

Parti

Rona Road

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02 Property

2.0 LOCATION

2.1 Rona Road runs from North to South and no. 2 sits at the end of the terrace on the Eastern side of the street.

The property is located within the Mansfield Conservation area and was built in the 1890s.

2.2 HOUSE

No. 2 Rona Road is a three storey terraced house with a two storey flat roof rear extension.

It sits at the end of the terrace with no attached neighbouring property to its Southern side.

1) Birdseye view showing 2 Rona Road NW3 2JA

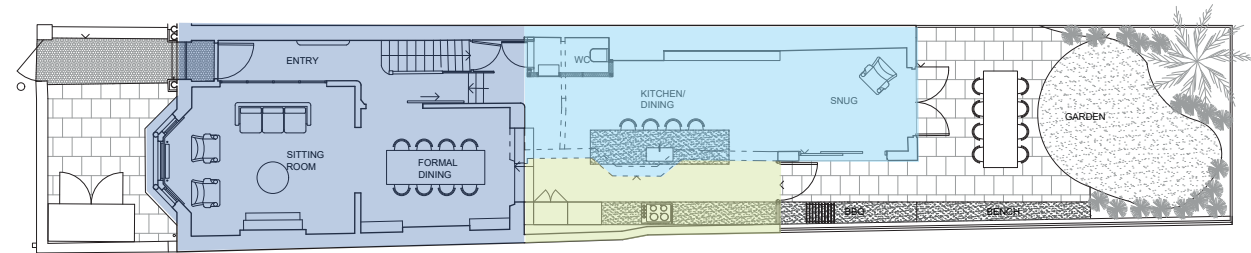


2) Site Plan 1:1250 showing location of 2 Rona Road NW3 2JA

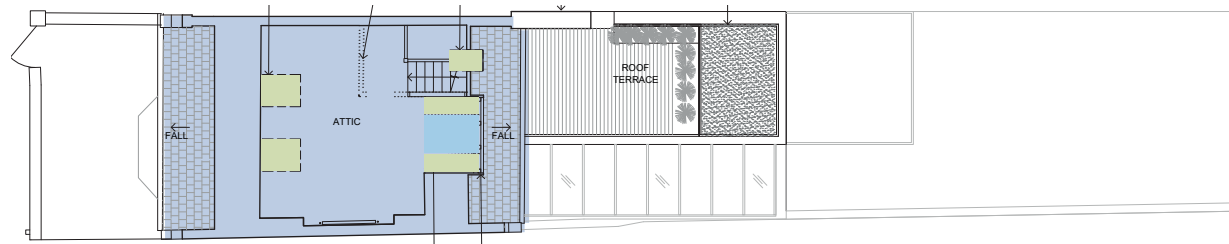


03 Proposal

Diagrams showing the historic and proposed extensions



Ground Floor



Roof Plan

- Original house
- Historic alteration
- Proposed

3.1 SUMMARY

The key points of the proposed design are as follows:

3.1.1 To renovate and make good the external entrance, rendering the front garden wall and refurbishing the stonework.

3.1.2 To add two new conservation style rooflights to the front of the roof of the property.

3.1.3 To enlarge an existing dormer window at the rear of the property's roof.

3.1.4 To extend the GF to bridge the gap between the original house and the south garden side-wall. This is in keeping with many other properties in the area.

3.1.5 To reclad the existing historic extension to match the new side-rear addition.

3.1.7 To convert the flat roofs of the existing extensions into terraces with new decking and balustrades.

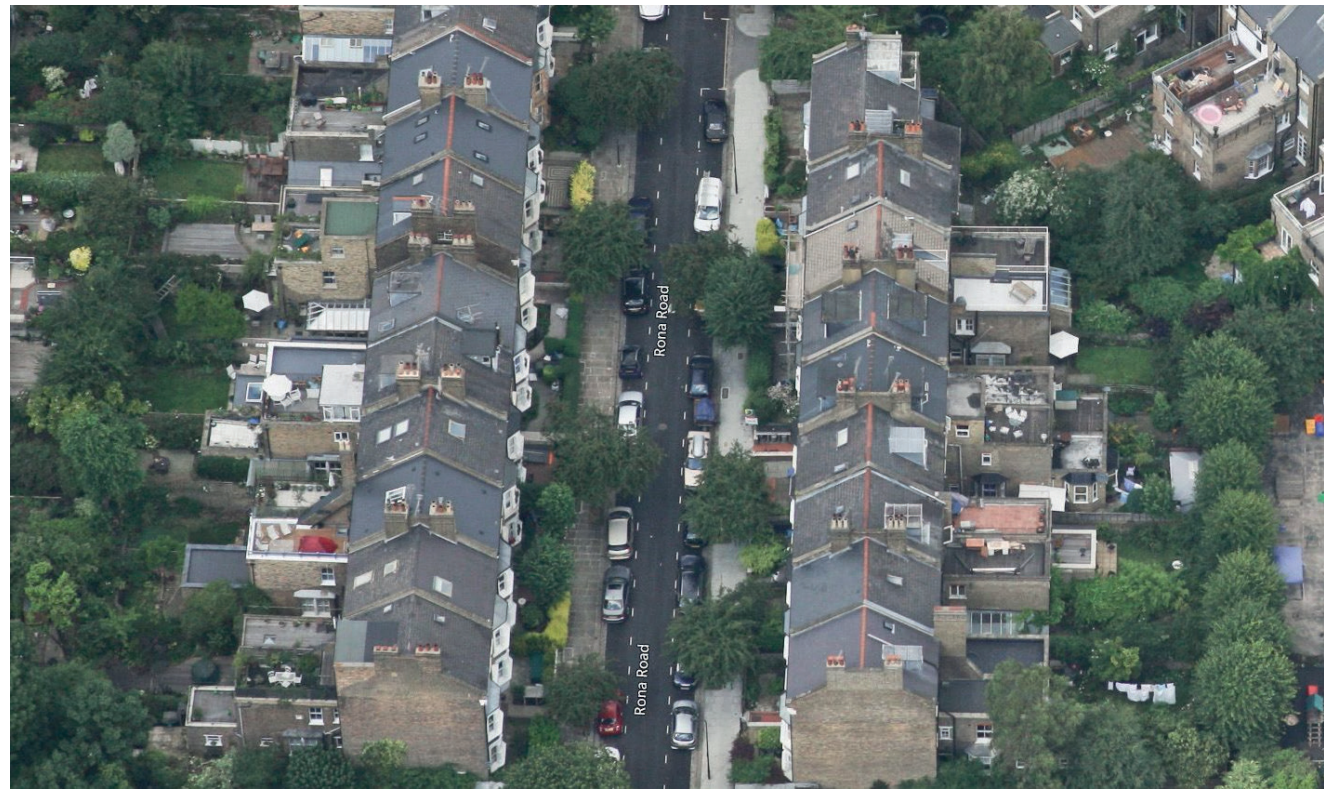
3.1.8 Further details of the proposals are labelled in the drawings included with this application. These include:

- Existing:
- Location Plan
 - Site Plan
 - Ground Floor Plan
 - First Floor Plan
 - Second Floor Plan
 - Third Floor Plan
 - Roof Plan
 - East Elevation
 - Section AA
 - Section BB
 - Section CC
 - South Elevation
 - Front Elevation

- Proposed:
- Site Plan
 - Ground Floor Plan
 - First Floor Plan
 - Second Floor Plan
 - Third Floor Plan
 - Roof Plan
 - East Elevation
 - Section AA
 - Section BB
 - Section CC
 - South Elevation
 - Front Elevation



3) Image showing nearby roof terraces and dormer windows on Mansfield Road, similar to what is being proposed.



4) Birds eye view of Rona Road showing extensive alterations made to the rear of terraces and the roofscape including ground floor extensions, second floor extensions, dormer-windows, roof-lights.

3.2.0 PLANNING HISTORY

3.2.1. There is no planning history available for this particular property online.

3.2.2 That said there are relevant granted planning applications for other similar properties in the Mansfield conservation area.

Below is a selection:

Example 1:
Flat 1, No. 25 Estelle Road, NW3 2JX:
The erection of rear and side extension and demolition of conservatory extension - Granted 2019

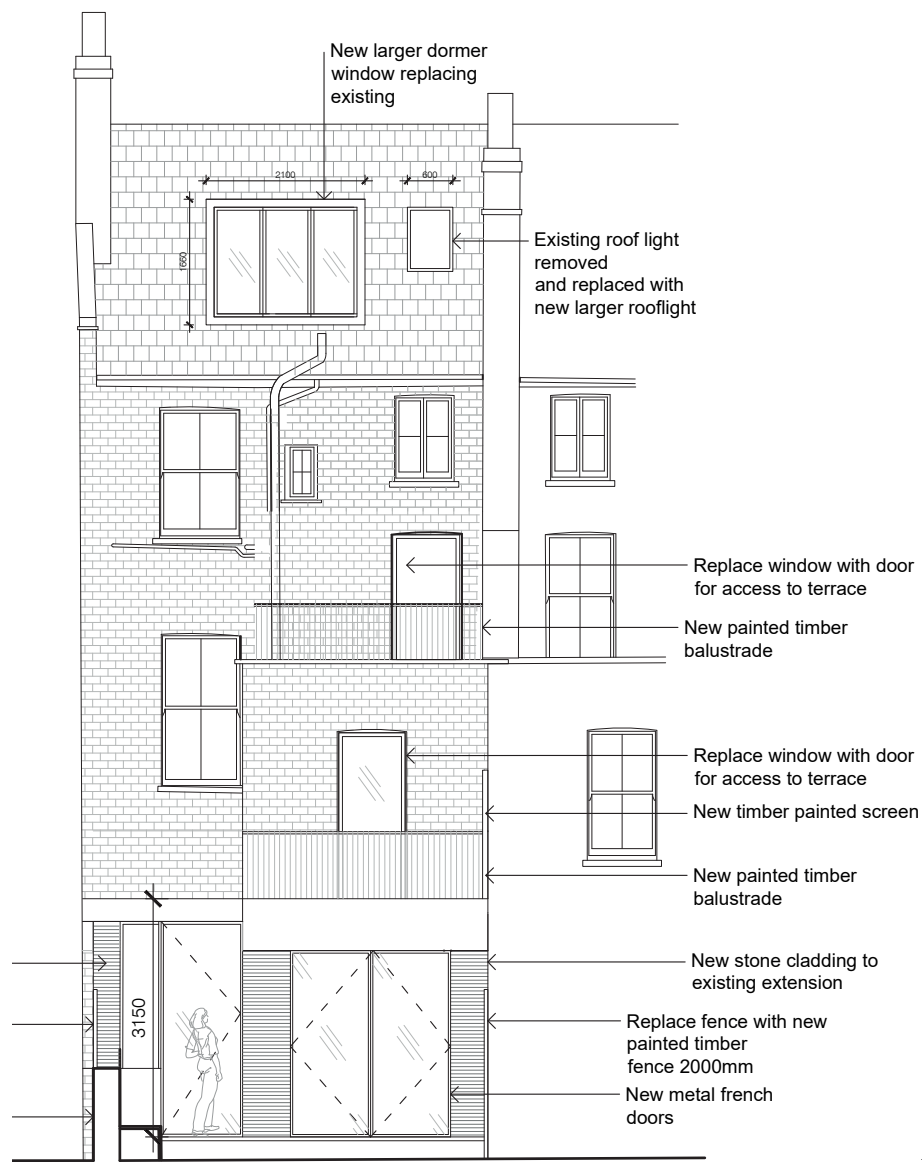
Example 2:
Flat 1st Floor 36 Mansfield Road, NW3 2HP
Creation of rear terrace for first floor flat (use class C3) to roof of existing single storey extension including installation of railings, decking and replacement of window with French doors. - Granted, 2019

Example 3:
14 Estelle Road, NW3 2JY
Installation of a front and rear dormer window and erection of a single storey rear extension to the dwelling house. - Granted, 2007

Example 4: 19 Rona Road,
Additional of basement floor, extension and roof terraces. Approved, 2016

The proposals listed are good precedent references for enlarging the dormer on the rear side, building a rear extension and adding roof terraces.

3.2.2 In addition to these applications there is visible evidence (shown in figs 3+ 4) that similar types of development have been carried out on the street, with ground and second floor extensions, the creation of roof terraces and the installation of dormer windows and rooflights. These are all aspects of this proposal and we understand this surrounding urban development as contextual reference for our proposal.



Proposed East Elevation

3.4 SCALE

3.5.1 Height

The height of the proposal has been considered in response to its surrounding context.

The heights of the extensions on both the ground and second storeys have been defined by the floor levels of the existing house and are designed to be subordinate and sensitive to the main house. The additions relate to the existing stepped form of the rear elevation and surrounding properties.

3.5.2 Footprint

The current footprint of the property is 107 sqm. The proposed ground floor extension is 11.6 sqm which increases the ground floor footprint by 10.8%. It is important to consider the proposal in respect to the property's 56.6sqm back garden which would retain 79.6% of its current area with the new built extension.

The rear extension utilises an under-used, narrow portion of the garden to provide a larger, more practical kitchen to suit the needs of a large family.

The proposed length of the ground floor extension does not run the full length of the existing building in order to retain a gap, inkeeping with the historic building pattern in the conservation area. This smaller portion of the garden has been provided with the function of an outdoor barbeque area and can be conceived of as an extension to the kitchen that has fully openable doors for free flowing access.

3.4 AMENITY

3.4.1. Amenity in relation to neighbouring properties.

The design seeks to create no meaningful impact on neighbouring amenity. The expression of the volume of the extensions and location of the design has been designed to provide minimal impact of the surrounding properties.

The side ground floor extension is proposed to be positioned on the Southern side elevation which is at the end of the terrace. As there is no adjoining property on this side there would not be an adverse impact to neighbouring amenities in terms of

outlook, privacy and sunlight or daylight.

3.6 MATERIALITY

The overall external finishes: accoya timber, brick, glass and metal are chosen with sympathy to the surrounding context. The design intention is both to key in with the weathered brick context of the conservation area and to provide materials which age gracefully.

The use of accoya wood as an external finish will ensure this as it doesn't rot. Accoya wood is biologically altered whereas normal wood will start to rot over time with external use.

On the ground floor, the new addition to the side-rear of the property will be clad in stone tiles. It will have a glass roof and clerestorey glazing on the Southern side. A timber screen will provide solar shading on the clerestorey glazing, which matches the timber cladding elsewhere.

The use of timber slats in the proposal create a datum in the design that integrates the visual levels of the existing and proposed with the functionality of a balustrade and solar shading.

The glazed roof and doors included in the ground floor proposal will greatly improve the amount of natural daylight in the existing house.

3.9 BIODIVERSITY

The proposal takes into account that extent of built areas around the house need to be carefully balanced with the benefits of the outside space and greenery. Even if paved or with decking, gardens have potential for planting and sustaining wildlife.

The area that the ground floor extension covers was previously paved and therefore there is no impact on the biodiversity that the garden provides.

3.10 ACCESS

As an extension and refurbishment to an existing property the proposal will comply with the access standards as set out in Part M of the building regulations.

3.10 SUSTAINABILITY

The proposal involves the refurbishment and extension of an existing building and responds to section 4 (energy efficiency:

existing buildings) of CPG3.

- All new glass windows, doors and roof lights will be either double or triple glazed units.

- All new additions will be sufficiently insulated to reduce heat-loss

- The introduction and enlargement of openings allows for better natural ventilation in the property reducing the need for mechanical ventilation.

3 USE

The current use of a single residential unit is unchanged.

3.7 REFUSE

The current refuse is unchanged.

3.8 PARKING

The current parking is unchanged.

04 Policy

4.1 Policy

4.1 Outline:

4.1.1 National Policy
- The NPPF

4.1.2 Local Policy
-Camden Council Local Plan 2017

4.1.3 Site Specific Policy
-Mansfield Conservation Area Statement

4.2 National Policy

4.2.1 The NPPF provides a framework through which the proposal for 2 Rona Road should primarily be assessed. In addition to this The Planning (Listed Buildings and Conservation Areas) Act 1990 provides guidance in relation to conservation areas. It outlines that such areas offer architectural merit and historical interest that it is desired to preserve or enhance. Given that the proposal represents a change and cannot be considered preservation, it must provide enhancement. As set out in the proposal, it should be considered that it will provide an enhancement.

4.2.2 The NPPF provides the following policies:

- Always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and building

- Respond to local character and history, and reflect the identity of local surroundings and materials, while not preventing or discouraging appropriate innovation.

- When planning to conserve and enhance the historic environment. Local planning authorities should take into account the desirability of new development making a positive contribution to the character and local distinctiveness of the historic environment.

- Planning policies and decisions should not attempt to impose architectural styles or particular tastes and they should not stifle innovation, originality or initiative through unsubstantiated requirements to conform to certain development forms or styles.

In our view the proposed works are respectful to and seek to enhance the local heritage by creating a contemporary ad-

dition that is sensitively integrated to its historic context; meanwhile responding to current needs for improved amenity.

4.2.3 Historical England, English Heritage: Conservation Policies and Guidance for the sustainable management of the historic environment.

To identify the cultural and natural heritage values of a place, its history, fabric and character must first be understood. This should include its origins, how and why it has changed over time (and will continue to change if undisturbed), the form and condition of its constituent elements and materials, the technology of its construction, any habitats it provides and comparison with similar places. Its history of ownership may be relevant, not only to its heritage values, but also to its current state.

We understand this statement from English Heritage as an acknowledgement that change is a natural and welcome process. Granted the historical character of the property should be preserved and enhanced where possible but changes and additions form part of the natural development of buildings.

4.3 Local Policy

4.3.1 Camden Council’s Local Plan was adopted on 3rd July 2017 and provides the basis for planning applications to be assessed against. This document provides guidance on the built environment, including heritage and design. The policy D1 works to protect and enhance Camden’s urban fabric and states the following:
- The Council will seek to secure high quality design in development.

- The Council will resist development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.

- The Council expects excellence in architecture and design.

Camden sets out details for what ‘high quality design’ should respond to. This planning application sets out just reasoning for all appropriate parts, responding to:

- Context
- Accessibility
- Orientation
- Scale and massing
- Siting
- Functionality and layout
- Materials

Camden Planning Guidance | Design

- ensuring the scale of the proposal overall integrates well with the surrounding area
- carefully responding to the scale, massing and height of adjoining buildings, the general pattern of heights in the surrounding area
- positively integrating with and enhancing the character, history, archaeology and nature of existing buildings on the site and other buildings immediately adjacent and in the surrounding area, and any strategic or local views, vistas and landmarks. This is particularly important in conservation areas;
- respecting and sensitively responding to the natural and physical features, both on and off the site. Movement of earth to and from and the around the site should be minimized to prevent any negative impact.

4.4. Site Specific Policy

4.4.1 Mansfield Conservation Area Statement

The points below are taken from the ‘Mansfield Conservation Area Appraisal and Management Strategy’ and illustrate the planning constraints relevant to the proposed development:

- Development proposals will be expected to preserve or enhance the character of appearance of the Mansfield Conservation Area.

- The appearance of characterful buildings within the Conervation Area is harmed by the removal or loss of original architectural features and the use of inappropriate materials. For example, the loss of original joinery, sash windows, front doors and natural slate roofs, can have considerable negative impact on the appearance of a historic building and the area.

- In all cases the Council will expect original architectural features and detailing to be retained, protected, refurbished in the appropriate manner, and only replaced where it can be

demonstrated that they are beyond repair.

Roof terraces:

- The conservation area retains its clearly visible historic rooflines, which it is important to preserve. Fundamental changes to the roofline, insensitive alterations, poor materials, intrusive dormers or inappropriate windows can harm the historic character of the roofscape and will be resisted.
- Alterations and extension to the front roof pitch can be particularly damaging to the appearance of the conservation area, especially in the residential sub area.
- Roof alterations or additions are likely to be unacceptable where a building forms part of a complete terrace or group of buildings which have a roof line that is largely unimpaired by alterations or extensions, or where its architectural style would be undermined by any addition. These streets include; Rona Road - Terrace rows of largely unaltered roofscape.
- A number of streets include many buildings whose roof space has already been converted for habitable accommodation resulting in the installation of rooflights and front dormer windows. In these streets roof alterations and extensions can still harm the character and appearance of the conservation area and each proposal will be considered on its own merits.
- The installation of rooflights should be conservation grade (flush not raised above the roof finish)

The installation of a new rooflight on the front slope of the roof and the enlarging of the rear dormer window will be conservation grade and the style and scale is in-keeping with other permitted rooflights and dormers in the street.

Rear extensions:

- Within the Mansfield Conservation Area there are many interesting examples of historic rear elevations. The original historic pattern of rear elevations within a street or group of buildings is an integral part of the character of the area and as such rear extensions will not be acceptable where they would diverge

significantly from the historic pattern.

There is very little left of the original rear elevation continuity on the terrace. Please refer to the aerial view (fig 1) on page 8. As such the proposal will have no detrimental effect on the conservation Area.

Moreover, the existing house already has a rear extension that alters the historic terrace. Therefore we believe that the additional side extension will not further impact the historic terrace and rear elevation.

Ventilation ducts:

- Inappropriately designed and positioned extract flues can unduly impact on the appearance of buildings. Where appropriate the Council will have regard to the feasibility of installing ventilation ducts and flues so that their position, particularly in visually sensitive locations and will protect local amenity and preserve the appearance of the Mansfield Conservation Area. The points below are taken from the ‘Mansfield Conservation Area Appraisal and Management Strategy’ and illustrate the planning constraints relevant to the proposed development:
- Development proposals will be expected to preserve or enhance the character of appearance of the Mansfield Conservation Area.
- The appearance of characterful buildings within the Conversvation Area is harmed by the removal or loss of original architectural features and the use of inappropriate materials. For example, the loss of original joinery, sash windows, front doors and natural slate roofs, can have considerable negative impact on the appearance of a historic building and the area.
- In all cases the Council will expect original architectural features and detailing to be retained, protected, refurbished in the appropriate manner, and only replaced where it can be demonstrated that they are beyond repair.

Development in Gap Sites:

- Gaps between buildings represent an important established feature of relief

in an otherwise densely developed environment, where the buildings are generally arranged in terraces 3 storeys in height. The Council will resist development in gaps where they are formed;

As discussed in the chapter on 'Scale' in this document (3.5.2) the proposed addition of a ground floor extension retains a gap in the three storey terrace. It does not run the full length of the existing footprint and is not visible from the street as it is a single storey high.

March 2021