New proposed garden level
10. Line of existing basement



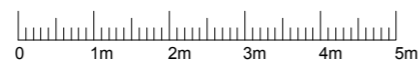
PARLIAMENT HILL

62 PARLIAMENT HILL

NOTES:

1. Do not scale from this drawing
2. Check all levels and dimensions on site before executing work
3. Report any discrepancy to the Client immediately
4. Execute all work in accordance with all laws, regulations and by-laws

REVISIONS:



SHER + WHITE dmfk

CONTACT:

Deborah Sher 07966 205 219
Gemma White 07711 605 633

PROJECT:
62_Parliament Hill

CLIENT:
P.Popp

DRAWING:
LONG SECTION A-A

2101/PL.28_B

format:	scale:	date:
A1	1:50	APR 21