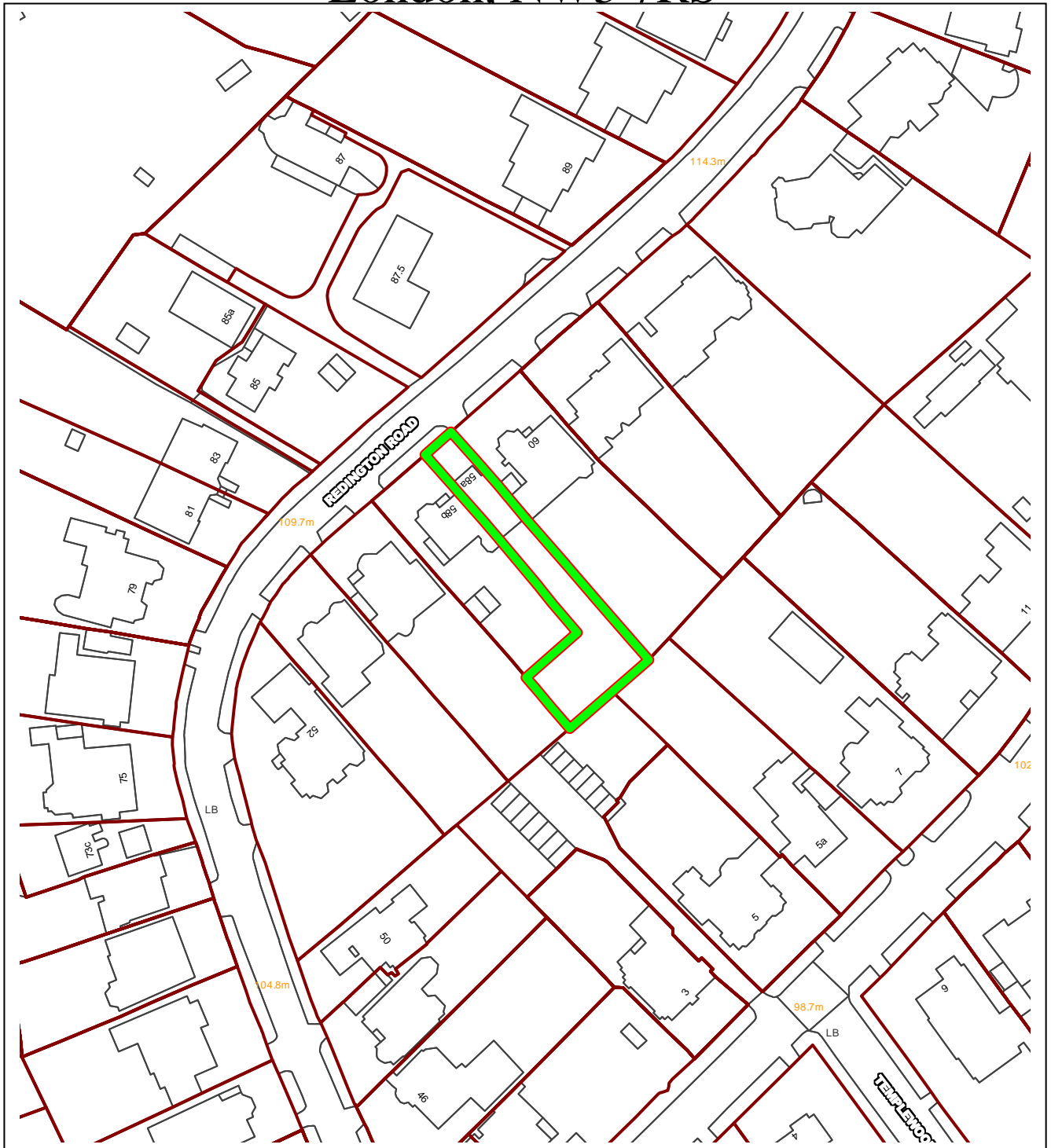


2018/5112/P 58A Redington Road, London. NW3 7RS



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1. Front Elevation of No. 58A Redington Road.



2. Rear Elevation of No. 58A Redington Road.



3. Site Outline.



4. Existing Chimney windows in vicinity.



5. Existing front dormer features in vicinity.

Delegated Report		Analysis sheet		Expiry Date:	26/07/2019
(Member's Briefing)		N/A		Consultation Expiry Date:	17/12/2018
Officer			Application Numbers		
Samir Benmbarek			2018/5112/P		
Application Address			Drawing Numbers		
58A Redington Road London NW3 7RS			Refer to draft decision notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Erection of four-storey dwelling house (including basement excavation) following demolition of existing dwelling house					
Recommendation:	Grant Conditional Permission subject to Section 106 Agreement				
Application Type:	Full Planning Permission				

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:			No. of responses	00	No. of objections	00
Summary of consultation responses:	<p>Site notices were displayed in close proximity to the site from 28/11/2018 (expiring on 22/12/2018) and a press noticed was displayed in the local press from 29/11/2018 (expiring on 23/12/2018).</p> <p>3x objections were received from the following addresses:</p> <ul style="list-style-type: none"> • Flat 2, 62 Redington Road • 58 Redington Road • 58B Redington Road <p>Their comments are as summarised below:</p> <ol style="list-style-type: none"> 1. The proposal fails to comply with Camden’s basement development policies; 2. Detriment to the existing foundations of application and neighbouring properties; 3. Proposal is overdevelopment; 4. Inappropriate height of the development; 5. Impact upon neighbouring amenity as a result of the development; 6. No daylight or sunlight report has been submitted 7. Noise and disruption impacts as a result of the development; 8. Traffic impacts during the same time as development works at No 52 and 66 Redington Road, particularly after traffic impacts during works to No. 93; 9. Green roof may be used a balcony or deck that would increase opportunities of overlooking 10. Objection to the proposed lift in regards to noise and vibration; 11. No arboricultural report has been submitted; <p><i>Officer’s Comments</i></p> <ol style="list-style-type: none"> 1. <i>Please refer to section 8.0 of this report;</i> 2. <i>Please refer to section 8.0 of this report;</i> 3. <i>Please refer to section 4.0 of this report;</i> 4. <i>Please refer to section 6.0 of this report;</i> 5. <i>Please refer to section 6.0 and 7.0 of this report;</i> 6. <i>Please refer to section 6.0 of this report;</i> 7. <i>Please refer to section 7.0 of this report;</i> 8. <i>The Council would have no control on the use of the green roof as a terrace although no balustrading or similar around the roof has been proposed in the development;</i> 9. <i>The proposed lift would be in the internal envelope of the building and is not considered to cause an adverse impact on noise to neighbouring occupiers;</i> 10. <i>Please refer to section 9.0 of this report.</i> 					

The **Redington Frognal CAAC** were formally consulted. They responded objecting the proposed development.

Their response is as summarised below:

1. Objects to the proposed demolition of a major part of this single house in which is general massing forms a positive contributor. The present state should not be compromised, originally designed and modified as one building, maintaining the existing composition and interest, not to be regarded as a semi-detached pair;
2. Reconsider the position of the demolition of the existing building in accordance with the Redington Frognal Neighbourhood Plan;
3. The replacement dwelling is not beneficial offering a bland replication of the existing form and reduced detail against the visible character of the existing front details;
4. The present building fabric should be retained and sustained; not demolished and rebuilt and pastiche replica;
5. The property might benefit from demolition of the stated structurally at risk rear extension with the hope of an improved replacement bearing in mind the strident quality of the existing design and opportunity to update its planning and environmental performance.
6. A replacement building located hard to the south boundary is unacceptable as closing the essential gap between buildings affording views of rear foliage (trees) an essential characteristic of the Redington Frognal area
7. The queried chimney windows; in pre-app are now proposed in this submission
8. Internal floor structures in existing building can be altered instead of redeveloping site;
9. There is proposed substantial reduction (40 sq.m) of rear garden green landscaping and apparently an equal increase in hard landscaping, which swap must be unacceptable. We would ask for re-balancing of this adverse result.
10. The proposal also doubles the gross internal floor area whose footprint entails arguably unnecessary rear garden take up;
11. Applicant details existing building as 'unfit for purpose' but this is a typical issue of historic heritage buildings;
12. Reduction of 12% of carbon emissions is unambitious;
13. Alterations to the front elevation to overcome the development not being "in-keeping" with the area;

CAAC Comments

Officer's Comments

1. *The building is not considered a positive contributor. Please refer to section 4.0 for full design assessment;*
2. *Please refer to section 4.0 and 10.0 of this report; it should be noted that the Redington Frognal Neighbourhood Plan has not been adopted by the Council as it is still in the draft stages and therefore has little to no weight;*
3. *Please refer to section 4.0 of this report;*
4. *Please refer to section 4.0 and 10.0 of this report;*
5. *Please refer to section 4.0 and 10.0 of this report;*
6. *Please refer to section 4.0 of this report;*
7. *Please refer to section 4.0 of this report;*
8. *This is an internal issue not controlled by planning;*
9. *There would be a large reasonable amount of outdoor amenity space as a result of this development;*
10. *There would be a large reasonable amount of outdoor amenity space*

- as a result of this development;*
- 11. Please refer to section 4.0 and 10.0 of this report;*
 - 12. Please refer to section 10.0 of this report;*
 - 13. Please refer to section 4.0 of this report.*

The Redington Froggnal Association responded objecting to the proposed development. Their comments are as summarised below:

1. The development is contrary to the guidelines and policies as set out in the Camden Local Plan and/or the Redington Froggnal Conservation Area Appraisal
2. The proposed front boundary is alien and inappropriate to the conservation area
3. The development would result in the closure of an existing gap in which gaps are an important feature of the conservation area;
4. No provision is made for tree planting or any other biodiversity enhancing measures;
5. The proposed basement is contrary to policy A5 of the Camden Local Plan;
6. Tree plan has not been submitted;
7. Concerned of noise and vibration impact of the proposed internal lift;
8. No analysis of the impact of the new building on regards to visual privacy and outlook;
9. Objection to the proposed front car-parking space within the front garden;
10. The submitted BIA should make reference to the underground rivers map.

Officer's Comments

- 1. On balance, it is considered that the proposal is acceptable; this report discusses all considerations of the development;*
- 2. Please refer to section 4.0 of this report;*
- 3. Please refer to section 4.0 of this report;*
- 4. Please refer to section 9.0 of this report;*
- 5. Please refer to section 8.0 of this report;*
- 6. Please refer to section 9.0 of this report;*
- 7. The proposed lift would be in the internal envelope of the building and is not considered to cause an adverse impact on noise to neighbouring occupiers*
- 8. Please refer to section 6.0 of this report;*
- 9. Please refer to section 7.0 of this report;*
- 10. Please refer to section 8.0 of this report.*

Site Description

The application related to a four-storey semi-detached house on the eastern side of Redington Road. The site is located within the Redington Frogna Conservation Area; it is not listed, nor is it described as a site that makes a positive contribution to the conservation area.

The surrounding area is predominantly residential consisting of large detached dwelling within long plots of various size and design. Semi-detached houses are not predominant on this side of the road and it is apparent that No. 58A was a later addition added to No. 58 Redington Road or an alteration to it sometime in the past in which no planning history can be found of this.

Relevant History

No. 58A Redington Road

23948- The erection of a 4 double and 2 single garages at 58/58A Redington Road, Hampstead.
Refused 16/03/1962.

23543- The retention of the basement level and porch front extensions, the means of access to the highway and alterations to the front fenestration.

Granted- 28/01/1977.

No. 58 Redington Road

8601562- Erection of a single storey extension in rear garden to enlarge kitchen and provide breakfast room as shown on drawings No. 191/1 and 2.

Granted 05/11/1986.

2596- The erection of a single storey extension to the kitchen at the rear of the garden floor of No. 58 Redington Road, NW3.

Granted 07/09/1970.

Relevant policies

National Planning Policy Framework 2019

The London Plan 2016

Mayor's Supplementary Planning Guidance

Camden Local Plan 2017

G1 (Delivery and location of growth)

H1 (Maximising housing supply)

H3 (Protecting existing homes)

H4 (Maximising the supply of affordable housing)

H6 (Housing choice and mix)

H7 (Large and small homes)

C6 (Access for all)

A1 (Managing the impact of development)

A3 (Protection, enhancement and management of biodiversity)

A4 (Noise and vibration)

A5 (Basement)

D1 (Design)

D2 (Heritage)

CC1 (Climate change mitigation)

CC2 (Adapting to climate change)

CC3 (Water and flooding)

CC4 (Air quality)

CC5 (Waste)

T1 (Prioritising walking, cycling and public transport)
T2 (Parking and car-free development)
T4 (Sustainable movement of goods and materials)
DM1 (Delivery and monitoring)

Camden Supplementary Planning Guidance

Access for all (March 2019)
Altering and extending your home (March 2019)
Amenity (March 2018)
Design (March 2019)
Developer Contributions (March 2019)
Interim Housing (March 2019)
Transport (March 2019)
Water and flooding (March 2019)

Draft Redington Frogna! Neighbourhood Plan (Revised) July 2019

This document has very limited weight as it has not been adopted.

SD1 (New developments and refurbishment of existing housing stock)
SD2 (Protection of undesignated heritage assets)
SD3 (Car-free development)
SD4 (Sustainable design and Redington Frogna! character)
BGI 1 (Rear gardens and ecology)
BGI 2 (Front and side gardens; front boundary treatments for new developments)
UD1 (Underground development and basements)

Redington Frogna! Conservation Area Statement 2000.

1. Proposal

- 1.1 Planning permission is sought for the erection of a single dwellinghouse at No. 58A Redington Road following the demolition of the existing dwellinghouse. The proposed dwellinghouse would be five storeys in height (including a basement level) and would provide 547sqm of residential floorspace. This would be an increase of 263sqm of floorspace in comparison to the GIA of the existing dwelling of 286sqm.
- 1.2 The proposed dwelling house would be constructed of fair-faced red brickwork (with the intention to use the existing red brickwork from the demolition of the existing dwelling house); traditional brickwork detailing (coursing, window heads, etc.), traditional handmade ceramic tiles, and timber framed sash windows. These materials have been chosen to match that of the proposal's immediate neighbours and the general material palette of the vicinity. The proposed front boundary treatment would be traditional brickwork posts and panels matching the neighbouring front boundary with the proposed gates to be of oak and wrought iron. At the rear, the proposed dwelling house would feature a green sedum roof at first floor level.
- 1.3 The form of the development is similar to that of the existing building in which it features a hipped roof with a chimney. The scale of the new dwelling would be larger in scale in comparison to the existing and within the site, it would be within the same position as the existing building. On the front elevation, the proposal would feature a front dormer window and bay windows and a conservation style rooflight.
- 1.4 The proposed basement excavation depth would be 3.9m from the existing lower ground floor level. The excavation would encompass the entire width of the plot at 7.0m and would extend at a length of 26.7m along the boundaries with No. 60 and 56B Redington Road. The associated new front lightwell (which would replace the existing one at lower ground floor level) would extend outwards by 2.0m and have a width of 2.3m. This would be contained within the envelope of the front garden. The proposed rear lightwell (at lower ground floor level) would measure 2.5m in width.
- 1.5 Revisions to the scheme were made during the course of this application. This included namely the incorporation of soft landscaping into the front garden of the new development.
- 1.6 The main issues for consideration are:
- Land use and dwelling mix;
 - Affordable housing;
 - Design and conservation;
 - Standard of the proposed living accommodation;
 - Neighbour amenity;
 - Transport impact;
 - Basement impact;
 - Trees and Landscaping
 - Sustainable design and construction;
 - Community Infrastructure Levy (CIL)

- S106 obligations

2. Land use and dwelling mix

- 2.1 Self-contained housing is the priority land-use of the Local Plan. In particular, policy H1 aims to secure a sufficient supply of homes to meet the needs of existing and future households by maximising the supply of housing. Furthermore, policy H3 of the Local Plan states that the Council will resist developments that results in a net loss of residential floorspace, and usually, resist developments that results in the loss of more than one existing home. As the proposed development concerns the erection of a larger single dwelling house following the demolition of 1x existing dwelling house, which would still provide a C3 use, it is considered that the proposed development in land use terms is acceptable.
- 2.2 Policy H7 of the Local Plan seeks to secure a range of homes of different sizes in all residential development and will seek to ensure that all residential development contributes to meeting the priorities as set out in the Dwelling Sizes Priority Table. The Priority Table indicates that market housing with 2 or 3 bedrooms are the highest priority and most sought after unit size. Policy H7 defines large homes as homes with 3 bedrooms or more and small as units of less than 3 bedrooms.
- 2.3 The proposed development would comprise of 1x 5 bedroom unit. In this instance, the dwelling mix is considered acceptable given that only one home is being developed and the proposed dwelling house matches the character of the vicinity that is of predominantly larger suburban family dwelling houses. Furthermore, the proposed dwelling house in terms of its use and density matches that of the existing dwelling house.

3. Affordable Housing

- 3.1 Policy H4 of the Local Plan expects a contribution to affordable housing from all developments that provide one or more additional homes and involve a total addition to the residential floorspace of 100sqm or more. This is based on the assessment where 100sqm of floorspace is considered to provide capacity for one home. In developments that provide less than 10 units, affordable housing contributions can take the form of a payment in lieu (PIL).
- 3.2 As the proposed development is replacing the existing dwelling house and is not providing any additional residential units, planning permission for this scheme is not subject to an affordable housing contribution.

4. Design

- 4.1 The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should consider the character, setting, context and the form and scale of the neighbouring buildings, and the quality of materials to be used. Within areas of distinctive character or adjacent to one, it is considered development should reinforce those elements which contribute to and create the character in line with policy D2.
- 4.2 The existing context of Redington Road is of large detached and semi-detached late Victorian and early 20th century dwelling houses within large garden plots. The dwelling houses are developed towards the front of the site resulting in large rear gardens and sufficiently sized front gardens that allow for a car-parking space. Furthermore, the topography of the area provides a sloped street at the front and sweeping gardens to the rear. Red brick is heavily used as evident within the construction of the dwelling houses and the front boundary wall treatments.

Demolition of existing dwelling house

4.3 Within the Redington Froggnal Conservation Area Statement, paragraph RF3 reads “ *The Council will seek the retention of those buildings which are considered to make a positive contribution to the Conservation Area, and will only grant consent for demolition where it can be shown that the building detracts from the character of the area. Consent will not be granted for demolition unless a redevelopment scheme has been approved which will preserve or enhance the Conservation Area*”.

4.4 The existing building is not considered to be of any particular architectural or important merit to the local area. This is by reason of the building not being statutorily listed, nor it being described as a building that makes a positive contribution to the Redington Froggnal Conservation Area. Furthermore, as explained in detail below, the proposed new dwelling house is considered to be a development that preserves and enhances the conservation area. As such, the demolition of the existing dwelling house in principle on design and conservation grounds is not objected to by the Council.

4.5 The Council’s considerations on the demolition of the existing dwelling house on sustainability grounds can be found in section 10 of this report.

Scale, bulk and form

4.6 CPG Design specifies that good design should respond appropriately to the existing context by carefully responding to the scale, massing and height of adjoining buildings and the general pattern of heights in the surrounding area while ensuring the that proposal overall integrates well with the surrounding area. In addition, the Redington Froggnal Conservation Area Statement states “*Applicants will be required to demonstrate that their proposal respects and reflects the context in terms of scale, height, massing and relationship to the street*”.

4.7 As mentioned previously, the typology of Redington Road is of detached and semi-detached dwelling houses that are four storeys in height, but due to the topography and levelling between the plots and the street, appear as two or three storey dwelling houses along the street.

4.8 The proposed dwelling house reflects on this established height observed along the street and terminates at a matching height to its neighbour at No. 58B Redington Road, providing what appears as a two/three storey above ground semi-detached dwelling house. Furthermore, the terminating height of the proposed dwelling house matches that of the demolished dwelling house and, as such, the height does not deviate from the general terminating height of the dwelling along the vicinity.

4.9 The proposed footprint and scale of the development is considered acceptable. The proposed dwellinghouse (at ground floor level) would have a depth of 16.3m built up along the shared wall with No. 58B Redington Road. At the rear, the proposed rear projection would extend at 4.2m from the rear of building core in the same scale and depth as the existing dwelling house. As the footprint of the proposed building from ground floor and above is similar to that of the existing dwelling house, overall, it is considered that the scale and bulk (above ground) is considered acceptable and that the proposed dwelling house would not be an overbearing element within the conservation area.

4.10 Due to the new roof form of the proposed dwelling house, concerns have been raised through consultation in regards to the closing of the gap between the application site and No. 60 Redington Road. On consideration, it is considered that the gap is not of merit as there is already some existing built development between the two houses; the proposed roof would still provide some element of gap and as a result of the development, Nos. 58A and 60 can still be read as two separate built forms along the streetscene.

4.11 At the front of the proposed building, the front elevation line would generally mirror that of No. 58B Redington Road and the building would not be developed further than No. 58B (and No. 58). A front garden would be developed and overall, the proposed dwelling house would resemble the scale and typology of the dwelling houses within the large garden plots as

described previously.

Detailed Design

- 4.12 In regards to detailed design, CPG Design reads that the design of the building should seek to contribute to the character, seek to provide visual interest and be contextual in terms of its texture, colour, pattern and patina of materials. The Redington Froggnal Conservation Area Statement reads that original detailing should either be retained in incorporated into new development.
- 4.13 The proposed materials for the exterior of the proposed dwelling house comprise of matching red brickwork, handmade ceramic tiles and timber framed windows. The proposed material choice for the proposed dwelling is considered appropriate and sympathetic as it matches the established material palette of this section of Redington Road.
- 4.14 At the front of the site, the new proposed front boundary treatment would be matching red brickwork with brick posts and timber gates. The side boundary wall would also be constructed of red brickwork with timber fencing. Although the front boundary treatment would be the same as the existing (in which there is no front boundary wall and hedging unlike its neighbours); it is considered that the proposed treatment would not worsen the streetscene. It is also considered appropriate given the thin plot width of the site in comparison to its neighbours and to accommodate the front private parking space. There are various examples of front private parking spaces along this section of Redington Road.
- 4.15 Upon the rear elevation of the proposed building, traditional casement windows and French doors would be proposed with metal railings to form Juliet balconies (at first floor level), while timber and glazing would be used to develop the rear bay at lower ground floor level. These proposed materials used are also considered acceptable.
- 4.16 Glazing would also be used for the balustrading and skylights at the rear. However, as this would be located at the rear and would be located at subterranean level, this would not impact upon the character and appearance of the conservation area (and it use of more traditional materials).
- 4.17 Upon approval, a condition would be attached to secure details (including samples) of all facing materials of the proposed scheme. This is to ensure that high quality materials will be used that will preserve and enhance the character and appearance of the conservation area.
- 4.18 The proposed dwelling house draws from elements that have been identified within the submission to be characteristics of the vicinity and wider conservation area. This is the front dormer window, the front and rear bay window, and the installation of windows within the chimney stack to service the new building. Upon balance and review, it is considered the design elements of the scheme would not detract from the character and appearance of the conservation as they have been evident in neighbouring buildings. On their own merit, these elements are considered to not be detrimental in its design.
- 4.19 Overall, the design of the proposed development is considered acceptable. The scheme is considered to reflect on and respond to the existing form, scale, appearance and material palette that is observed along Redington Road. It is considered that the proposed demolition and rebuild of the new dwelling house would not cause harm to the character and appearance of this part of the Redington Froggnal Conservation Area, in accordance with policies D1 and D2 of the Camden Local Plan.

Basement/Lightwell (design – the basement impact is dealt with below)

- 4.20 Policy A5 of the Local Plan specifies that basements should not cause harm to the character and amenity of the area (c), the architectural character of the building, (d) and the significance of heritage assets. CPG Altering and extending your home advises that basement developments should only include the excavation of lightwell as a means of providing access or

daylight to basements where these form part of the existing character of the street. In conjunction CPG Basements states that in number, form, scale and pane size basement windows should relate to the façade above. They should normally be aligned to the opening above and be of a size that is clearly subordinate to the higher level openings so as not to compete with the character and balance of the building.

4.21 The Redington Froggnal Conservation Area Statement reads “*Extending into basement areas will only be acceptable where it would not involve harm to the character of the building or its setting*”.

4.22 The front lightwell at lower ground floor level is considered acceptable as it would be replacing an existing lightwell/void within the same location and therefore would replicate the existing form of the front elevation and garden. The associated front railings also resemble the existing situation. The proposed front window would be of a smaller scale; however, due to its location at lower ground floor level and its distance from the street scene, it would be not be visible from the public realm. The rear lightwell would also be scaled and designed at a respectful level. Overall, the external alterations in association with the basement excavation are considered acceptable and would not cause harm to the character and appearance of the conservation area.

5. Occupier Amenity

5.1 The proposed dwelling house would have a regular layout with reasonably sized rooms and good access to daylight and natural ventilation. The dwelling would be dual aspect and would meet the London Plan space standards for bedrooms and overall floorspace. The proposed dwelling house would have sufficient external amenity space in the form of a large rear garden as well as a front garden.

Dwelling	Bedroom/Persons	Floorspace	London Plan Standard
1	5-bed/8 persons	547sqm	134sqm

5.2 The dwelling would have its own separate refuse and cycle store within the front of the properties with easy access from the street. It would continue the same arrangement for waste as the existing demolished dwelling and would provide easy access for waste collection crews.

6. Neighbour Amenity

6.1 Policy A1 of the Camden Local Plan seeks to ensure that development does not cause adverse amenity impacts upon neighbours. This is in regards to sunlight, daylight, privacy and overlooking and in some instances noise, vibration and odour.

6.2 The site is neighboured by a number of buildings in residential use that need to be considered when assessing impacts on amenity. In particular the neighbouring occupiers of concern are Nos. 60 and 58B Redington Road.

6.3 Due to the large plots of land that the buildings within the area are situated within, it is considered that the proposed development would not impact upon the amenity of the neighbouring buildings located to the rear of site along Templewood Avenue. These dwelling houses are located approximately 100m from the rear of the development.

6.4 It is also considered that the proposed development would not impact upon the adjoining residential occupiers opposite at Nos. 83, 85 and 87 Redington Road. This is as the proposed dwelling house would be situated at the same location within the site as viewed from the front with the same height as the previous. The new building would also have a similar bulk and massing as the existing building.

Outlook and sense of enclosure

6.5 As the proposed dwelling house would be developed at generally the same scale and footprint as the existing, it is considered that there would be a negligible impact to the outlook from No. 60 and 58B Redington Road. As the footprint and location of the new dwelling house would be similar to the existing, the outlook from the rear windows of No. 60 Redington Road would remain unchanged, as would the outlook from the side windows. At No. 58B Redington Road, the proposed outlook would not be materially different from the existing due to the similar scale and form of the new dwelling house and therefore is considered acceptable.

Daylight/Sunlight

6.6 A sunlight/daylight assessment was not submitted to support the application. Typically, the Council would expect the submission of one in applications that propose the development and/or redevelopment of an entire new building to assess the impacts to neighbouring residential occupiers. However, in this instance, as the redevelopment involves reconstructing the building at a similar scale and position to the existing building, it is considered an assessment is not required as the proposed building would overall result in the same impacts daylight and sunlight to neighbouring properties as the existing.

6.7 It is considered that the proposal would not impact upon the daylight/sunlight experienced by the adjoining residential occupiers at No. 60 Redington Road. The form of the bulk at the rear of the development would be generally the same as the existing and would have a negligible impact towards the side facing windows of No. 60. The servicing of the rear windows by daylight and sunlight would not be impacted as a result of the development due to its position further ahead of the rear of the development.

6.8 For the same reasons of the redeveloped bulk being the same as the previous and the previous relationship between the development and the neighbouring buildings being retained, it is considered that the proposal would impact negligibly upon the daylight and sunlight enjoyed by the adjoining occupiers at No. 58B Redington Road.

6.9 Due to its position on the roof, it is considered that the new hip roof form would not impact upon sunlight and daylight towards adjoining residential occupiers.

Overlooking/Privacy

6.10 The windows to the new development are located at the front and rear, with the windows proposed along the side chimney to service the internal staircase. The proposed front and rear windows would provide the same views as the existing windows did in the demolished dwelling and would not provide new or increased opportunities of overlooking into neighbouring buildings. There are already established views into rear gardens and the street that is typical of residential settings. The proposed chimney windows would not be able to provide opportunities to view out of due to its high positioning in relation to the staircase. These windows would also be obscure glazed. A condition is attached that these windows are obscured.

6.11 Overall, the proposed development would not lead to an adverse impact upon overlooking and privacy to adjoining residential occupiers.

Noise, vibration and odour

6.12 It is considered the proposed development would cause impact in regards to noise, vibration and odour. These aspects during the construction period would be covered by the Construction Management Plan (CMP) as discussed within the transport section of this report.

7. Transport Impact

Car-free development

7.1 The nearest stations are Hampstead (Northern Line), Finchley Road and Frognal (London Overground), and Cricklewood (Thameslink), whilst the nearest bus stops are located on

Finchley Road and Hampstead Town Centre. The site has a PTAL score of 0 (the worst). The site is located within the Redington & Frognal controlled parking zone (CA-S (a)), which operates from Monday to Friday 12:30-14:30.

7.2 Policy T2 seeks to ensure car-free development across the borough. As such, the proposed development would be subject to a legal agreement to secure the proposed dwellings as car-free. This would ensure that future occupants of the development are aware that they are not entitled to on-street parking permits.

7.3 The proposal does provide 1x off-street car parking space within the front garden. Although this is usually resisted and discouraged by the Council to help combat congestion and private vehicle use, in this instance, the retention of the front parking space is considered acceptable. This is as it is considered the retention of the existing parking space would not worsen traffic and parking conditions within the local area as there would be no numerical increase in parking spaces as a result of the development. Furthermore, the retention of the parking space would be in conjunction with the forfeiting of on-street parking by way of the S106 agreement. It should be noted that the applicants would be returning to the property once the new dwelling has been developed.

Construction Management

7.4 Policy T4 of the Local Plan states that CMPs should be secured to demonstrate how developments would minimise impacts from the movement of goods and materials during the construction process (including demolition works). For some developments this may require control over how the development is implemented (including demolition and construction) through a CMP.

7.5. A CMP (in the Council's pro-forma) and a CMP implementation support contribution of £3,136 would be secured by a S106 legal agreement.

Highways Contribution

7.6 The Council will expect works affecting highways to repair any construction damage to transport infrastructure or landscaping and reinstate all affected transport links and road and footway surfaces following development in line with policy A1.

7.7 The proposal could lead to significant levels of damage to public highway adjacent to the site on Camden Mews. The Council would need to repair any such damage (e.g. repaving of the adjacent footpath). The highway works would also ensure that the proposed development interfaces seamlessly with the adjacent public highway. The highway contribution would be secured by a Section 106 legal agreement.

Cycle parking

7.8 The proposed development requires at least 2x cycle parking spaces in accordance with The London Plan and CPG Transport. Details of this will be secured by condition upon approval.

8. Basement Impact

8.1 Policy A5 states 'In determining applications for basements and other underground development, the Council will require an assessment of the scheme's impact on drainage, flooding, groundwater conditions and structural stability where appropriate. The Council will only permit basement development that does not cause harm to the built and natural environment and local amenity and does not result in flooding or ground instability. It states that developers will be required to demonstrate the methodologies appropriate to the site that schemes maintain the structural stability of the building and neighbouring properties; avoid adversely affecting drainage and runoff or causing other damage to the water environment; and avoid cumulative impact upon structural stability or water environment in the local area.'

- 8.2 It further states that the Council will not permit basement schemes that include habitable rooms and other sensitive uses in areas prone to flooding. The supporting justification states 'although basement developments can help to make efficient use of the borough's limited land it is important that this is done in a way that does not cause harm to the amenity of neighbours, affect the stability of buildings, cause drainage or flooding problems, or damage to the character of areas or the natural environment'.
- 8.3 The building is identified as having the following underground constraints: Bagshot Beds; groundwater flow and slope stability. In accordance with policy A5 and CPG Basements, the Basement Impact Assessment (BIA) has been subject to independent verification by the Council's third party structural engineers, Campbell Reith. A BIA was submitted with the application that was undertaken by Elite Designers Ltd. The report writers are considered to have suitable qualifications.
- 8.4 The BIA documents have been independently assessed by Campbell Reith in line with the requirements of CPG Basements. Campbell Reith has concluded that subject to detailed design and the agreement of a party wall award, the BIA has identified the potential impacts arising out of the basement proposals and describes suitable mitigation.
- 8.5 As such, officers consider that based on the expert advice from Campbell Reith, the applicant has demonstrated that the proposal would accord with the requirements of policy A1, A5 and associated Camden Planning Guidance. Details of the qualified engineer responsible for monitoring the construction of the basement will be secured by condition.
- 8.6 It is noted that the proposed excavation is slightly larger in terms of its depth and footprint than what local planning policy permits and does not comply with part I (be less than 1.5 times the footprint of the building) and J (be less than 50% of the depth of the building) of policy A5. The excavation would have a footprint of 1.58 times of the new dwelling and would have a depth of 52%. However, when considering the context of the development such as the large rear garden and overall plot where the development would be, the marginal difference between the policy and the area being excavated; and that the excavation is of an overall redevelopment of the site as opposed to a piecemeal extension, it is considered that on balance the proposed scale of the basement excavation is acceptable.
- 8.7 Appendix 1 of this report details the full assessment of this application under policy A5 of the Camden Local Plan 2017.

9. Trees and Landscaping

- 9.1 Policy A3 states that the Council will protect and improve sites of nature conservation and biodiversity by numerous methods including protecting trees and promoting the provision of new trees and vegetation including additional street trees.
- 9.2 An arboricultural report was submitted with the application that was reviewed by the Council's Tree Officer. The arboricultural report details that a Category C willow tree in the rear garden would be removed to facilitate the development. The tree is a low quality specimen of minimal visibility from the public realm. Its removal is not considered to be harmful to the character of the conservation area or on biodiversity considerations. The submitted report further demonstrates that the trees to be retained on site would be adequately protected throughout development in line with BS5837:2012.
- 9.3 A condition will be attached upon approval to ensure that the tree protection measures as detailed in the arboricultural report are carried out during the development of the scheme. This is to ensure that the development does not have an adverse impact on the trees with the site or those that adjoin it.

10. Sustainable Design and Construction

Demolition of existing dwelling house

- 10.1 Policy CC1 of the Camden Local Plan states that within proposals that involve substantial demolition, it should be demonstrated that it is not possible to retain and improve the existing building (e) and that for all developments to optimise resource efficacy.
- 10.2 The applicant has submitted a demolition report to support the proposed demolition and rebuild of the existing dwelling house. The report details that due to the poor insulation and energy credentials of the existing building due to the existing masonry, other materials and layout, it would be beneficial to demolish and rebuild in order to introduce more sustainable materials and technology which would make the new dwelling house more energy efficient and better adapted to climate change. This is in comparison to remodelling and retaining the existing building in which the existing fabric would not be able to meet long-term sustainability measures and cannot be insulated sufficiently.
- 10.3 The demolition report also demonstrates how the existing materials will be taken off site and recycled with some of the materials (such as the brickwork and roof tiling) being recycled into the proposed materials for the new build. A small amount of the existing material would be transported to a land fill (3.6% of total demolition waste). Although retrofitting existing buildings is strongly encouraged by the Council, in this instance the demolition and rebuild is considered to be more sustainably beneficial with methods used to recycle as much material as possible and sustainable methods within the new build (explained below).

Energy and sustainability of new build

- 10.4 In line with policies CC1 and CC2, the Council will require development to incorporate sustainable design and construction measures. All new-build minor residential development (less than 5x units) are required to submit a sustainability statement (details of which are to be commensurate with the scale of the proposed development) and follow the hierarchy of energy efficiency. The proposed development must also aim to achieve at least a 20% reduction in CO2 emissions. All these aspects are to be demonstrated in the submitted sustainability statement.
- 10.5 The applicant has submitted an energy and sustainability statement which indicates that the energy strategy follows the energy hierarchy of 'be lean, be clean, be green'. The construction and materials of the build results in an efficient thermal envelope for the reduction of outward heat transmittance. The new build would incorporate the following sustainable measures: super-efficient LED lights (internal); insulation throughout; double-glazing and a combination boiler. At first floor level, green roofing would be proposed and all these elements together are forms of sustainable construction. This is in conjunction with the recycled materials from the existing build.
- 10.6 The development would result in a 12% reduction in CO2 emissions below Part L of Building Regulations. Overall, in sustainability and energy considerations, this is considered acceptable and this reduction is welcomed for a development of this scale as development involving 5x or more residential units are required to achieve 19% reduction below Part L of Building Regulations.
- 10.7 A condition would be attached upon approval to secure details of the green roof as a condition that the design and construction of the development is in accordance with the submitted demolition report and energy and sustainability statement. This is to ensure that sustainable measures proposed and developed accordingly.
- 10.8 All new build or converted dwellings are required to achieve 110L per person, per day (including 5L for external water use). This would be secured by condition. <please change to compliance and delete repetition>

10.9 It is considered in this instance that an air quality assessment is not required in regards to future occupants of the development.

11. Community Infrastructure Levy (CIL)

11.1 Should the application be granted planning permission, the scheme would be liable for both the Mayoral CIL and the Camden CIL.

11.2 Based on the information given on the submitted plans and CIL form, the charge is likely to be £26,750 (535sqm x £50) for the Mayor's CIL and £267,500 (535sqm x £500) for the Camden CIL. This is an estimate and the final amount would be subject to indexation and agreed final floorspaces.

12. Recommendation

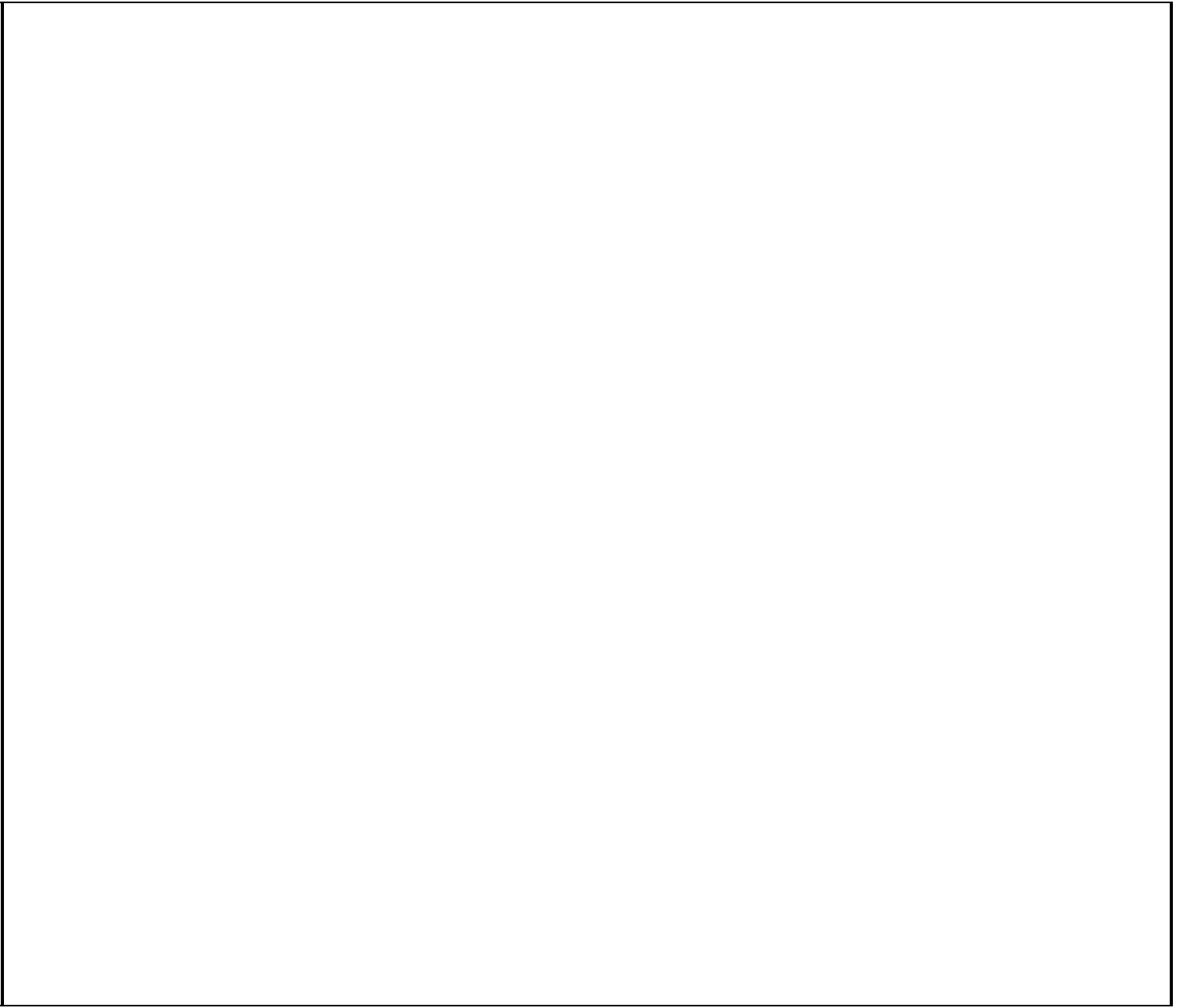
Grant Planning Permission subject to Section 106 Agreement.

S106 clauses:

- i. Construction Management Plan and implementation fee;
- ii. Highways Contribution;
- iii. Car-free development.

DISCLAIMER

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 9th September 2019, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.



Thomas Gliszczynski
TAG ARCHITECTS
14 Belsize Crescent
London
NW3 5QU

Application Ref: **2018/5112/P**

05 September 2019

Dear Sir/Madam

DRAFT
FOR INFORMATION ONLY - THIS IS NOT A FORMAL DECISION
Town and Country Planning Act 1990 (as amended)

DECISION SUBJECT TO A SECTION 106 LEGAL AGREEMENT

Address:

**58A Redington Road
London
NW3 7RS**

Proposal:

Erection of 5x bedroom four-storey dwelling house (including basement excavation) following demolition of existing dwelling house

DECISION
Drawing Nos: 157: S00; S01; S02; S03; S04; S05; S06; S07A; S08; S09; S10; S11; S12; S15A; S16A; S17; S20; S21; S22; S23; P2; P2(2); P3; P4A; P5; P6; P7; P8; P9; P10; P11; P12; P16; P17; SV1.

Residential Amenity Statement by Aragon Land and Planning Ltd; Sustainability and Energy Efficiency Statement by Aragon; Building Impact Assessment for a New Basement at 58A Redington Road by Elite Designers Ltd dated October 2018 (Ref: 2018-059); Structural Report on Proposed Demolition by Elite Designers dated 14th March 2018 (Ref: 2018-059); Design and Access Statement by TAG Architects dated 12th July 2018; Desk Study & Ground Investigation Report by Elite Designers dated October 2018 (Ref: J18142); Ground Movement Impact Assessment (Rev 1) dated October 2018 by Geotechnical Consulting Group; Planning and Heritage Statement by Aragon Land and Planning Ltd; Hydrogeological Impact Assessment (Rev 1) dated October 2018 by Geotechnical Consulting Group; Basement Impact Assessment Audit by Campbell Reith dated May 2019 (Ref: 12985-36 F1); Arboricultural Impact Assessment by SJ Stephens Associates dated 03 April 2019.

The Council has considered your application and decided to grant permission subject to the conditions and informatives (if applicable) listed below **AND** subject to the successful conclusion of a Section 106 Legal Agreement.

The matter has been referred to the Council's Legal Department and you will be contacted shortly. If you wish to discuss the matter please contact **Aidan Brookes** in the Legal Department on **020 7 974 1947**.

Once the Legal Agreement has been concluded, the formal decision letter will be sent to you.

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

157: S00; S01; S02; S03; S04; S05; S06; S07A; S08; S09; S10; S11; S12; S15A; S16A; S17; S20; S21; S22; S23; P2; P2(2); P3; P4A; P5; P6; P7; P8; P9; P10; P11; P12; P16; P17; SV1.

Residential Amenity Statement by Aragon Land and Planning Ltd; Sustainability and Energy Efficiency Statement by Aragon; Building Impact Assessment for a New Basement at 58A Redington Road by Elite Designers Ltd dated October 2018 (Ref: 2018-059); Structural Report on Proposed Demolition by Elite Designers dated 14th March 2018 (Ref: 2018-059); Design and Access Statement by TAG Architects dated 12th July 2018; Desk Study & Ground Investigation Report by Elite Designers dated October 2018 (Ref: J18142); Ground Movement Impact Assessment (Rev 1) dated October 2018 by Geotechnical Consulting Group; Planning and Heritage Statement by Aragon Land and Planning Ltd; Hydrogeological Impact Assessment (Rev 1) dated October 2018 by Geotechnical Consulting Group; Basement Impact Assessment Audit by Campbell Reith dated May 2019 (Ref: 12985-36 F1); Arboricultural Impact Assessment by SJ Stephens Associates dated 03 April 2019.

Reason:

For the avoidance of doubt and in the interest of proper planning.

- 3 Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

a) Details of all windows and doors at a scale of 1:20;

b) Details of all external staircases at a scale of 1:20;

- c) Details of all balustrading at a scale of 1:20;
- d) Detailed drawings of the rebuilt chimney shall be submitted with evidence showing that it will exactly match the existing chimney;
- e) Manufacturer's specification of all facing materials (to be submitted to the Local Planning Authority) and samples of those materials (to be provided on site);
- f) Sample panel of the brickwork and mortar at dimensions of 2sqm to be erected on site.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 Notwithstanding the approved drawings, full details of at least 4x cycle parking spaces shall be submitted prior to the occupation of the development to be approved by the local planning authority. Thereafter, the approved cycle parking provision shall be retained in perpetuity.

Reason: To ensure that the use of the premises does not add to parking pressures in surrounding streets which would be contrary to policy T1 of the London Borough of Camden Local Plan 2017.

- 5 No works on the relevant parts of the development shall commence until full details of hard and soft landscaping and means of enclosure of all un-built, open areas have been submitted to and approved by the local planning authority. The relevant works shall not be carried out otherwise than in accordance with the details thus approved. Any trees or areas of planting which, within a period of 5 years from the completion of the development, die, are removed or become seriously damaged or diseased, shall be replaced as soon as is reasonably possible and, in any case, by not later than the end of the following planting season, with others of similar size and species, unless the Council gives written consent to any variation.

Reason: To enable the Council to ensure a reasonable standard of amenity in the scheme in accordance with the requirements of policies A2, A3 and CC3 of the London Borough of Camden Local Plan 2017.

- 6 Prior to the relevant part of the works , full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include:
- i. a detailed scheme of maintenance
 - ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used
 - iii. full details of planting species and density

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1, D2 and A3 of the London Borough of Camden Local Plan 2017.

- 7 No excavation works shall commence until such time as a suitably qualified chartered engineer with membership of the appropriate professional body has been appointed to inspect, approve and monitor the critical elements of both permanent and temporary basement construction works throughout their duration to ensure compliance with the design which has been checked and approved by a building control body. Details of the appointment and the appointee's responsibilities shall be submitted to and approved in writing by the local planning authority prior to the commencement of development. Any subsequent change or reappointment shall be confirmed forthwith for the duration of the construction works.

Reason: To safeguard the appearance and structural stability of neighbouring buildings and the character of the immediate area in accordance with the requirements of policies D1, D2 and A5 of the London Borough of Camden Local Plan 2017.

- 8 The development hereby approved shall incorporate sustainable design principles and climate change mitigation measures into the implementation of the development in accordance with the approved Demolition Report (by Elite Designers dated 14th March 2018- Ref: 2018-059) and the approved Sustainability and Energy Statement (by Aragon Land and Planning Ltd).

Reason: To ensure the development contributes to minimising the effects of and can adapt to a changing climate in accordance with policies CC1 and CC2 of the Camden Local Plan 2017.

- 9 Prior to the commencement of works on site, tree protection measures shall be installed and working practices adopted in accordance with the arboricultural addendum report dated 3rd April 2019 ref. 1263 by SJ Stephens Associates. All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage in accordance with BS5837:2012 and with the approved protection details. The works shall be undertaken under the supervision of the project arboriculturalist.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenity of the area in accordance with the requirements of policies A2 and A3 of the Camden Local Plan.

- 10 The development hereby approved shall achieve a maximum internal water use of 110litres/person/day. The dwelling/s shall not be occupied until the Building Regulation optional requirement has been complied with.

Reason: To ensure the development contributes to minimising the need for further water infrastructure in an area of water stress in accordance with Policies CC1, CC2, CC3 of the London Borough of Camden Local Plan 2017.

- 11 The proposed windows to the chimney obscure glazed and fixed shut. The window shall not thereafter be altered in any way without the prior written approval of the Local Planning Authority.

Reason: To prevent unreasonable overlooking to the lightwell area associated with the 2-bed unit in accordance with policy A1 of the Camden Local Plan 2017.

- 12 Any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written consent to any variation.

Reason: To ensure that the site maintains a high quality of landscaping which contributes to the visual amenity and character of the area, in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 3 This proposal may be liable for the Mayor of London's Community Infrastructure Levy (CIL) and the Camden CIL. Both CILs are collected by Camden Council after a liable scheme has started, and could be subject to surcharges for failure to assume liability or submit a commencement notice PRIOR to commencement. We issue formal CIL liability notices setting out how much you may have to pay once a liable party has been established. CIL payments will be subject to indexation in line with construction costs index. You can visit our planning website at www.camden.gov.uk/cil for more information, including guidance on your liability, charges, how to pay and who to contact for more advice.
- 4 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website at <https://beta.camden.gov.uk/documents/20142/1269042/Camden+Minimum+Requirements+%281%29.pdf/bb2cd0a2-88b1-aa6d-61f9-525ca0f71319> or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 5 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team London Borough of Camden 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444) . Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 6 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Planning Obligations Officer, Sites Team, Camden Town Hall, Argyle Street, WC1H 8EQ.
- 7 You are advised the developer and appointed / potential contractors should take the Council's guidance on Construction Management Plans (CMP) into consideration prior to finalising work programmes and must submit the plan using the Council's CMP pro-forma; this is available on the Council's website at <https://beta.camden.gov.uk/web/guest/construction-management-plans> or contact the Council's Planning Obligations Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444). No development works can start on site until the CMP obligation has been discharged by the Council and failure to supply the relevant information may mean the council cannot accept the submission as valid, causing delays to scheme implementation. Sufficient time should be afforded in work plans to allow for public liaison, revisions of CMPs and approval by the Council.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

Yours faithfully

Supporting Communities Directorate