

WORKS

16 upper montagu street
london w1h 2an

Design and Access Statement

Cleveland Court
86-90 Cleveland Street
London W1T 6NH
02.07.21

Design and Access Statement

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Existing – view of Cleveland Court looking South down Cleveland Street

1.0 Introduction

This statement relates to a submission for planning permission for proposed works at Cleveland Court, Cleveland Street, London W1T 6NL. The proposal is to add a new storey of residential accommodation onto Cleveland Court.

A pre-application was submitted in 2019 and a response received on 24.04.20 (**your reference 2019/4010/PRE**). This application will refer to the pre-app response.

We have reviewed *Camden's Local Area Requirements for Planning Applications (2018)* document and believe the necessary submission statements are contained in this Design and Access Statement and supporting drawings, documents.

2.0 Planning History

There are no records for any relevant works associated with this property on Camden's planning database.

3.0 Land use

Cleveland Court is a 5 storey, mixed use building.

- Ground floor – Class A1 and A3 – 6 units
- 1st to 4th floors – Class C3 – 13 apartments

The pre-application proposals were to create:

- A single storey 5th floor / roof extension to provide 5 no. Class C1 serviced apartments.
- A new 5 person lift to the rear of the block (on Fitzroy Mews)

The pre-application response indicated a preference for Class C3 (residential) over Class C1. The response also indicated that the likely appearance of an external lift shaft to the rear of the property would not be supported.

The feedback has been acknowledged and the revised proposals in this submission are:

- A single storey 5th floor / roof extension to provide 2 no. Class C3 apartments.
- This comprises of 1 x 1 bed (37.8sqm / 407sqft), 1 x 2 bed (72.5sqm, 780sqft) – Gross Internal Area (GIA)
- No external lift shaft but rather an extension of the existing staircase vertically to access the proposed additional storey.

Each apartment plan conforms to the Nationally described space standards.

4.0 Affordable Housing Statement

The provision of 2 residential units will be a welcome addition of new housing supporting Policy H1 of the Local Plan. As the proposed uplift in floorspace is 110.3sqm, we believe the scheme will be liable to a financial contribution towards affordable housing under Policy H4 of the Local Plan.

Floor	Existing GIA sqm	New GIA sqm	Use Class
Ground	233.6	-	Commercial A1, A3
1 st	165.7	-	Residential C3
2 nd	136.2	-	Residential C3
3 rd	136.2	-	Residential C3
4 th	136.2	-	Residential C3
5 th	-	110.3 (2 units)	Residential C3
Total C3	574.3	110.3	Residential C3

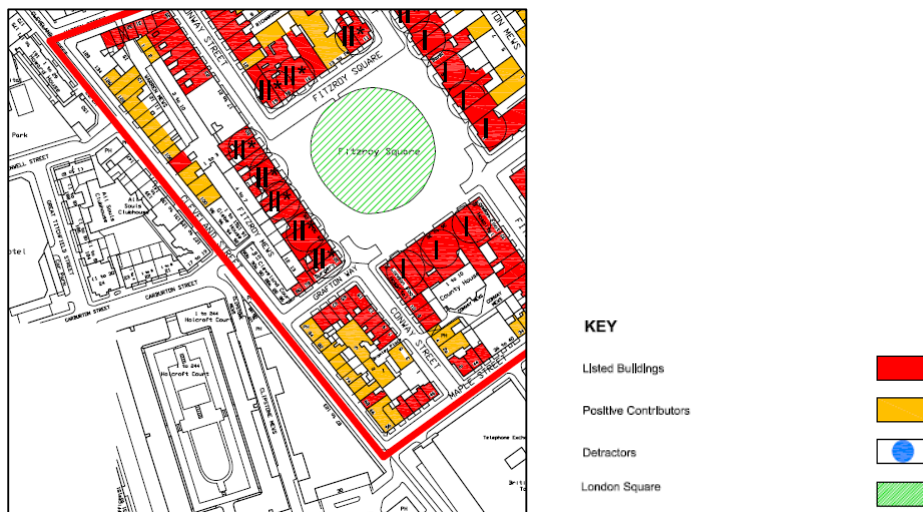
We understand the calculation will be verified in due course pending a successful application.

5.0 Conservation Area Appraisal

Cleveland Court sits on the boundary between the fine historic grain of Fitzroy Square, and the more heterogenous grain of Cleveland Street and the large mixed-use buildings and developments on both sides of Cleveland Street. Cleveland Court is within the Fitzroy Square Conservation Area and is described in the appraisal as follows:

Cleveland Court is a five-storey red brick interwar mansion block with ground-floor shops at the junction with Grafton Way. It has Art Deco-influenced ornamental brickwork, together with white banding and canted bays. The entrance and staircase bay is accentuated by dramatic vertical planes of white concrete, and the balconies have decorative wrought iron screens. This is seen in juxtaposition with Glebe House, to the north of the entrance to Fitzroy Mews, an out-of-keeping modern brown brick block with residential above shops. Both buildings are of a different scale and materials from other development in the street.

The extract of map below is from the *Fitzroy Square built heritage audit plan 2008*. A **red dot** shows Cleveland Court and the adjacent Glebe House buildings. Both buildings are not recorded as *positive contributors*.



Extract from Fitzroy Square built heritage audit plan 2008

Cleveland Court (**red dot**)

The following Design Statement will describe the proposals in more detail to demonstrate the positive impact the proposed additional story will have on the host building as well as thereby the surrounding conservation area. We note the conservation area appraisal states that Cleveland Court is rather an anomaly in that it is *a different scale and materials from other development in the street*.

6.0 Design Statement

The main feature is the proposed addition of a 5th floor of accommodation to the host building, Cleveland Court. The pre-application submission drawings intimated a new mansard roof profile but contained no detail design or for its appearance except for massing. It was merely investigating the validity of the proposal in terms of policy.

The pre-application response considered the impact of this massing to be too high but the proposal to set back the edges from the main building's line was welcomed. The response concluded that Camden planning officers would not necessarily object to the principle of a roof extension in this location, but the assessment would have to be made against a detailed design. The response stated:

Therefore, when assessing the detailed design of the proposal consideration should be given to how the extension can be lowered in height and integrated with the building below rather than just reading as an add on. Equal consideration should be given to both the Cleveland Street and Grafton Way elevations and how the design of the proposal responds to these two separate street frontages.

The success of a development like this relies on the quality of its detailed design and how it responds to the character of the host property and surrounding area. It is therefore difficult to comment on the acceptability of a scheme based on massing discussions alone, particularly as size and design are two intrinsic elements that need to be considered simultaneously when assessing new development.

The response continued stating the current building:

.. has a robust character with clearly defined bays and a strong parapet that provides a clear termination point at roof level. Therefore, officers are concerned that a single storey roof extension, like the one currently proposed, could upset the balance and proportions of the building, and read as an incongruous addition that would cause unacceptable harm to character of the host building and surrounding conservation area. This is an issue that is compounded by the existing height of the building and its prominence within the street, particularly in views north along Cleveland Street.

Analysis of existing building's façade

Our analysis is that the parapet, rather than being *strong* and.... *a clear termination point at roof level*, it is a weakness of the building's design. The diagram and picture below, show that the existing parapet line above 4th floor roof level (indicated in **blue**) is a piecemeal of brick, render and differences in height. As a line of termination to the building it is unsatisfactory.

Furthermore, we believe there is an anomaly in the principal façade design to Cleveland Street. The building appears to be a mixture of 2 different styles / periods:

- 1920s / Art Deco Style (shown in **red**) – detailing around the central entrance bay, the curved end bay and decorative brickwork.
- Edwardian Mansion Block – the remaining façade appears to be in this tradition including the canted bays.



Existing – Cleveland Street elevation



Existing – view of Cleveland Court from Carburton Street

Therefore, we propose to address this analysis and reconcile these anomalies, to create a much stronger, clearer parapet at 4th floor level above which our new extension will sit.

Precedent Images

These pictures are taken from various London Mansion Blocks / buildings of the interwar period. They illustrate a principle rather than designs to mimic in this submission. They each show a strong clear parapet with a continuation above – not as a mansard – but a masonry ‘top’, integrated with the remaining building below.

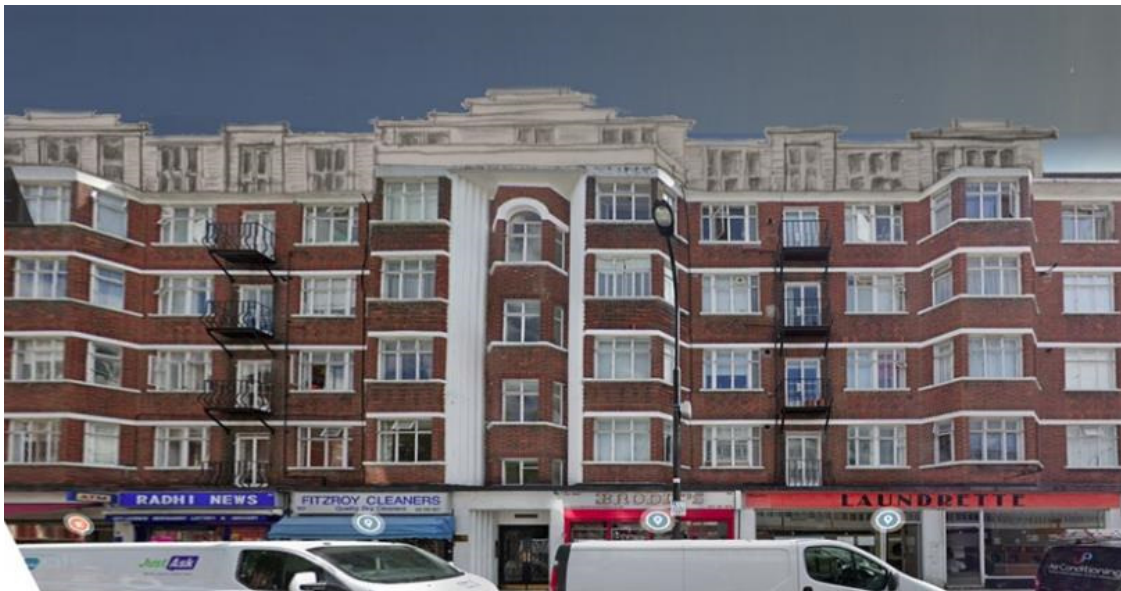
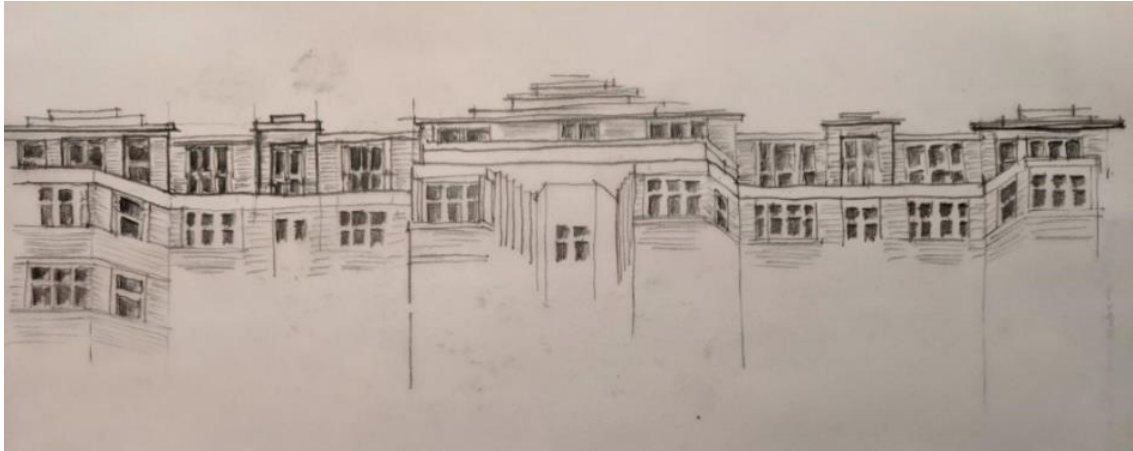






Design development sketches

The design approach of this submission is to build on this established tradition which is lacking in the current Cleveland Court building. We also recognise the strong rhythm of the existing bays, materials and window proportions and aim to respect this. We believe the Art Deco style central entrance / staircase bay and the end bay at Grafton Way, can be enhanced further. The following design study sketches were done as the final submission design evolved.

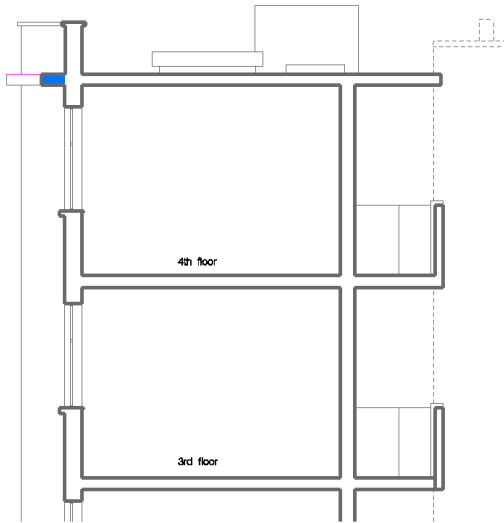




Sections and Elevations of new 5th floor

There is a very prominent cantilevered beam at the top of the 4th floor (shown in **blue** below), that wraps around the Cleveland Street, Fitzroy Mews and Grafton Way elevations. Our approach is to accentuate this feature, so it becomes the strong and clear parapet above which the new extension sits.

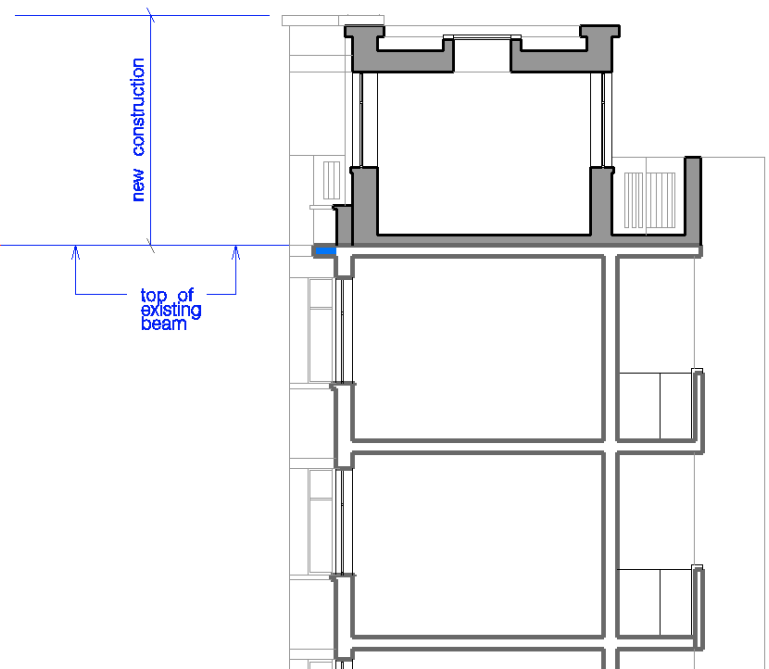
The new 5th floor construction is set back from a new, rendered parapet (equal in height along Cleveland Street and Grafton Way elevations). This parapet is also the height of the new bays, extruded from the bays at lower levels, forming a balustrade to new balconies for each apartment. The diagrams / part sections / elevations below are extracts from drawings **clc_s_p_500** and **e_p_500**, which illustrates this point. The new flat roof line is also lower than the pre-application submission.



Part section – existing



Part elevation – proposed



Part section – proposed

These extracts / part elevations from drawings **clc_e_p_100, 101, 102 and 103** (with existing, part elevations adjacent for reference) illustrates further the idea of extruding the existing bay profiles at lower level, up to the new 5th floor level. This approach further integrates the new construction with the existing, host building.

The central bay is accentuated by pushing through the 4th floor parapet, extruded from the plan form below, thereby accentuating this central feature of the principle façade.

Furthermore, elevations of the new 5th floor to Cleveland Street and Grafton Way, are articulated to express a rhythm of new bays and raised parapets, thereby giving depth, relief, and subtlety to the new elevations.



Part elevation Cleveland Street – existing



Part elevation Cleveland Street – proposed

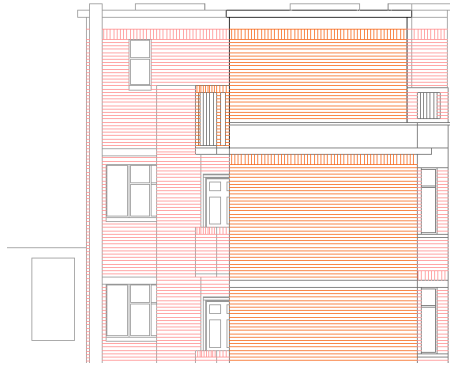


Part elevation Grafton Way – proposed



Part elevation Grafton Way – existing

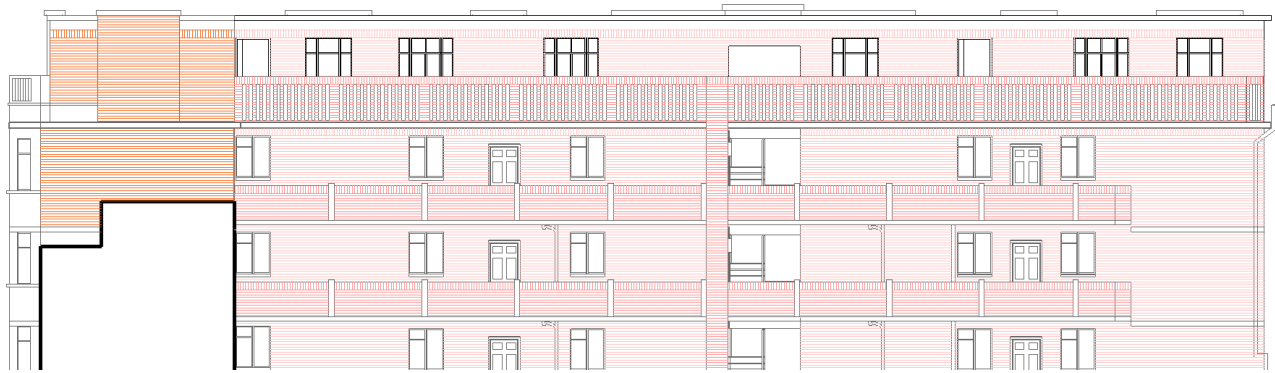
The side and rear elevations to Fitzroy Mews are treated simply and with respect. The existing side elevation offers a blank elevation of brick and structural bands at floor levels. This is continued with the proposed 5th floor. The rear elevation again follows a coherent elevation of brickwork with a brick balustrade to the deck access. New openings to the 2 new apartments follow the openings to the Cleveland Street elevation.



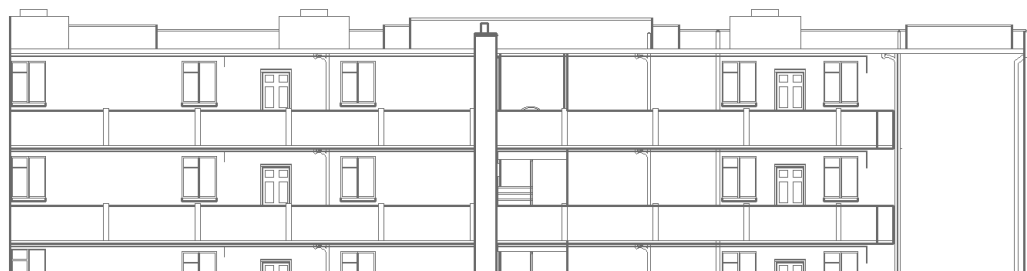
Part elevation Fitzroy Mews (side) – proposed



Part elevation Fitzroy Mews (side) – existing



Part elevations Fitzroy Mews (rear) – proposed



Part elevations Fitzroy Mews (rear) – existing



Existing – view north up Cleveland Street



Proposed – view north up Cleveland Street



Existing – view South down Cleveland Street



Proposed – view South down Cleveland Street

We believe the proposed views illustrated in the CGIs, shows that the addition of a new 5th floor enhances Cleveland Court, integrates with the host building below rather than looks like an add-on; and overall improves its integration into the surrounding streets.

7.0 Appearance and materials

The proposed materials for the new construction are: matching brickwork, white rendered upstands, white parapet stones, matching Crittall style W20 window frames (with double glazing) and black painted metal work railings. The new storey is designed to integrate very much with the existing building below.

8.0 Waste

This will initially be stored locally in each apartment with under counter storage for waste and recyclables in the kitchen (capacity for 2 x 38l, 1 x 12l and 1 x 2.5l compartments).

All rubbish and recycling will then be stored in a bin store in the lower ground floor of Cleveland Court, access via Fitzroy Mews. Access is via an existing chute at deck level on the 1st floor. Collections will follow the normal, established timetable.

9.0 Access

The pre-application submission explored the only option for introducing a passenger lift. As this was an external element, Camden planners advised that this would be refused. Therefore, access is only via a staircase – exactly like all the other apartments in the building. The main existing staircase to the building, access at street level on Cleveland Street, will be extended up to the new 5th floor. It is therefore not possible, working with the existing building, to fully comply with Approved Document M in terms of access to the new floor. All other aspects will be adhered to.

10.0 Sustainability Statement

As the proposed work is under the threshold of 5 new dwellings, a full EIA / BREEM assessment is not required.

However, please note that the key driver of the proposals is to provide effective, passive measures for energy efficiency, adhering to Building Regulations, improving where possible. This includes well insulated new fabric (walls, windows, and roof), energy efficient gas fire boilers and natural ventilation.

The planning submission form only allows the entry of a single EPC. For the record, the building is divided into units, each with its own EPC. A record of the latest certificate numbers is:

86-88 Cleveland Street	0494-0697-3030-8100-4803
88a Cleveland Street	9174-3099-0989-0000-8901
90 Cleveland Street	0594-0097-2530-8200-4803
90a Cleveland Street	9146-3069-0788-0500-8401
90b Cleveland Street	9991-3089-0185-0400-8401
Flat 1 Cleveland Court	9578-7092-6206-6631-3014
Flat 2 Cleveland Court	8249-6521-9530-6048-3922
Flat 3 Cleveland Court	8458-7729-5130-4538-2906
Flat 4 Cleveland Court	0752-2851-7195-9708-9295
Flat 5 Cleveland Court	0858-2835-7634-9123-8075
Flat 6 Cleveland Court	8176-7928-4170-5610-2976
Flat 7 Cleveland Court	0044-2818-7398-9606-4645
Flat 8 Cleveland Court	0857-2858-7194-9708-8255
Flat 9 Cleveland Court	0188-2858-6747-9609-1615
Flat 10 Cleveland Court	9328-6905-7249-1667-3920
Flat 11 Cleveland Court	0978-2872-6836-9500-3881
Flat 12 Cleveland Court	2838-4021-6295-6760-8224
Flat 13 Cleveland Court	0427-2811-7479-9094-1121

11.0 Water

Surface water run-off from the new flat roof will be same capacity as the existing, connecting into the mains sewer system. A calculation for the expected percentage reduction of surface water discharge (for a 1 in 100-year rainfall event) from the proposal has not been done. There should no adverse effect from the proposal on the capacity of the main system.

12.0 Biodiversity

The new flat roof to the 5th floor is proposed as a green / sedum roof thereby promoting some local biodiversity.

13.0 Amenity / Daylight / sunlight

As acknowledged in the pre-application response, the proposals should not cause any issues:

The size, scale and location of the proposed roof extension is not considered to cause harm to neighbouring amenity in terms of loss of light or outlook. Furthermore, the proposed rear windows would share the same outlook as the existing windows on the façade below and would not exacerbate current levels of overlooking as a result.

14.0 Flood risk

The property is not in a flood risk zone.

15.0 Transport

Cycle storage is provided on the private deck which accesses each apartment (see drawing **clc_p_p_004**). Further investigation can be made with the landlord to see if there is any available space for bike storage at ground floor, entrance lobby level. There is no dedicated car parking space provided.

16.0 Construction Management Plan

We acknowledge that a successful planning application will trigger the production of a suitable Construction Management Plan in due course. Our understanding of Camden Policy is that the timing of this follows the appointment of a Principal Contractor.

17.0 Policy

We believe the proposals demonstrate a sensitive understanding of building typology and are an appropriate response to context. As such, we believe the proposals are a positive response to Camden's Planning Policies and guidance:

- Camden Local Plan 2017
- A1 Managing the impact of development
- D1 Design
- D2 Heritage
- H1 Maximising housing supply
- H4 Maximising the supply of affordable housing
- Camden Planning Guidance
- CPG Design (2019)
- CPG Amenity (2018)
- Fitzrovia Area Action Plan
- Fitzroy Square conservation area appraisal and management strategy 2010

We believe the following criteria in CPG Design (2019) have been addressed:

Understanding and responding to context

- 2.11 Good design should respond appropriately to the existing context by:
- ensuring the scale of the proposal overall integrates well with the surrounding area
 - carefully responding to the scale, massing and height of adjoining buildings, the general pattern of heights in the surrounding area
 - positively integrating with and enhancing the character, history, archaeology and nature of existing buildings on the site and other buildings immediately adjacent and in the surrounding area, and any strategic or local views, vistas and landmarks. This is particularly important in conservation areas;

18.0 Conclusion

The proposed works at Cleveland Court are designed to be a sensitive addition to the building that integrates elegantly into the surround streetscape. We think the proposals have given the opportunity to ‘complete’ this interwar mansion block, elevating its overall appearance.

The provision of new living accommodation – albeit just 2 units – will also be a welcome contribution to London’s housing crisis.