

HERITAGE STATEMENT  
No. 3 Stone Buildings, Lincolns Inn, London WC2A 3XL  
June 2020



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## Identification of the Property

Site address: Three Stone Chambers, 3 Stone Buildings, Lincolns Inn, London WC2A 3XL

## 1.SUMMARY OF PROPOSAL:

Internal refurbishment and remodelling of basement and first floor toilets and shower.

## 2.DESCRPTION AND LISTING

Three Stone Chambers occupies a part of No. 3 Stone Buildings, one of a series of seven terraced buildings which together compose a Grade 1 listed, Palladian style 'shell' construction.

Situated in the London Borough of Camden's Bloomsbury Conservation Area, Sub Area 9, 'Lincoln's Inn Fields/ Inns of Court / High Holbourn' region, it was scheduled as being of special architectural or historical interest on 24 October 1951. (See Appendix 1-Historic England Listing)

Number Three remains in its original use as a series of barrister's chambers and offices arranged over five storeys, consisting of a lower ground or basement level, ground, first, and second floor and the later addition of the third floor in 1959 and rebuilding of the stair well. This work followed extensive bomb damage to the original roof in war time (1941), when basement rooms were also remodelled to provide communal male and female lavatories. The Basement was again extensively remodelled in 1990, when five brick vaults to the North were demolished and converted to provide new male and female toilets to serve the whole building and the previous lavatories of 1959 re converted to five larger rooms.

## 3.SOURCES

Donald Insall Associates carried out a comprehensive Building Assessment report in March 2012. This statement contains clearly identified extracts and drawings from the David Insall Building Assessment where it is relevant to the work we are undertaking.

Along with Stone Building's own archives, the information in the David Insall report acknowledges:

"We are indebted to the Honourable Society of Lincoln's Inn for sharing with us their knowledge of the building and archival material, and are particularly grateful for the kind assistance of Guy Holborn, Librarian, and his colleagues. This document draws heavily on the work of Morgan Lear from 2004, which was kindly made available to us by the Honourable Society. We are also grateful to Pamela Morgan for facilitating access, and to all the Chambers and individuals who allowed us access to their rooms during the surveys.

### Sources Consulted

The research used in this Historic Building Assessment draws mainly on material held by the Society of Lincoln's Inn; other sources consulted were:

- The R.I.B.A Library, and Drawings Collection.
- The London Library
- The London Metropolitan Archive
- The Guildhall Library and Department of Maps and Prints
- The Victoria and Albert Museum
- The National Art Library
- The National Monuments Record; English Heritage
- The Courtauld Institute
- The British Library."

## 4. ARCHITECTURAL SIGNIFICANCE

Summary of extracts from Donald Insall Associates Building Assessment of March 2012:

The significance of Stone Buildings rests on four key aspects:

### ARCHITECT

Robert Taylor (1714-1778) is most renowned for his appointment as architect of the Bank of England. Stone Buildings is a significant example of his simplified late Georgian Palladian style.

### SITE

The buildings fall within the geographic area of Holborn and are now within the London Borough of Camden within the Bloomsbury Conservation Area, and they border the City of London's Chancery Lane Conservation Area. They are part of the area's long association with the legal profession. The buildings Robert Taylor designed for the Benchers of Lincoln's Inn were constructed on a slightly awkward site, which was dictated by the fact that its boundaries of Chancery Lane, to the east, and Lincoln's Inn Fields, to the west, are at a slight angle to each other.

### ARCHITECTURE

The original building was constructed in 1775 as part of a larger scheme to replace and extend existing buildings at Lincoln's Inn. Designed for professional use, the ceiling heights of the first, second and third floors are the same making the space of the identically sized windows equal vertically as well as horizontally. This is unlike the usual eighteenth century practice of decreasing the size of storey height and window size as you move higher up the building and this gives 1-6 Stone Buildings a slightly institutional or industrial appearance. Much of the accommodation in Stone Buildings was designed as barristers' chambers. As such, they must have been amongst the first shell construction in London. Nothing else would account for the widely different quality and style of fit-out in the sets of chambers found throughout 1-6 Stone Buildings all contemporary with the building in 1775. Other buildings are more uniform and much simpler such as the court buildings numbers 8, 9 and 11 or the Inn of Court Yeomanry building.

### WIDER CULTURAL SIGNIFICANCE

Stone Buildings has a long history as part of Lincoln's Inn and its' role in law and politics. Notable occupants include William Pitt the Younger, and in the late Victorian period, Edward Macnaghten, Lord of Appeal in Ordinary from 1887, was in chambers at No 2 from 1869 to 1887. Frederick William Maitland., who became Downing Professor of the Laws of England at Cambridge in 1888, had chambers ... at No 3.

## 5. HISTORY

Summary of extracts from Donald Insall Associates Building Assessment of March 2012:

**EIGHTEENTH CENTURY** The buildings were built with three storeys over a basement. In the eighteenth and nineteenth centuries, attic space over numbers 1-6 was adapted to provide accommodation for clerks, servants etc.

The Stone Buildings were the joint enterprise of the Society and the Officers of the King's Court of Chancery with the approbation of the Lord Chancellor. Those Officers were the Six Clerks and the Sworn Clerks and also the Registers, the Clerks of Enrolments and the Accountant General and their deputies whose function was to keep the records, decrees, orders and books of account relating to the business of the Court.

By an Act of 1774 provision was made for re-building the office of the Six Clerks and erecting offices for the Register and Accountant General and by August of that year Sir Robert Taylor's ground plan and drawings of the elevation of the buildings had been approved by the Council, the Accountant General, the Registers of the Court of Chancery and the Lord Chancellor. Thomas Clarke, the Society's bricklayer, was directed to proceed with the construction of a "basement storey" for seven sets of chambers on the garden side beginning at the south end but leaving space for a hall then intended to be built on the site of what is now 7 Stone Buildings. The sites for the offices of the Accountant

## PARDON CHAMBERS ARCHITECTS

General at the north end on the Chancery Lane side and the Registers of the Court at the south end (now numbered 11, 9 and 8) were purchased out of public funds and were not put up by the Society. This also happened to the Office of the Six Clerks, who negotiated independently and bought the site in the middle (now No 10).

1950

United Law Clerks' Society returned to its former offices. (LMA file ACC/1559/212)

1959

The third floor was added and the stair well re-built. The roof space over numbers 1-6 was completely re-built to provide a range of purpose-built flats behind a new mansard roof. When the flats were built in numbers 1-6, a lift serving the third floor was installed in numbers 2-6 travelling from basement to third. At the same time, further rooms in the basement were cannibalised to provide blocks of male and female communal lavatories serving the whole of the building, excluding the third floor flats which had bathrooms

1989

The roof covering of numbers 1-6 was renewed in 1989 with a synthetic built-up roofing. External repair and conservation carried out.

1990

The basement was re-built. The west suite of rooms overlooking the gardens, with its one very large room and two large but smaller rooms, was refurbished to provide a small but functional set of chambers for the then Bar tenant. The north suite of rooms had been constructed in 1775 as a series of five monumental brick vaults. These were demolished and converted to provide new male and female toilets to serve the whole building. The east rooms (which had been converted in 1959 to communal lavatories) were re-converted to provide five rooms, at that time let as an annexe to a New Square set of chambers.

1993

All the later partitioning was removed on the ground floor north with the original rooms restored, then sub-divided to provide a series of conference rooms. These were linked with the east suite of rooms which contain eighteenth century groin vaulted plaster ceilings. The remains of the original eighteenth century book stacks of the Lincoln's Inn Library were conserved in the restored cantilevered cornice to these rooms. Until 1993, the open well extended from basement to third floor with concrete and glass pavement lights forming the roof at third floor level. As part of many joint schemes carried out by the Inn with the principal tenant, Edwin Coe, the ground floor well was floored over providing secure storage beneath and an illuminated suspended ceiling was introduced at second floor level to cut by two fifths the height of the well. The lift was provided with its own lobby to square the well and a wooden handrail installed to the iron staircase and landing balustrade. A marble floor to the ground and basement carpet to the concrete stair and a paintwork scheme to the walls were provided at the same time.

1995

External repair and conversion carried out.

2000

The roadway leading from Stone Buildings was paved over and the gardens at the rear of Old Square landscaped to create a court.

2001

First floor east and north were refurbished. The pavings were replaced with York stone in 2001 and the short cul-de-sac leading to Chancery Lane in front of number 8 paved to form a pleasant area.

2005

The Inn won its appeal to the Secretary of State to re-build the roof to provide 1,000 square ft of offices, to extend the stair to this level and to install a lift serving the basement to second floor.

## 6. ARCHITECTURAL VULNERABILITIES - STONE BUILDINGS

Summary of extracts from Donald Insall Associates Building Assessment of March 2012:

The chambers are set in a "U" shape around a central cul-de-sac, and were always conceived as eleven separate units, Nos 1-11. Each unit was arranged with a central entrance leading to a staircase with chambers on either side of the landing, except for No 1, No 7 and No 10 which are different. The chambers in Stone Buildings are well maintained and are generally used as office accommodation for barristers' chambers. The attics retain generally living accommodation. No 10 is used by the Territorial Army.

With the more recent increase in chamber sizes the expansion has been lateral with party walls broken between Nos 1 and 2, 3, 4 and 5, and 6 and 7, as well as major alterations within the basement floor levels to provide larger flexible space.

The lateral conversion of the buildings has been successfully adapted to fulfil the needs of the contemporary chambers. However, the erosion of the cellular structure of the buildings to provide for larger rooms and horizontal circulation will need to be addressed. Larger openings in partitions, rather than their full removal is to be preferred. There has also been an opposite tendency to sub-divide larger rooms to provide more but smaller individual barrister's office rooms.

Although many of the chambers now have lifts, they are not large enough to take a wheelchair and there are potential problems in adapting the raised entrances of the buildings to provide improved disabled access for the chambers. This could be perhaps arranged through the basement areas.

Other regularly arising difficulties include periodic re-wiring, particularly IT, leading to messy service installations, and the continuing expansion of some sets of chambers and the dissolution of others leading to illogical sub-division of buildings.

**NON-JOINERY INTERNAL WALL AND CEILING FINISHES:** There is little high quality plasterwork in Stone Buildings, but some important original ceilings and cornicing is visible as noted in the Gazetteer. There is also some historic wall and ceiling plaster, all of which is vulnerable to damage or even total loss during various programmes of refurbishment.

**INTERNAL PAINTED DECORATIONS:** Little visible today dates from earlier than the mid-late 19<sup>th</sup> century and the majority of the surfaces have been repainted. Nevertheless, some of the rooms and common parts are of interest in that their panelling is contemporary with various periods of construction or post-war repair of the buildings. Most joinery is post-war reinstatement.

**HISTORIC INTERNAL METALWORK – Painted and Polished:** Very little of the original metalwork survives, and this has been noted in the Gazetteer. Where hinges, locks and window fittings survive, it is likely to have become heavily overpainted (eg hinges to outer doors to sets of chambers at main stair floor landings), leading to the total loss of any detail. Surviving ironmongery is also liable to piecemeal replacement (particularly window catches and door knobs) in non- matching items leading to a loss of consistency.

**FLOORS:** Stone floors are largely confined to re-built stairs (eg number 10) and to steps and entrances, as described in the Gazetteer, and are vulnerable to non-matching repairs. Some stairs have post-war extensions to attic floors or have been entirely re-built. Boarded floors within chambers are almost everywhere fully carpeted in modern carpet, none of which is of any significance.

**WINDOWS:** The majority of the windows in Stone Buildings are traditional timber sliding sash windows. Some timber casements also exist. Most windows are modern Victorian style replacements. All windows are in reasonable condition, as discussed in the Gazetteer. Modern metal skylights have been added. Sash windows are vulnerable to broken sash cords. Poorly decorated and jammed sash windows are vulnerable to rot from trapped rainwater and should, therefore, be inspected regularly. Skylights require routine maintenance to ensure against leaks. Windows generally are vulnerable to being painted up when re-decorated, and to being re-glazed in non-matching glass.

# PARDON CHAMBERS ARCHITECTS

DOOR FURNITURE: The door furniture is described in the Gazetteer. For the main entrance doors replacement door furniture should be considered carefully to maintain consistency

HISTORIC WOODEN JOINERY AND CORNICES: The panelling and some of the doors and cornices which date back to the eighteenth century are of considerable historic interest and must be protected against loss or piecemeal renewal.

## PARTICULAR TO NO. 3 STONE BUILDINGS

The external elevations retain their original layout and should be protected.

- i. The original plan layout is still recognisable despite the insertion of new partitions at all floor levels but is vulnerable to further change from future re- planning.
- ii. Some rooms contain significant historic fabric and should be protected from unsympathetic alteration or renewal. These include rooms SB3/G1B, as well as specific other features noted in the Gazetteer.
- iii. A number of original windows and shutters survive, which are vulnerable to piecemeal renewal.

7. PROPOSED STRATEGY FOR REFURBISHMENT AND MAINTENANCE WORKS

Pardon Chambers Architects have been commissioned to provide designs to refurbish and re-model the existing male toilet area and a unisex shower room and refurbish the female toilet area in the basement of No. 3 Stone Buildings. The aim is to provide unisex toilets throughout, adding one additional toilet in the previously male only toilet area.

Refurbishment of a small cloakroom toilet and second existing unisex toilet on the first floor are also proposed, with the Grade 1 listing in mind.

The table below shows relevant extracts from a survey by Donald Insall Associates in 2012 of the degree of architectural significance of features in each area of works.

TABLE OF EXTRACTS FROM DONALD INSALL ASSOCIATES(2012) ROOM BY ROOM GAZETTEER LISTING SURVEY OF ROOMS TO BE REMODELLED/ REFURBISHED

(Labels refer to drawings below provided by Donald Insall Associates, particularly 1001- 1-7 Stone Buildings Basement Plan and 1003- 1-7 Stone Buildings First Floor Plan. Drawing 1010- *Plans as existing: Restoration following war damage* also provides information on the period of construction of areas of fabric as existing in 2012.)

ROOM	SB3/B1C EXISTING FEMALE TOILETS	SB3/B5 EXISTING MALE TOILETS & SHOWER	SB3/F2A EXISTING TOILET 1	SB3/F1D EXISTING TOILET 2
DESCRIPTION	Toilets	Toilets	Office *	Toilet
OBSERVATIONS	Modern re-modelling	Modern re-modelling	Modern re-modelling	Modern re-modelling
CEILING	Modern plaster	Modern plaster	Modern plaster & cove cornice	Modern plaster
WALLS	Modern plaster & tiling	Modern plaster & tiling	Modern plaster & dado rail & skirting	Modern plaster skirting
WINDOWS	Modern reproduction sashes in original boxes	Modern reproduction sashes in original boxes	Modern reproduction sashes in modern frame & panelled reveals	N/A
DOORS	Modern doors	Modern doors	Modern 6 panel doors & frame	Original 6 panel door in modern frame
FIREPLACE	N/A	N/A	N/A	N/A
FLOOR	Modern tiling	Modern tiling	Carpet	Modern tiling
FITTINGS	Modern sanitary & light	Modern sanitary & light	Modern bookcase	Modern sanitary & light
OTHER			Modern Light fittings	Original space divided up into rooms
CONDITION	Good	Good	Good - water ingress to ceiling	Good
COMMENTS			Modern partitions- post war rebuilding	
SIGNIFICANCE	NEUTRAL	NEUTRAL	LIMITED TO ORIGINAL FABRIC & STRUCTURE	LIMITED TO ORIGINAL FABRIC & STRUCTURE

\*Note that this room has subsequently had modern partitions removed and a larger office re-instated but with a small single cloakroom toilet room (accessed from the corridor and adjacent to the lift) has been partitioned off alongside a small entrance lobby to the main office.

# PARDON CHAMBERS ARCHITECTS

It should be noted that although the site falls within a designated Archaeological Priority Area, no excavations are expected as existing service penetrations will be used to avoid any further disturbance to the existing fabric of the building.

As shown in the accompanying drawings, it is proposed that the re-modelling of the toilets with shower to provide a small increase in the number of individual unisex toilets and a refurbished shower room, will be limited to replacement of late 20<sup>th</sup> century partitions and in all other areas the existing plumbing layout will be retained. The works allow for continued use and maintenance of the heritage asset and will avoid harm to significant fabric.

It is also proposed that the existing ventilation ducts which have been inserted into the glazing and detract from the exterior view of the basement windows, (see Appendix 3: photographs 1- exterior and 3- interior) will be removed, windows re-glazed to match and ducting re-routed. This will be via the existing dropped, modern plaster ceiling void, through the walls into the rear of existing services cupboards (see photographs 4) and exiting above the existing transom grille above the door into the undercroft (see photographs 2). See reflected ceiling plan drawing 2104- 2106 for indication of ducting routes.

## POLICIES

This is proposed in line with NPPF Section 16 *Conserving and enhancing the historic environment* and Camden Local Plan *Policy D1 Design and Policy D2 Heritage*, which requires all developments, including alterations and extensions, to be of the highest standard of design. This intervention seeks to improve on existing conditions and minimise the impact of necessary services on the appearance of the original fabric of the building.

Electrical services will be updated, again utilising existing service routes to minimise impact.

New tiling to walls and floors and new sanitary ware will replace existing modern fittings, in toilet and shower rooms SB3/ B1C, B5, F2A and F1D, which are of neutral significance as assessed in the gazetteer.

## ADVISORY SERVICES consulted:

Bloomsbury Conservation area Appraisal and Management Strategy

<https://www.camden.gov.uk/documents/20142/7212389/Bloomsbury+Conservation+Area+Appraisal+and+Management+Strategy+Adopted+2011.pdf/6e29ae05-3837-6f7f-ce1b-3bbb0bd20493>

Historic England

<https://historicengland.org.uk/advice/technical-advice/buildings/>

<https://historicengland.org.uk/images-books/publications/listed-building-consent-advice-note-16/heag304-listed-building-consent/>

SPAB (Society for the Protection of Ancient Buildings)

<https://www.spab.org.uk/advice/knowledge-base>

The Georgian Group

<https://georgiangroup.org.uk/>

## APPENDIX



APPENDIX 1- HISTORIC ENGLAND LISTING

Overview

Heritage Category:Listed Building  
Grade:I  
List Entry Number:1379318  
Date first listed:24-Oct-1951

Location: See Map -Appendix 4

Statutory Address: NUMBERS 1-7 AND ATTACHED RAILINGS AND LAMP HOLDER, 1-7, STONE BUILDINGS  
The building or site itself may lie within the boundary of more than one authority.

County:Greater London Authority  
District:Camden (London Borough)  
Parish:Non Civil Parish  
National Grid Reference:TQ 30946 81527

The contents of this record have been generated from a legacy data system.  
Legacy System number:478696  
Legacy System:LBS

Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Details:CAMDEN

TQ3081NE LINCOLN'S INN 798-1/101/1026 (North side) 24/10/51 Nos.1-7 (consec) Stone Buildings and attached railings and lamp-holder

GV I

7 chambers. 1780 (Nos 1 & 2) and 1775 (Nos 3-6) by Sir Robert Taylor. 1845 (No.7) by P Hardwick.

Stone in Classical style. Nos 1 & 2 form the north end of the street, Nos 3-7 the east side with No.7 forming a pavilion at the end of the row.

3 storeys. Nos 1 and 2, 3 windows each. Nos 3-6 (east elevation), 23 windows in all. No.7, 5 windows.

Basements in brick below stone band at ground floor. Rusticated ground floor with arched openings of keys and voussoirs with impost bands.

Windows in shallow ashlar recesses. Doors in shallow stuccoed recesses.

Continuous plain band at 1st floor level. Continuous sill band to 1st floor. No.1 with paired Corinthian pilasters above entrance. No.7 with 6 engaged Corinthian columns. Modillion cornice with balustrade above.

South elevation (No.7) with pilasters, coupled at flanks.

West elevation (facing lawns) similar to east but with symmetrical facade of 21 windows between pedimented end projections of 5 windows and 1 window on internal return.

Wall sundial dated 1794. INTERIORS: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings to areas. No.3 with lamp-holder.

Listing NGR: TQ3093981538

APPENDIX 2-DRAWINGS FROM DONALD INSALL ASSOCIATES' HISTORIC BUILDING ASSESSMENT, MARCH 2012

Pardon Chambers Architects, The Brew, Eagle House, London, EC1V 1NR | 020 7096 1388 | info@pardonchambers.com

# PARDON CHAMBERS ARCHITECTS

1001- 1-7 Stone Buildings Basement Plan - Three Stone Chambers annotated

1002- 1-7 Stone Buildings Ground Floor Plan -Three Stone Chambers annotated

1003- 1-7 Stone Buildings First Floor Plan -Three Stone Chambers annotated

1004- 1-7 Stone Buildings Second FloorPlan- No works

1005- 1-7 Stone Buildings Third Floor Plan- No works

1010- Plans as existing: Restoration following war damage Three Stone Chambers annotated

APPENDIX 3 - PHOTOGRAPHS AND KEY

1 Exterior Basement - Windows to basement toilets with ducts in glazing, to be removed



2 Exterior Basement- Doorway within undercroft.

Transom grille above doorway to be used to re-route vents alongside existing service pipes.



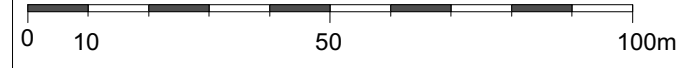
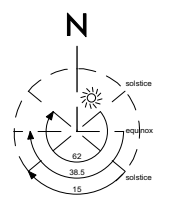
3 Interior Basement- Windows with vent ducts to be removed and concealed within ceiling void.



4 Interior Basement - Stair landing, utilities access cupboards. Ventilation duct work to be re-routed from within ceiling voids of toilet areas through brick wall at rear of cupboards and through to transom grille above undercroft doorway (Door is behind glazed panels and false wall in photographs below).



APPENDIX 4- LOCATION MAP: HISTORIC ENGLAND LIST ENTRY NGR TQ3094681 527



Notes

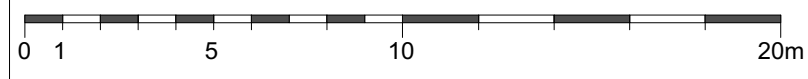
PCA

Project Address  
 3 Stone Buildings, Lincoln's Inn, London  
 WC2A 3XL

Drawing Title  
 Proposed Unisex Toilets Area 2 Elevation  
 E & S

Drawing No.:	2104_1000	Revision:	\
Scale@A1:	Scale@A3:	Rev. Date:	1:25
Drawn by:	Date:	Status:	JC 25/06/2021 P

**PARDON CHAMBERS ARCHITECTS**



Notes

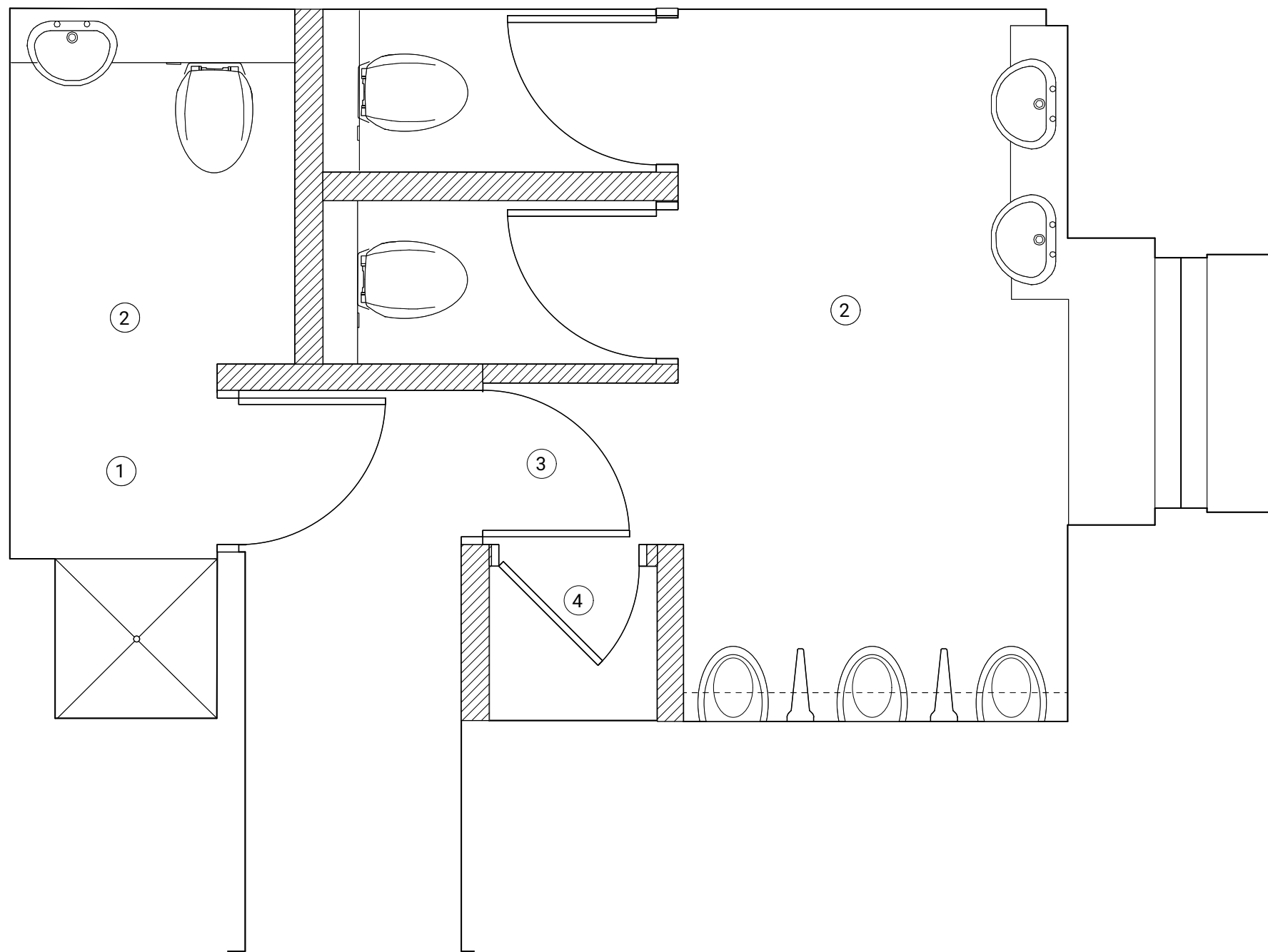
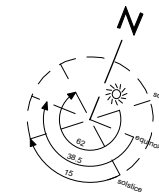
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Project Address  
3 Stone Buildings, Lincolns Inn, London  
WC2A 3XL

Drawing Title  
Site Block Plan

Drawing No.:	2104-1000	Revision:	
Scale@A1:	Scale@A3:	Rev. Date:	
	1:200		
Drawn by:	Date:	Status:	
JC	24/06/20	P	

**PARDON CHAMBERS ARCHITECTS**



Key

- 1 Unisex Shower
- 2 Tiled floor
- 3 Male Toilet
- 4 Cleaners cupboard
- ▨ Partition walls to be removed



Notes

Project Address  
3 Stone Buildings, Holborn, London WC2A  
3XL

Drawing No.:  
2104\_2000

Revision:

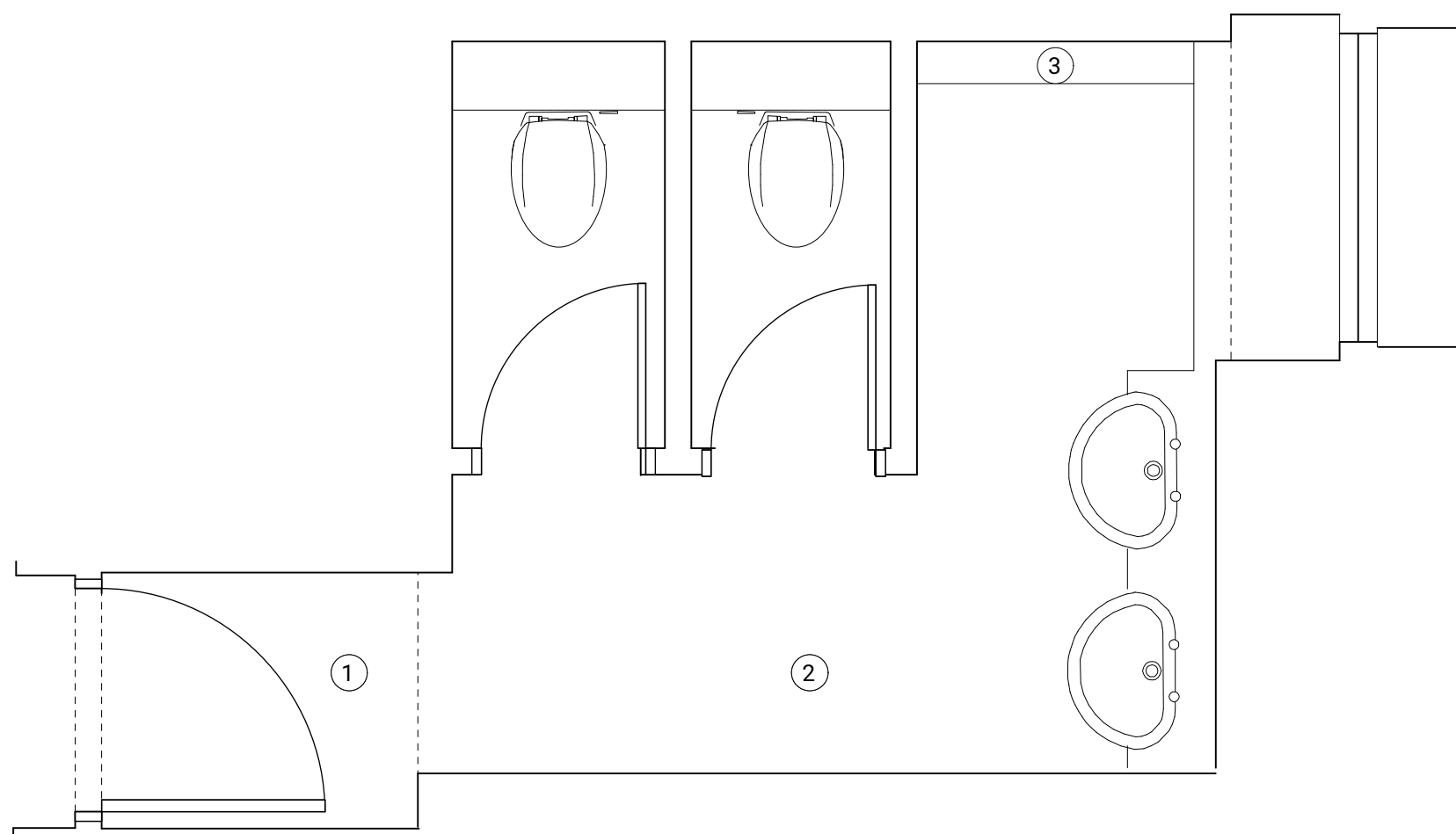
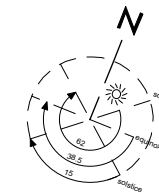
Scale@A1: Scale@A3: Rev. Date:  
1:25

Drawing Title  
Existing Male Toilets & Unisex Shower

Drawn by: Date: Status:  
JC 26/06/2021

PCA

**PARDON CHAMBERS ARCHITECTS**



Key

- 1 Female Toilets
- 2 Tiled floor
- 3 Pipework boxed in



Notes

PCA

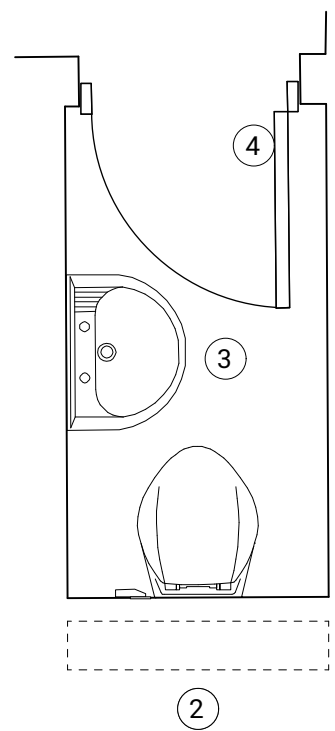
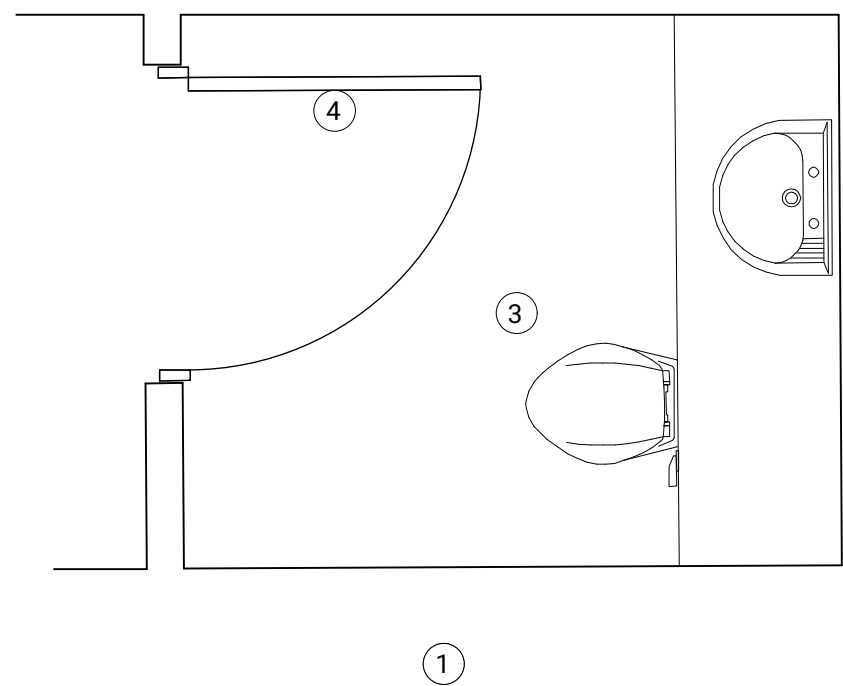
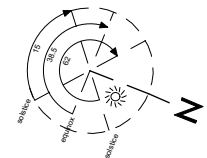
Project Address  
3 Stone Buildings, Holborn, London WC2A  
3XL

Drawing Title  
Existing Female Toilets

Drawing No.:	2104_2002	Revision:	\
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JC	08/04/2021	P	

**PARDON CHAMBERS ARCHITECTS**

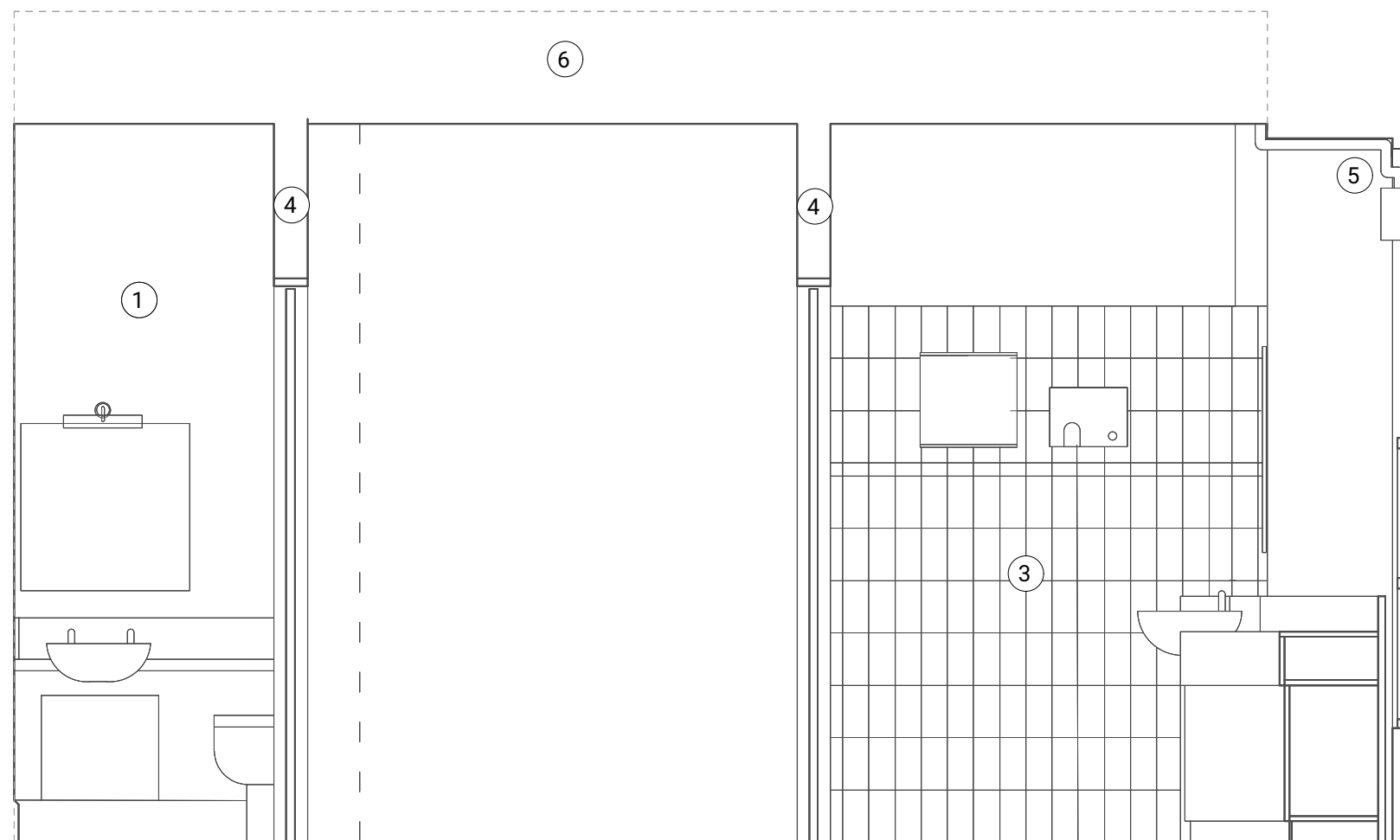




- Key
- 1 First Floor Toilet 1
  - 2 First Floor Toilet 2
  - 3 Tiled floor
  - 4 Original 6 panel timber door



<p>Notes</p>     <p><b>PCA</b></p>	<p>Project Address 3 Stone Buildings, Holborn, London WC2A 3XL</p>	<p>Drawing No.: 2104_2004</p> <p>Scale@A1:    Scale@A3: 1:25</p>	<p>Revision: \ Rev. Date:</p>
	<p>Drawing Title Existing First Floor Toilet Plans</p>	<p>Drawn by:    Date:    Status: JC            08/04/2021    P</p>	<p><b>PARDON CHAMBERS ARCHITECTS</b></p>



Key

- 1 Basement Unisex Shower
- 2 Basement Male Toilets
- 3 Tiled walls
- 4 Partion walls (to be stripped out and replaced in new layout)
- 5 Vents through glazing (to be removed and re-routed through ceiling void)
- 6 Ceiling void



Notes

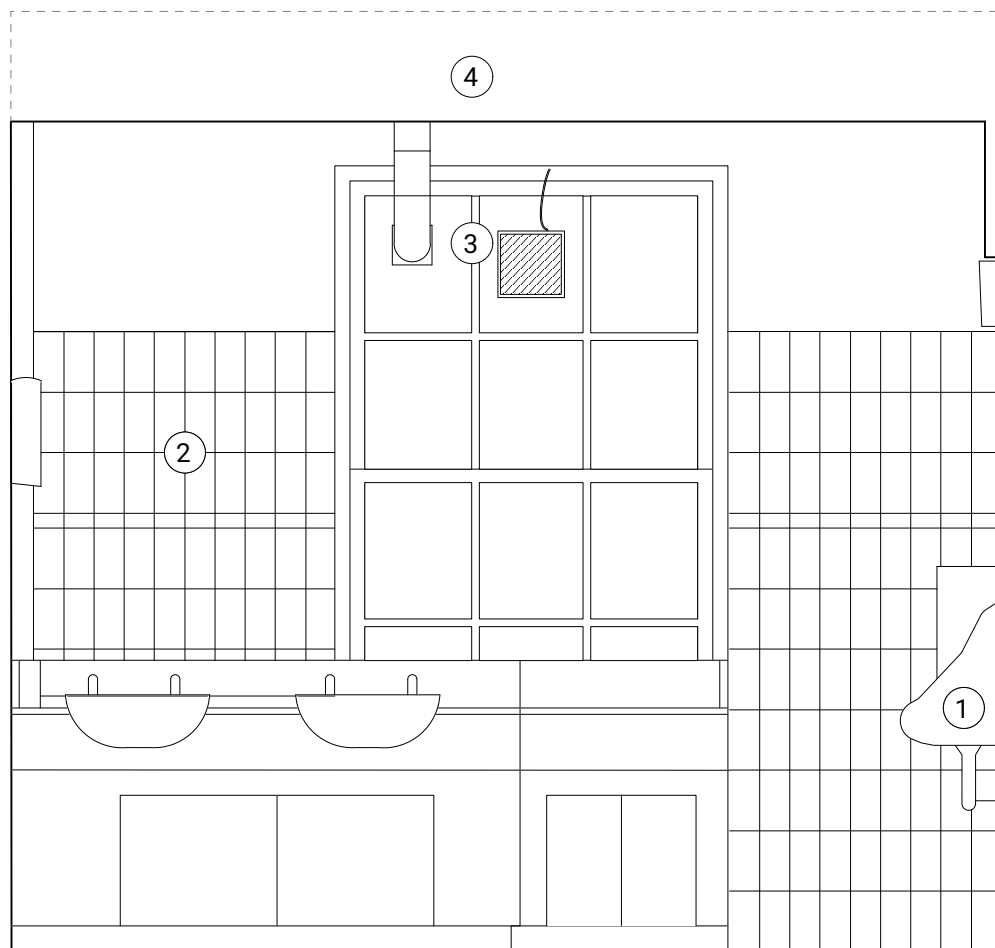
PCA

Project Address  
3 Stone Buildings, Holborn, London WC2A  
3XL

Drawing Title  
Existing Male Toilets & Shower Elevation  
N

Drawing No.:	2104_2020	Revision:	\
Scale@A1:	Scale@A3:	Rev. Date:	1:25
Drawn by:	Date:	Status:	JC 08/04/2021 P

**PARDON CHAMBERS ARCHITECTS**



Key

- 1 Urinals to be removed
- 2 Tiled walls
- 3 Vents through glazing (to be removed and re-routed through ceiling void)
- 4 Ceiling void



Notes

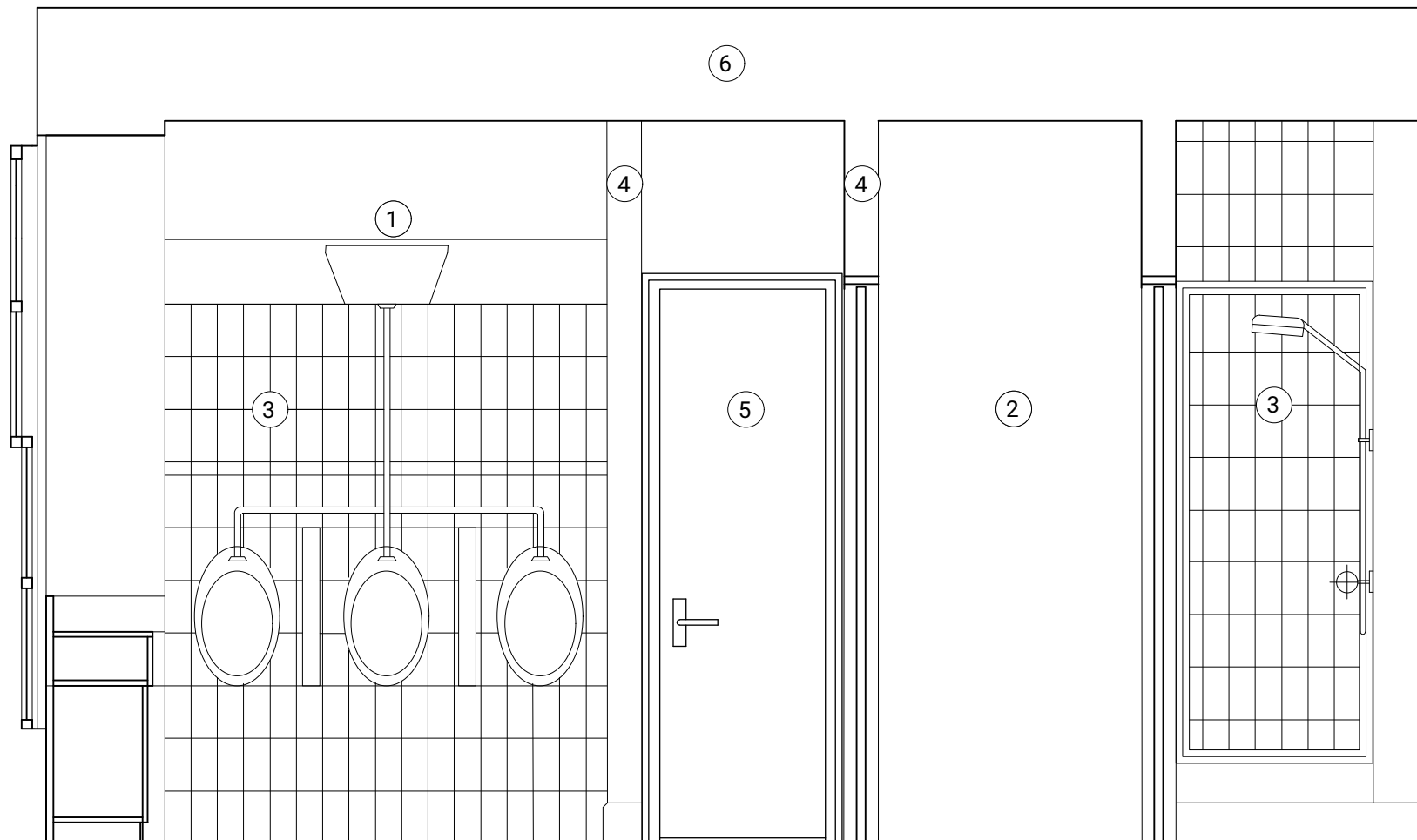
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Project Address  
3 Stone Buildings, Holborn, London WC2A  
3XL

Drawing Title  
Existing Male Toilets Elevation E

Drawing No.:	2104_2021	Revision:	\
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Drawn by:	Date:	Status:	
JC	08/04/2021		

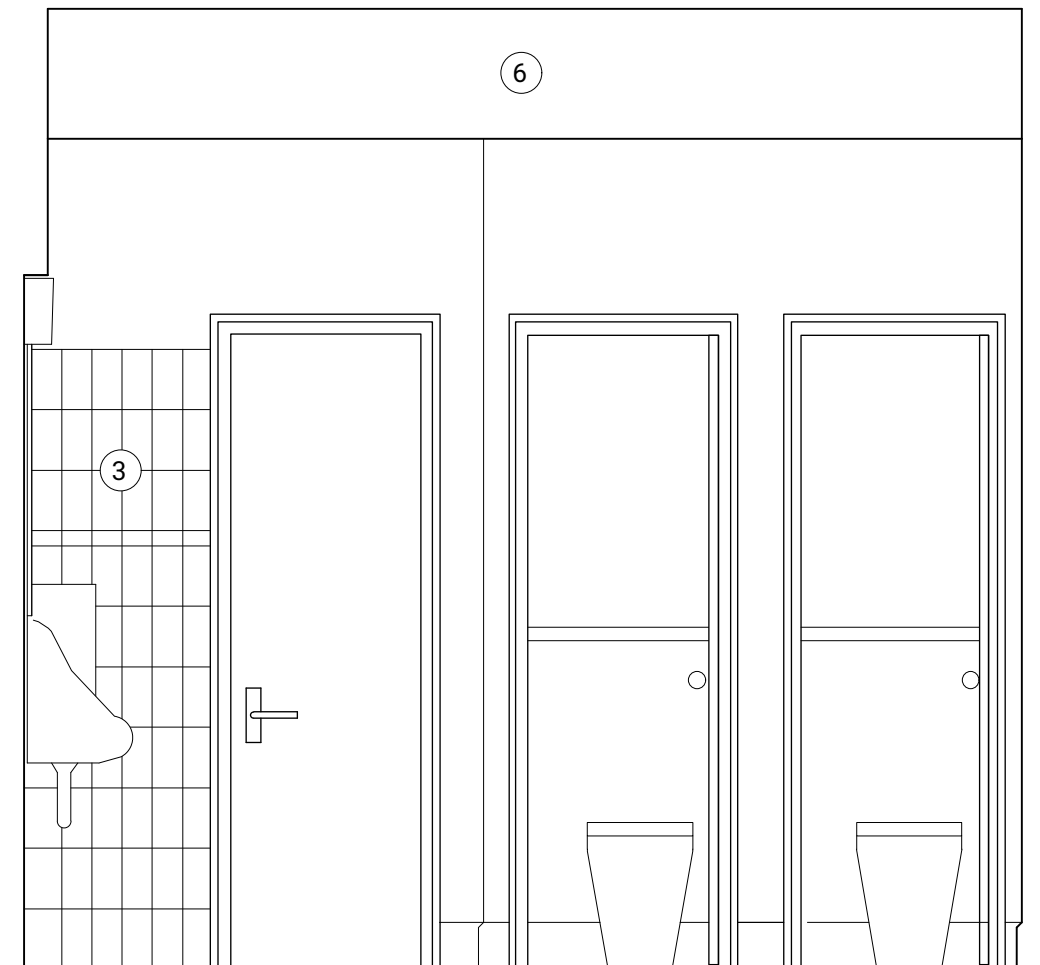
**PARDON CHAMBERS ARCHITECTS**



1 Elevation Looking South

Key

- 1 High level cistern & bulkhead
- 2 Corridor access
- 3 Tiled walls
- 4 Partion walls (to be stripped out and replaced in new layout)
- 5 Cleaners Cupboard (to be stripped out and replaced in new layout)
- 6 Ceiling void



2 Elevation Looking West

Notes

Project Address  
3 Stone Buildings, Holborn, London WC2A  
3XL

Drawing No.: 2104\_2022  
Revision: \

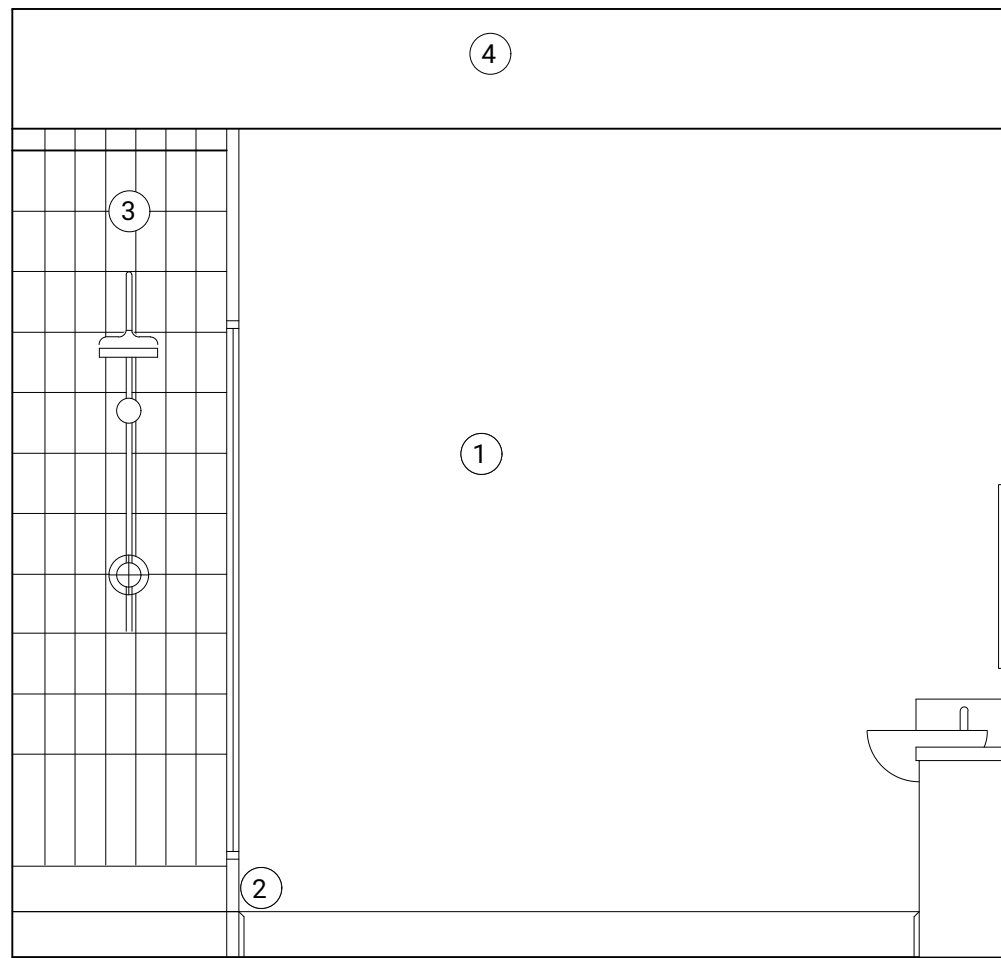
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Rev. Date:

Drawing Title  
Existing Elevation S & W- Basement Male  
Toilets & Shower

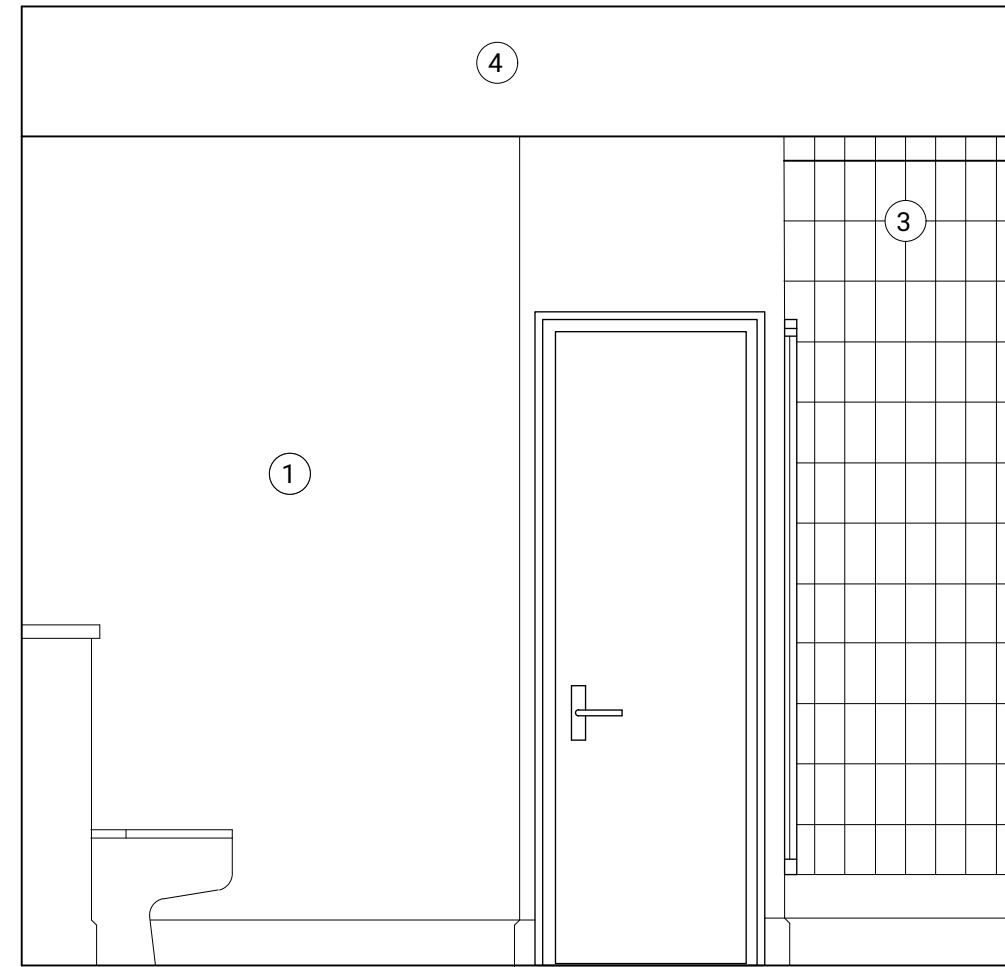
Drawn by: JC  
Date: 08/04/2021  
Status:

PCA

PARDON CHAMBERS ARCHITECTS



1 Elevation Looking East



2 Elevation Looking West

Key

- 1 Painted walls
- 2 Step up to shower tray
- 3 Tiled walls
- 4 Ceiling void



Notes

Notes

Project Address  
3 Stone Buildings, Holborn, London WC2A  
3XL

Drawing Title  
Existing Basement Unisex Shower  
Elevation E & W

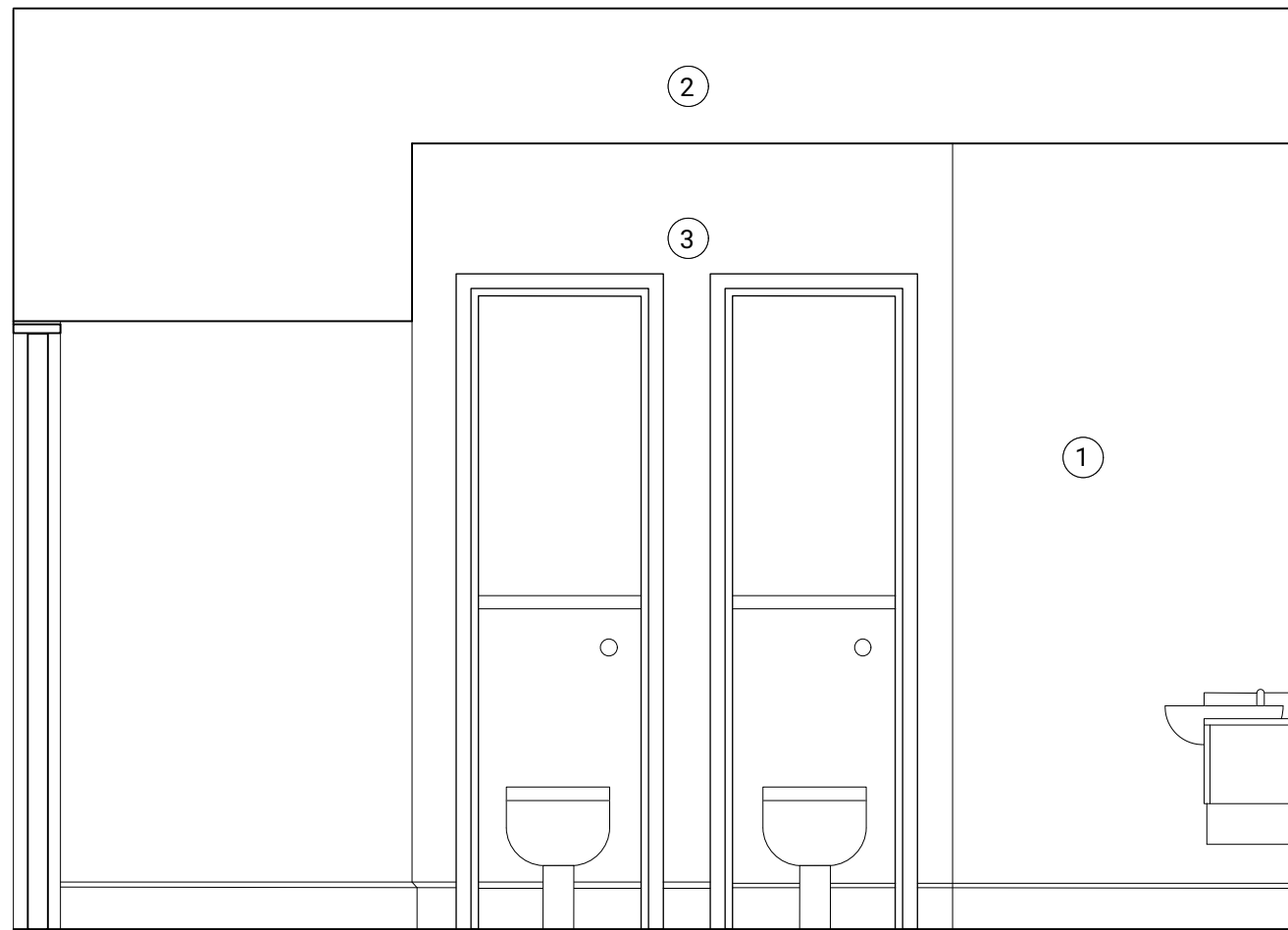
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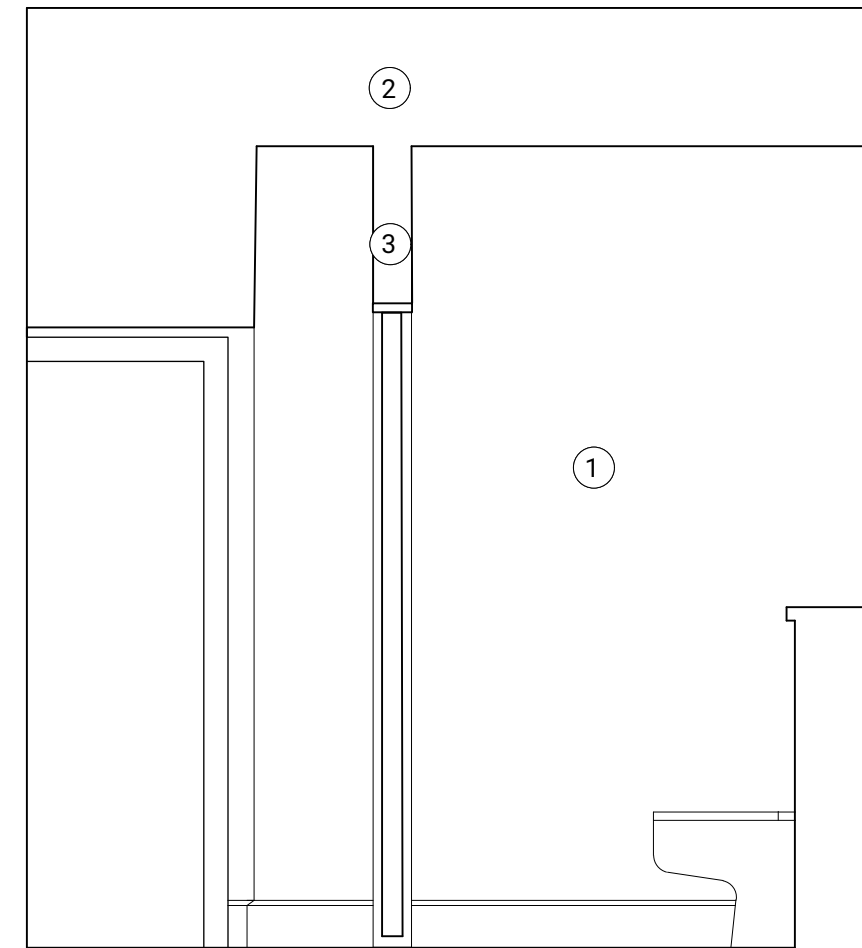
Drawn by: Date: Status:  
JC 08/04/2021 P

PCA

**PARDON CHAMBERS ARCHITECTS**



1 Elevation Looking North



2 Elevation Looking West

Key

- 1 Painted walls
- 2 Ceiling void
- 3 Partition walls



Notes

PCA

Project Address  
3 Stone Buildings, Holborn, London WC2A  
3XL

Drawing Title  
Existing Female Toilets Elevation N & W

Drawing No.:  
2104\_2026

Scale@A1: Scale@A3: Rev. Date:  
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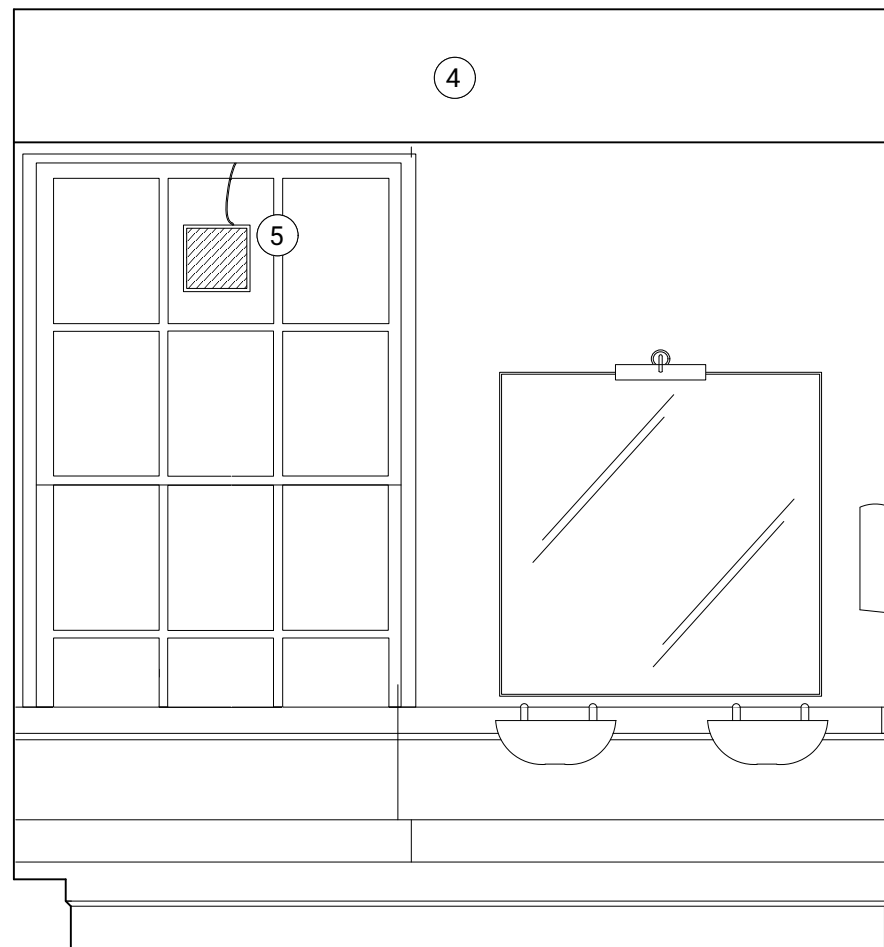
Drawn by: Date: Status:  
JC 08/04/2021 P

Revision:

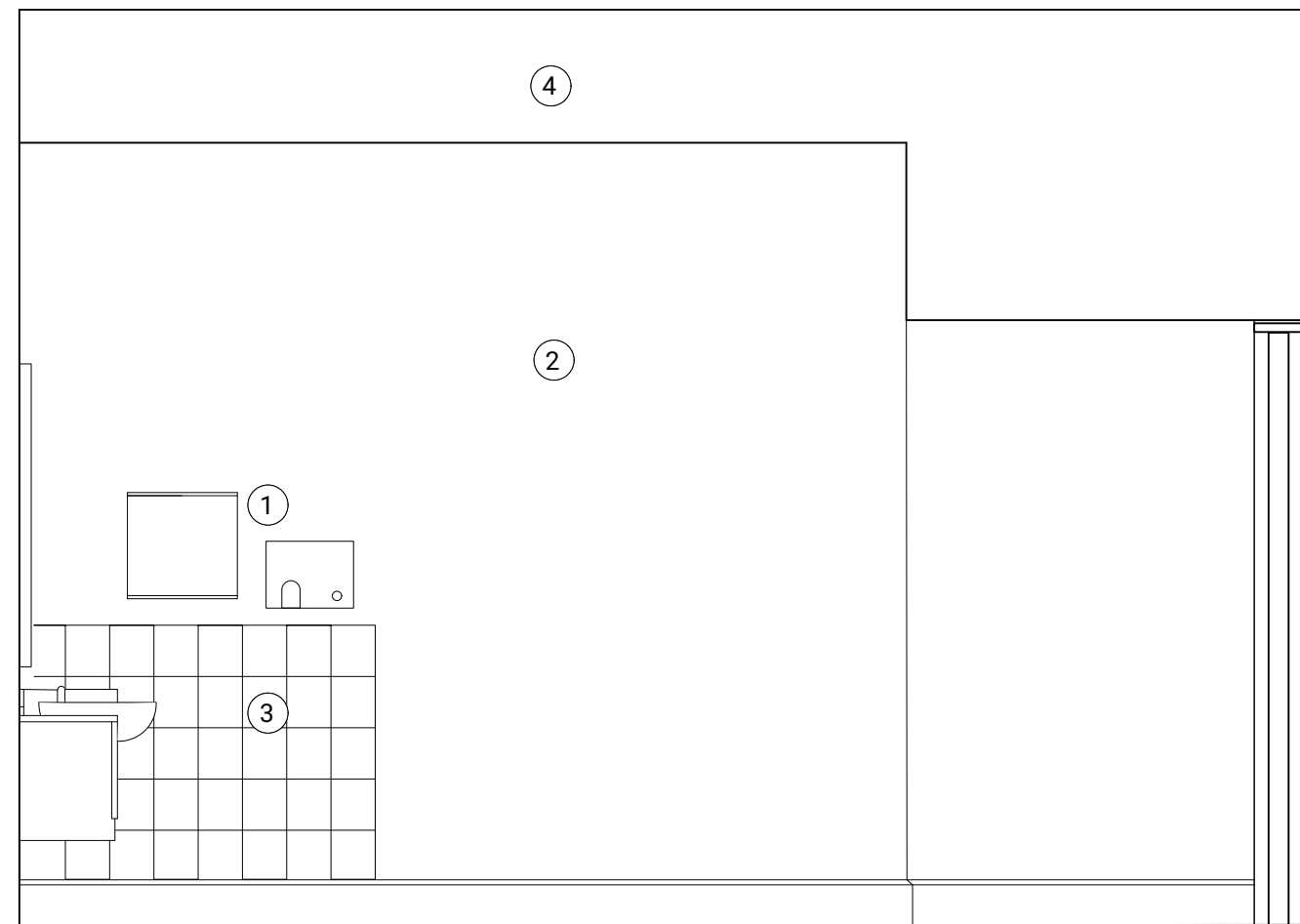
Rev. Date:

Status:

**PARDON CHAMBERS ARCHITECTS**



1 Elevation Looking East



2 Elevation Looking South

Key

- 1 Hand towels and hand dryer
- 2 Painted walls
- 3 Tiled walls
- 4 Ceiling void
- 5 Vents through glazing (To be removed)



Notes

Project Address  
3 Stone Buildings, Holborn, London WC2A  
3XL

Drawing Title  
Existing Female Toilets Elevations E & S

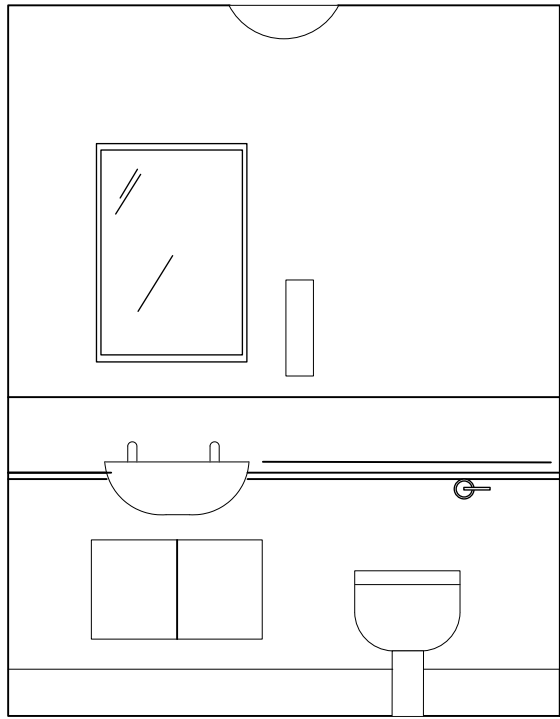
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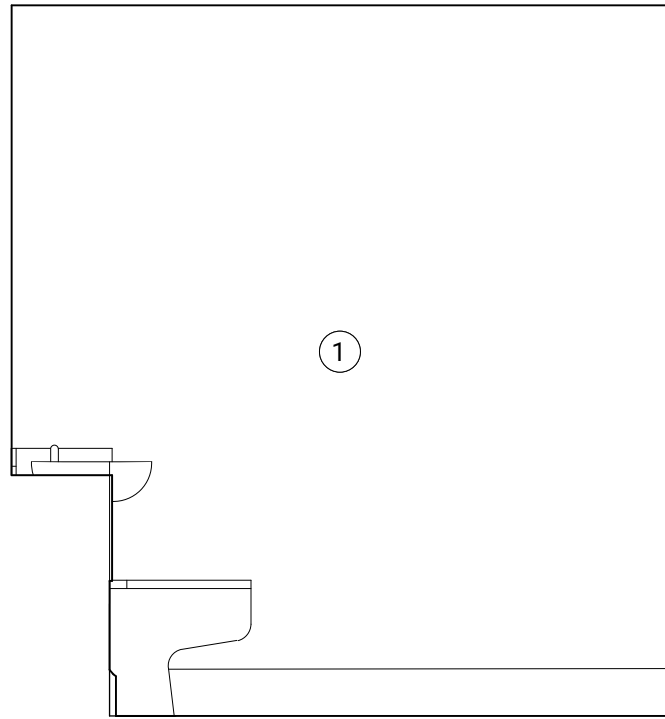
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JC 25/06/21 P

PCA

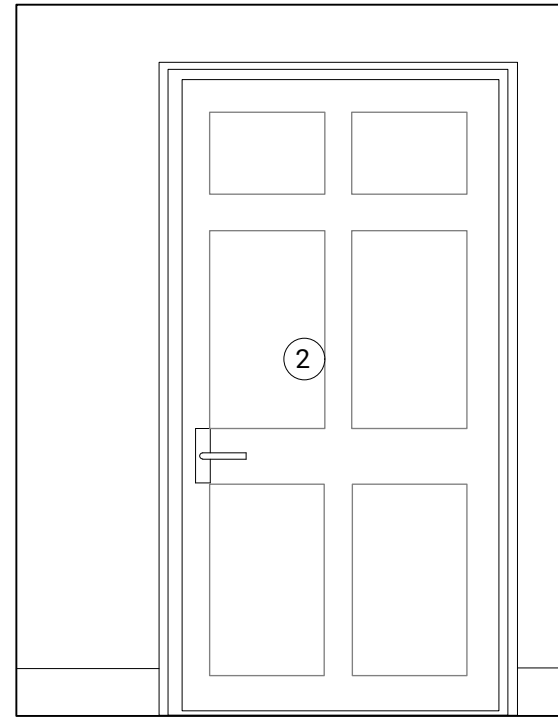
**PARDON CHAMBERS ARCHITECTS**



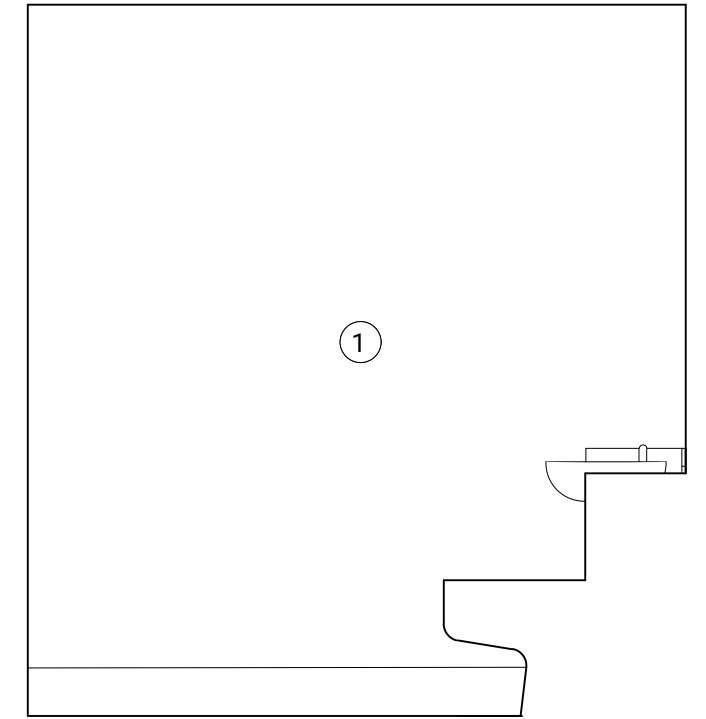
1 Elevation Looking North



2 Elevation Looking South

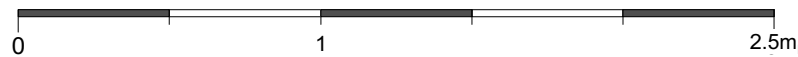


3 Elevation Looking East



4 Elevation Looking West

Key  
 1 Painted walls  
 2 Original 6 panel timber door



Notes

Project Address

Drawing No.:  
2104\_2030

Revision:

Scale@A1: Scale@A3: Rev. Date:  
1:25

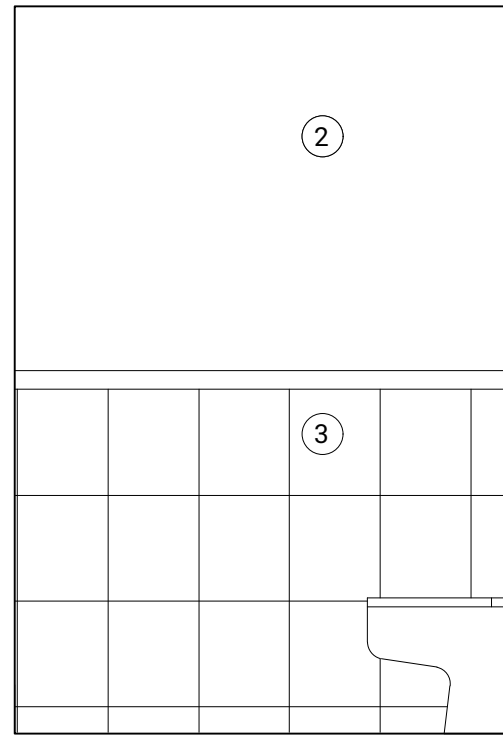
Drawing Title  
Existing First Floor Toilet 1 Elevation N E  
S & W

Drawn by: Date: Status:  
JC 25/06/20 P

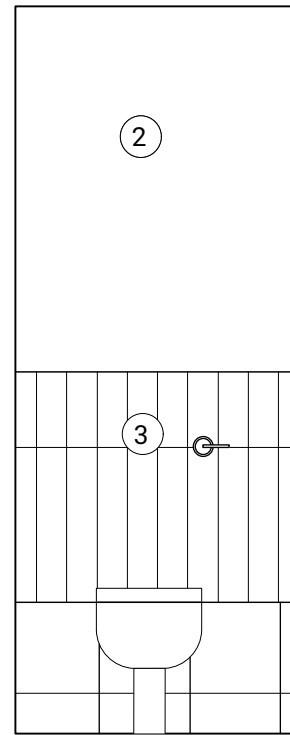
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**PARDON CHAMBERS ARCHITECTS**

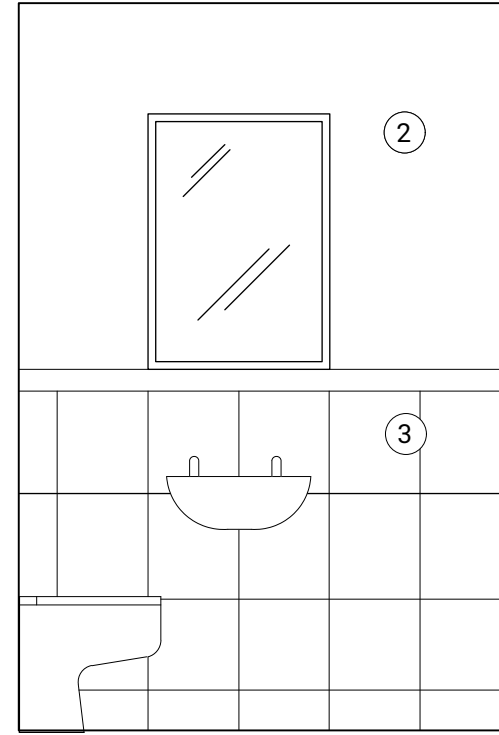




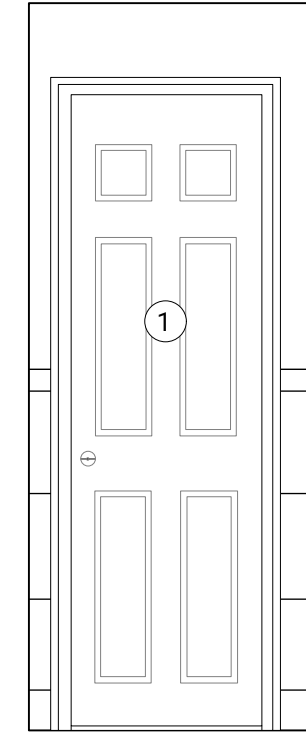
1 Elevation Looking North



2 Elevation Looking South

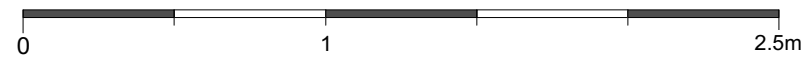


3 Elevation Looking East



4 Elevation Looking West

- Key
- 1 Original 6 panel timber door
  - 2 Painted wall
  - 3 Tiled wall



Notes

PCA

Project Address  
 3 Stone Buildings  
 Lincolns Inn  
 London WC2A 3XL

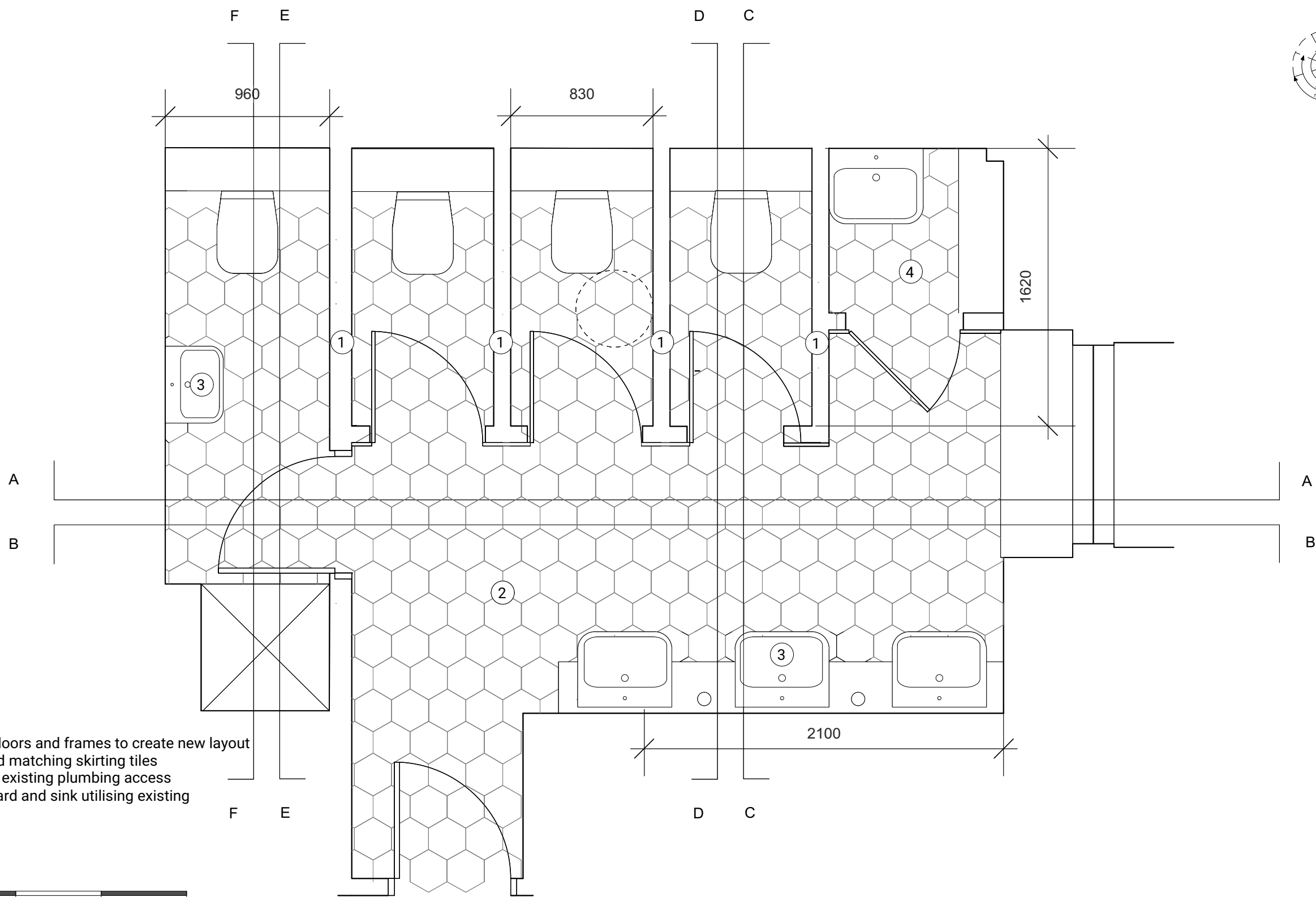
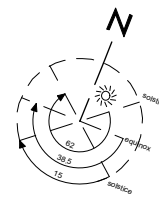
Drawing Title  
 Existing First Floor Toilet 2-Elevation N S  
 E & W

Drawing No.:  
 2104\_2034

Scale@A1: Scale@A3: Rev. Date:  
 1:25

Drawn by: Date: Status:  
 JC 25/06/20 P

**PARDON CHAMBERS ARCHITECTS**



**Key**

- 1 New timber framed walls doors and frames to create new layout
- 2 Replacement floor tiles and matching skirting tiles
- 3 New sanitaryware utilising existing plumbing access
- 4 New cleaners store cupboard and sink utilising existing plumbing access



**Notes**

Project Address  
3 Stone Buildings, Holborn, London WC2A  
3XL

Drawing Title  
Proposed Basement Unisex Toilets and  
Shower Room Plan

Drawing No.:  
2104\_2100

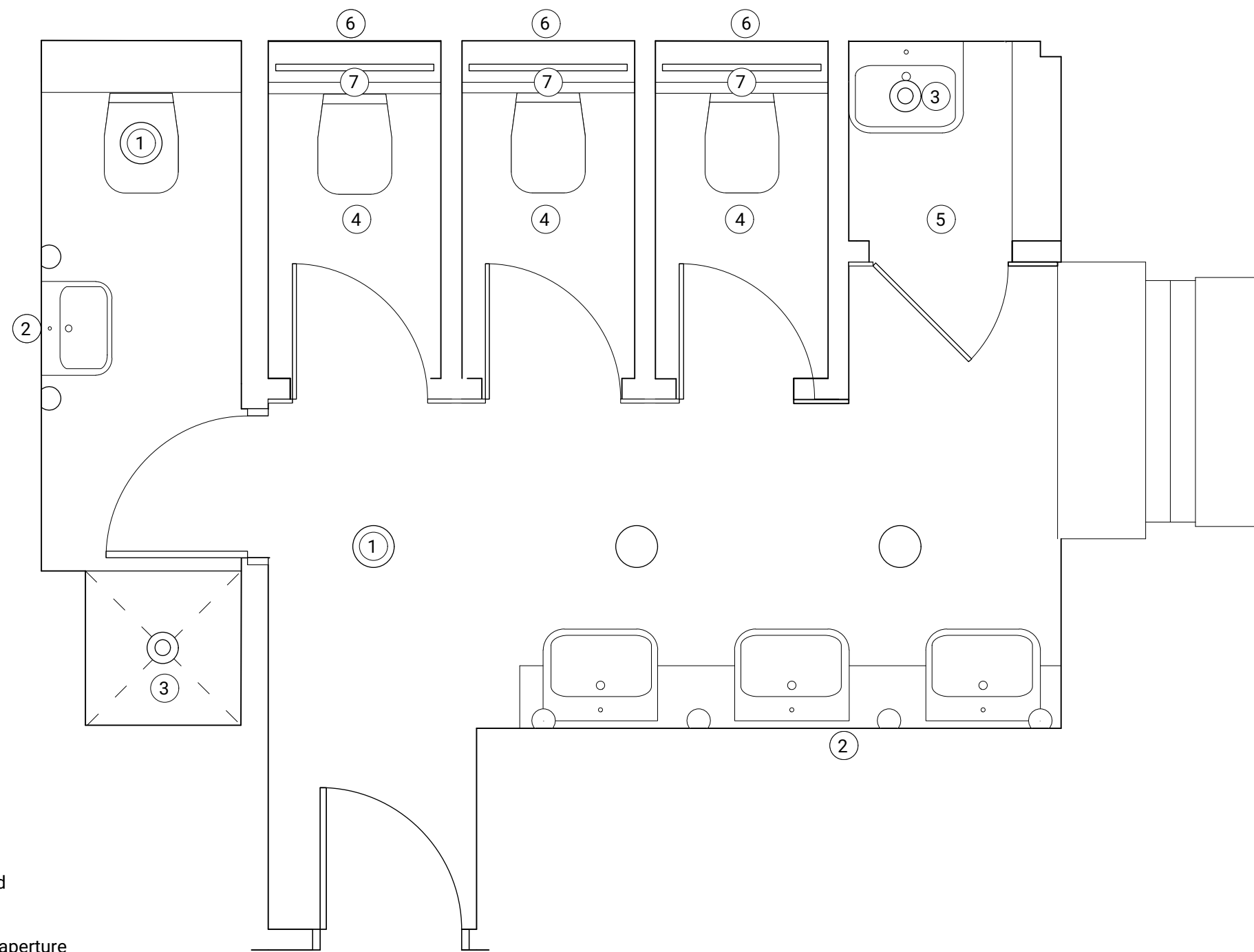
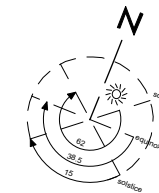
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Drawn by: Date: Status:  
JC 25/06/2021 Proposed

Revision:

**PCA**

**PARDON CHAMBERS ARCHITECTS**



**Key**

- 1 Ceiling mounted light fitting
- 2 Wall light fittings mounted on mirror
- 3 In- ceiling recessed downlight & extract
- 4 New layout with additional toilet created utilising existing plumbing routes
- 5 New cleaners cupboard & sink
- 6 LED wall wash strip light in ceiling void aperture
- 7 Extract



**Notes**

Notes

Project Address  
3 Stone Buildings  
Lincolns Inn  
London WC2A 3XL

Drawing Title  
Basement - Proposed Reflected Ceiling  
Plan-Unisex Toilet Area 1 & Shower

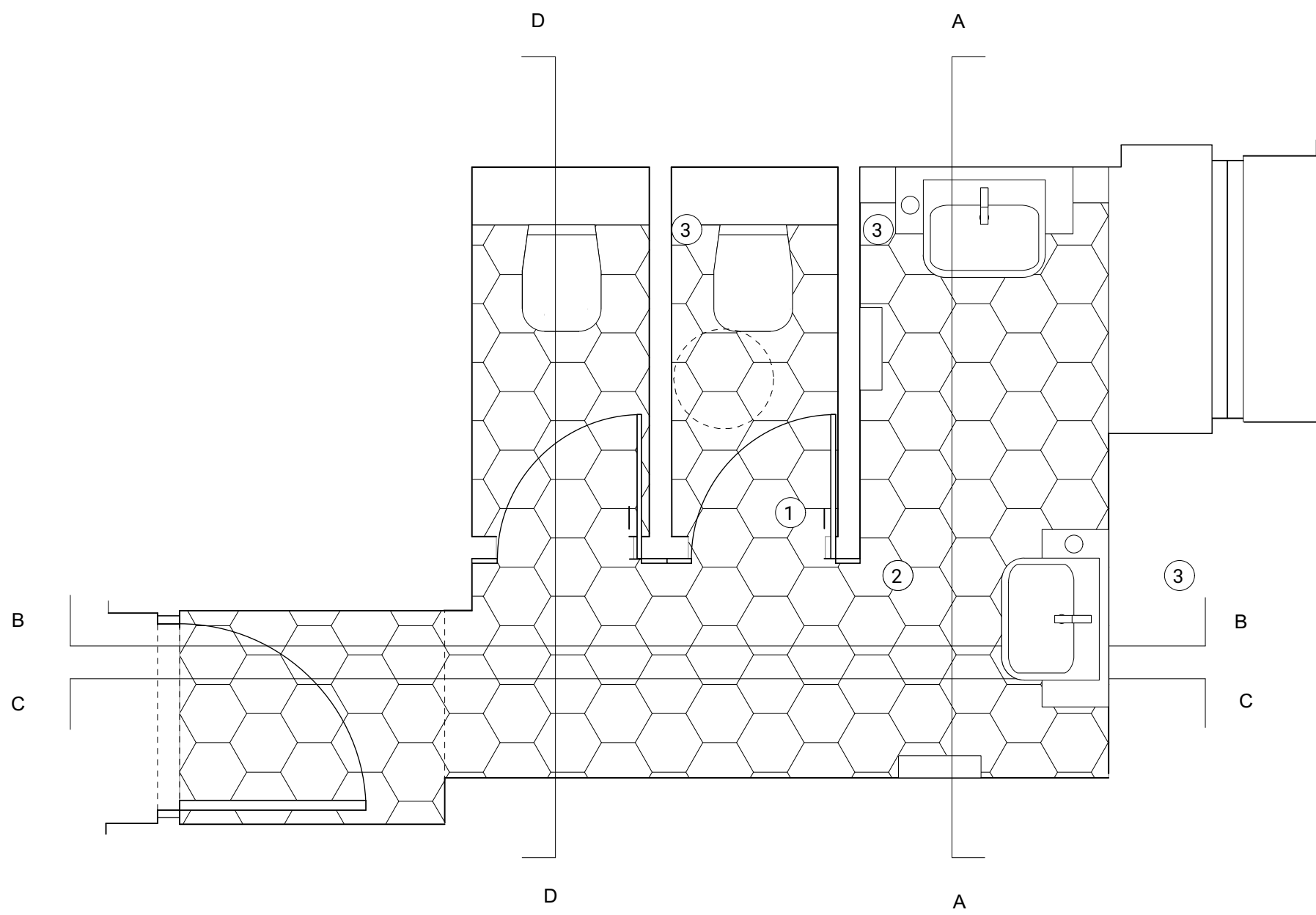
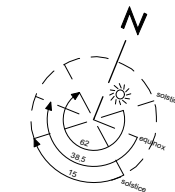
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Drawn by:      Date:      Status:  
JC      25/06/2021      P

**PCA**

**PARDON CHAMBERS ARCHITECTS**



- Key
- 1 New doors and frames utilising existing walls and layout
  - 2 Replacement floor tiles and matching skirting tiles
  - 3 New sanitaryware utilising existing plumbing routes

Notes

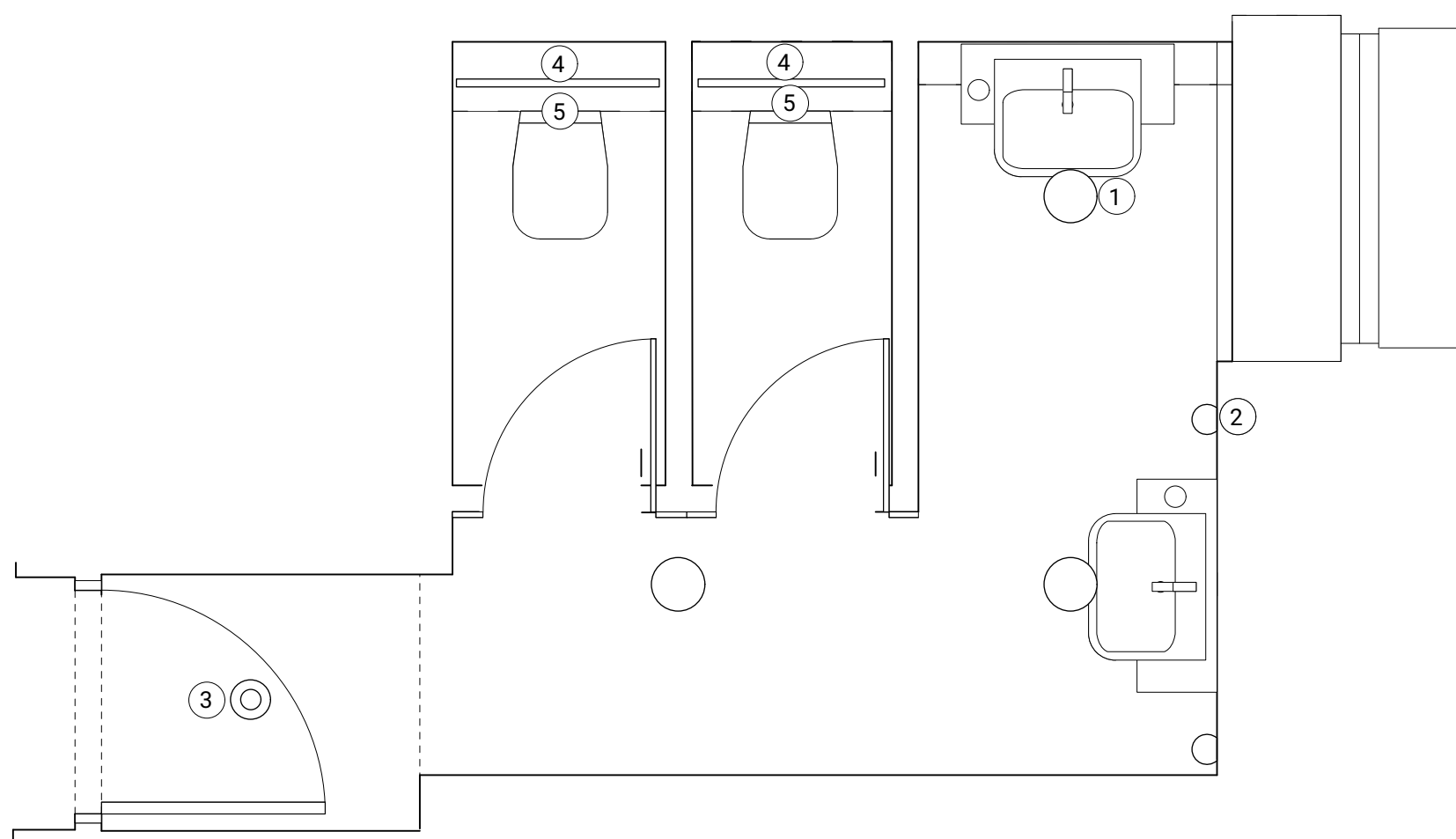
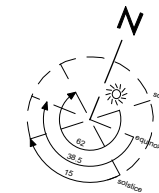
**PCA**

Project Address  
3 Stone Buildings, Holborn, London WC2A  
3XL

Drawing Title  
Proposed Basement Unisex Toilets Area  
2 Plan

Drawing No.:	2104_2102	Revision:	
Scale@A1:	Scale@A3:	Rev. Date:	
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Drawn by:	Date:	Status:	
JC	25/06/2021	P	

**PARDON CHAMBERS ARCHITECTS**



Key

- 1 Ceiling mounted light fitting
- 2 Wall light fittings mounted on mirror
- 3 In- ceiling recessed downlight
- 4 LED wall wash strip light in ceiling void aperture
- 5 Extracts



Notes

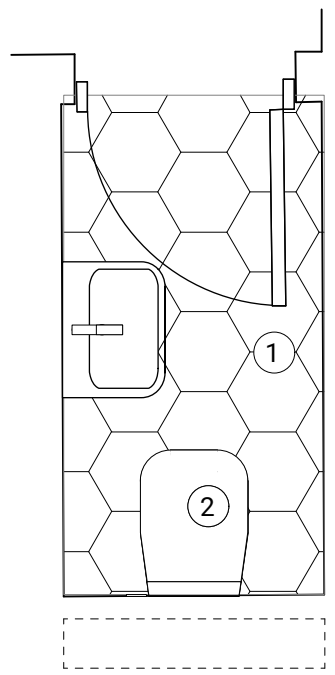
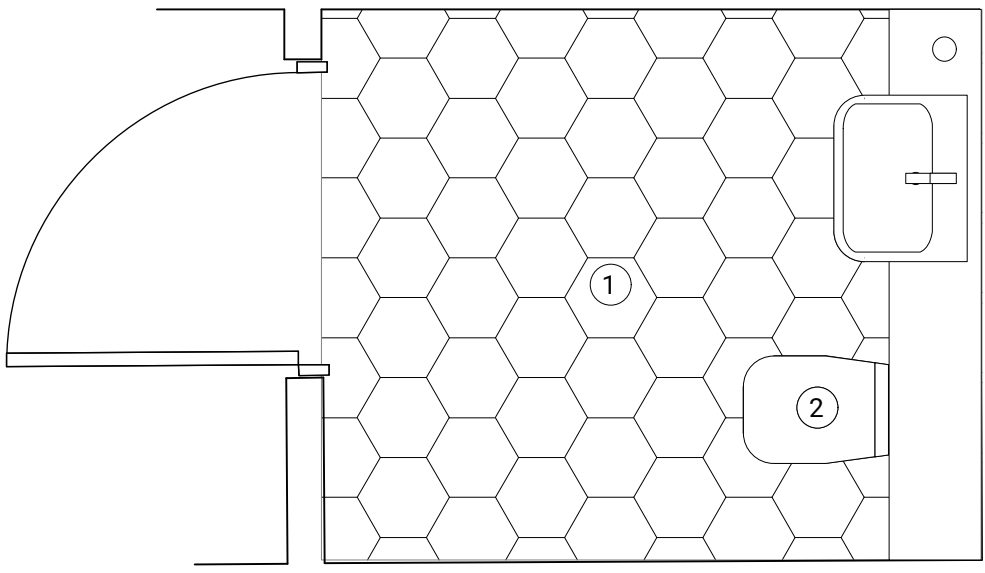
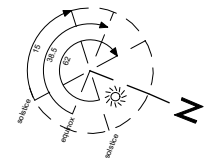
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Project Address  
3 Stone Buildings, Holborn, London WC2A  
3XL

Drawing Title  
Basement - Proposed Reflected Ceiling  
Plan 2

Drawing No.:	2104_2103	Revision:
Scale@A1:	Scale@A3:	Rev. Date:
	1:25	
Drawn by:	Date:	Status:
JC	25/06/2021	

**PARDON CHAMBERS ARCHITECTS**



Key

- 1 Replacement wall tiles and skirting tiles to match replacment floor tiles
- 2 Replacement sanitaryware utilising existing plumbing access with associated large push pad light switch, grab rails and handles to conform with AD M, Vol.2, 5.10 Diagram 18
- 3 Door modified to outward swing, assisted opening with emergency release mechanism



Notes

PCA

Project Address  
3 Stone Buildings, Holborn, London WC2A  
3XL

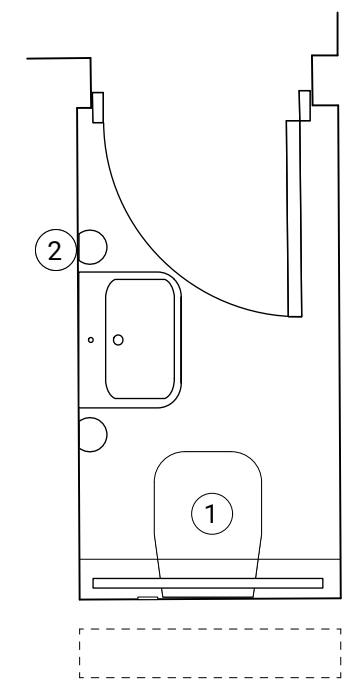
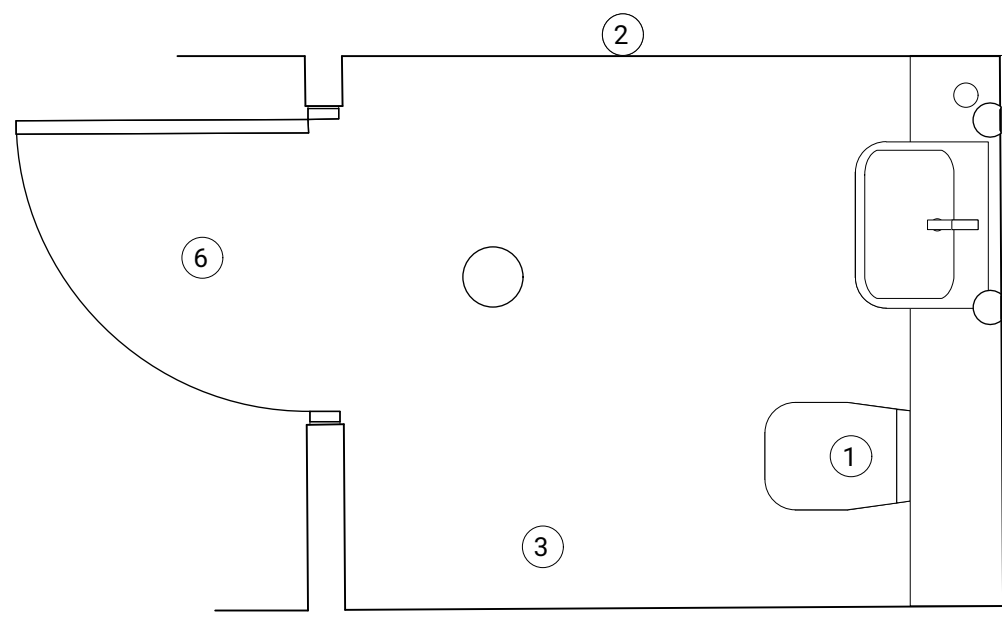
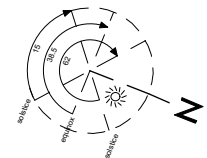
Drawing Title  
Proposed First Floor Toilet Plans

Drawing No.:  
2104\_2104

Scale@A1: Scale@A3: Rev. Date:  
1:25

Drawn by: Date: Status:  
JC 25/06/2021 P

**PARDON CHAMBERS ARCHITECTS**



**Key**

- 1 Ceiling mounted light fitting
- 2 Wall light fittings mounted on mirror
- 3 In- ceiling recessed downlight
- 4 Replacement wall tiles and skirting tiles to match replacment floor tiles
- 5 Replacement sanitaryware utilising existing plumbing access with associated large push pad light switch, grab rails and handles to conform with AD M, Vol.2, 5.10 Diagram 18
- 6 Original timber door modified to outward swing, assisted opening with emergency release mechanism



Notes

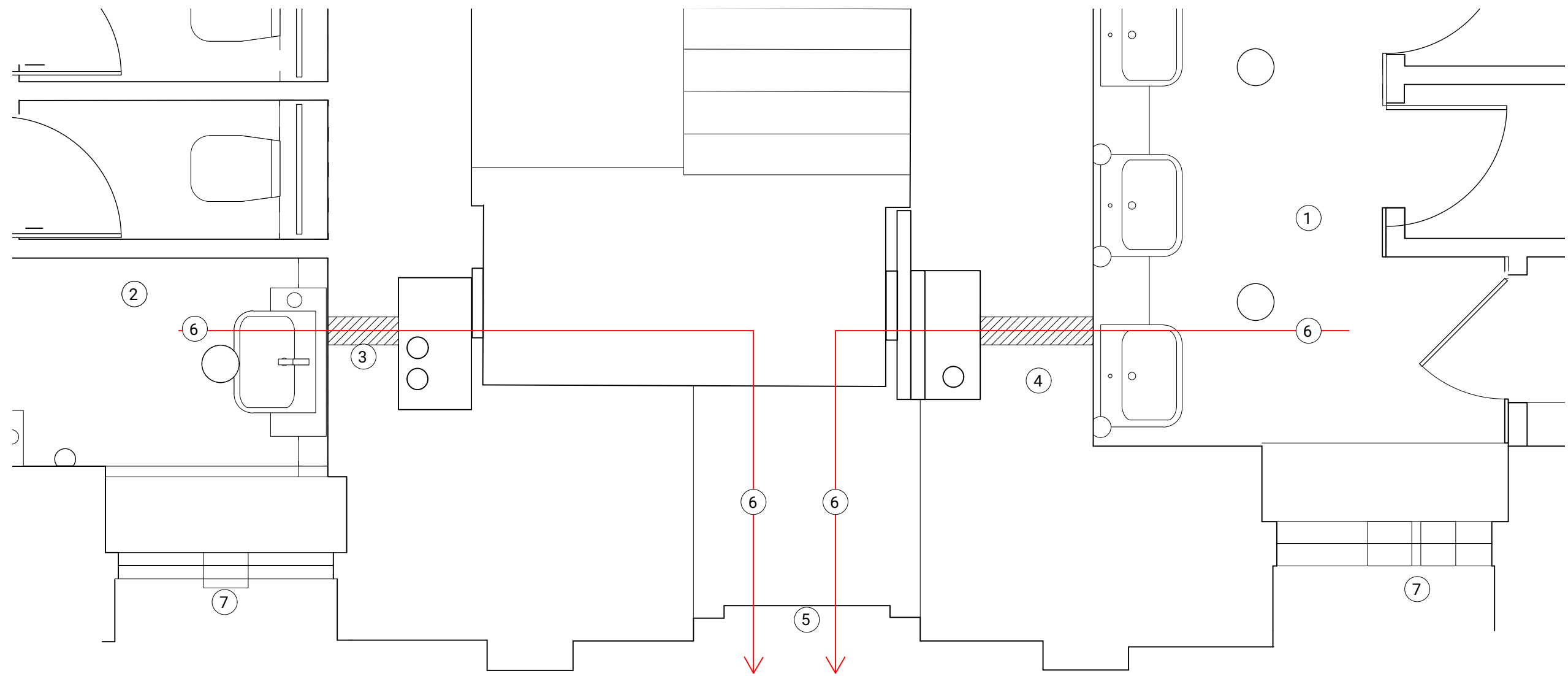
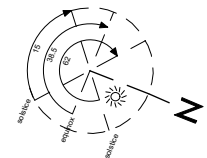
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Project Address  
3 Stone Buildings, Holborn, London WC2A  
3XL

Drawing Title  
First Floor- Proposed reflected ceiling  
plans

Drawing No.:	2104_2105	Revision:	
Scale@A1:	Scale@A3:	Rev. Date:	
	1:25		
Drawn by:	Date:	Status:	
JC	08/04/2021	P	

**PARDON CHAMBERS ARCHITECTS**



**Key**

- 1 Basement Proposed Unisex Toilets Area 1 & Shower
- 2 Basement Proposed Unisex Toilets Area 2
- 3 New cored hole through wall above ceiling height, into rear of services cupboard (S)
- 4 New cored hole through wall above ceiling height, into rear of services cupboard (N)
- 5 Transom above door to undercroft area, with existing service pipework(see photo)
- 6 Proposed re-routing of ventilation ducting in ceiling void
- 7 Existing location of extract grilles



Notes

**PCA**

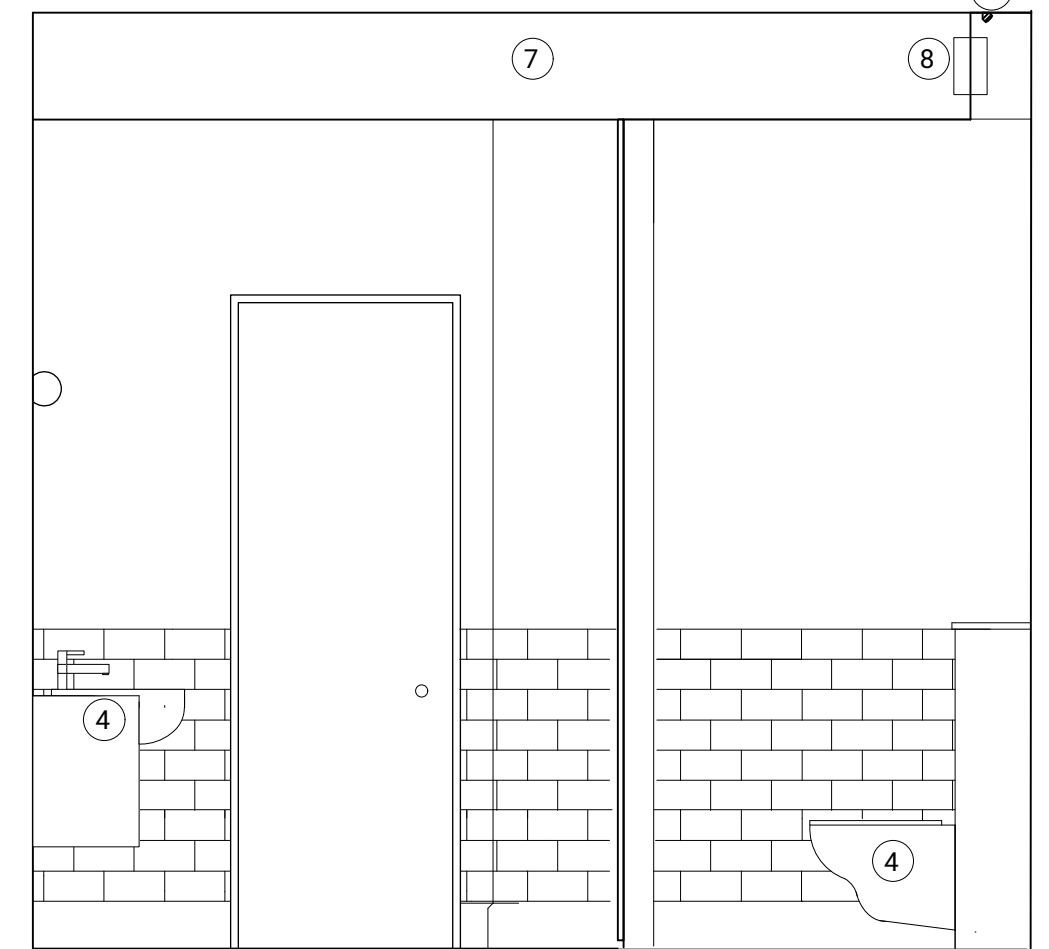
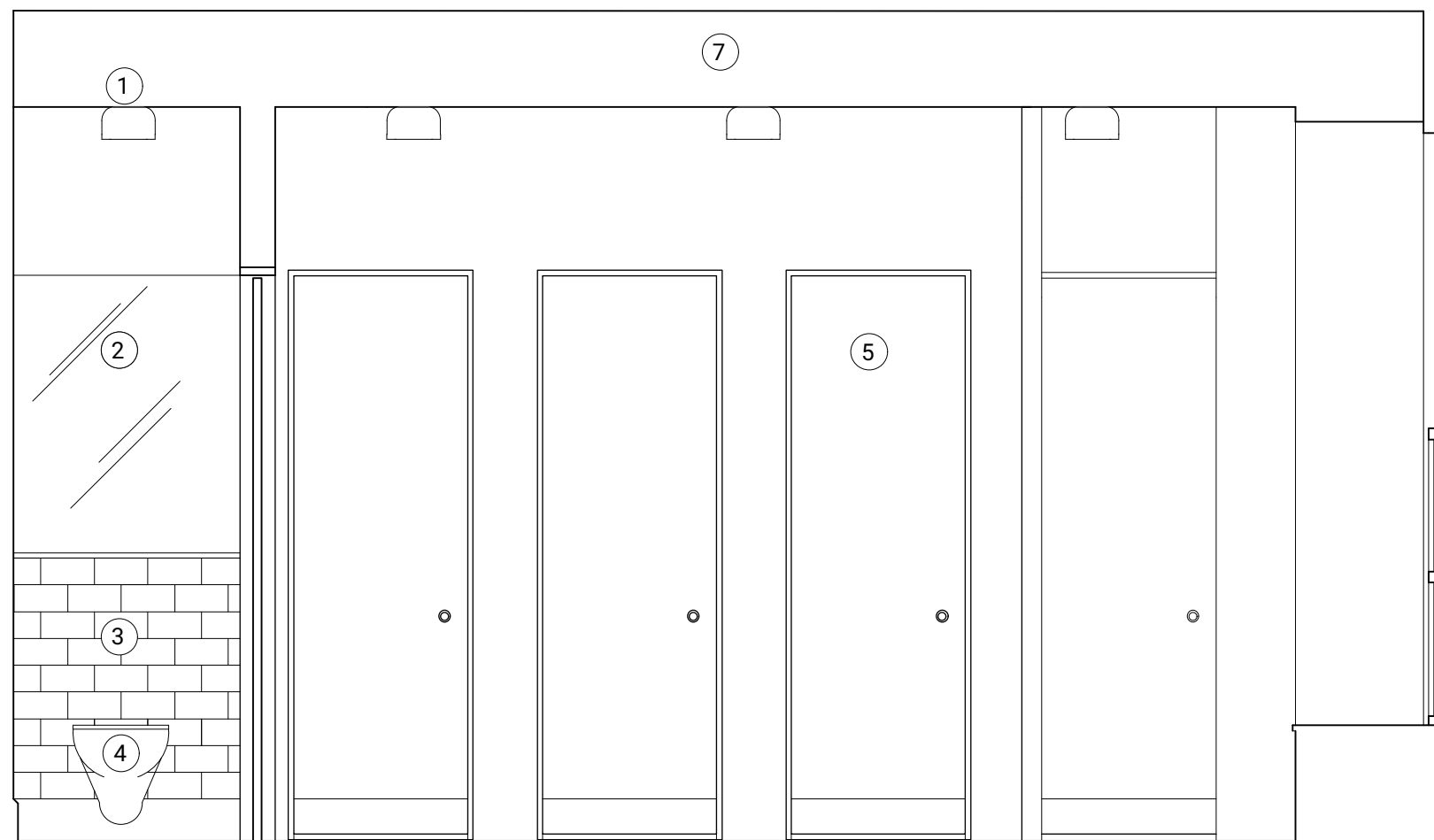
Project Address  
 3 Stone Buildings  
 Lincolns Inn  
 London WC2A 3XL

Drawing Title  
 Basement - Proposed Reflected Ceiling  
 Plans -Ventilation

Drawing No.:	2104_2106	Revision:	
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	1:25		
Drawn by:	Date:	Status:	
JC	25/06/2021	P	

**PARDON CHAMBERS ARCHITECTS**





1 Elevation looking North

2 Elevation looking East

Key

- 1 Ceiling mounted light fitting
- 2 Wall mounted mirror
- 3 Replacement wall tiles and skirting tiles to match replacment floor tiles
- 4 Replacement sanitaryware utilising existing plumbing access
- 5 Replacement doors and frames fitted to existing walls
- 6 LED wall wash strip light in ceiling void aperture
- 7 Existing void above ceiling
- 8 Extract



Notes

Project Address  
3 Stone Buildings, Holborn, London WC2A  
3XL

Drawing No.:  
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Revision:

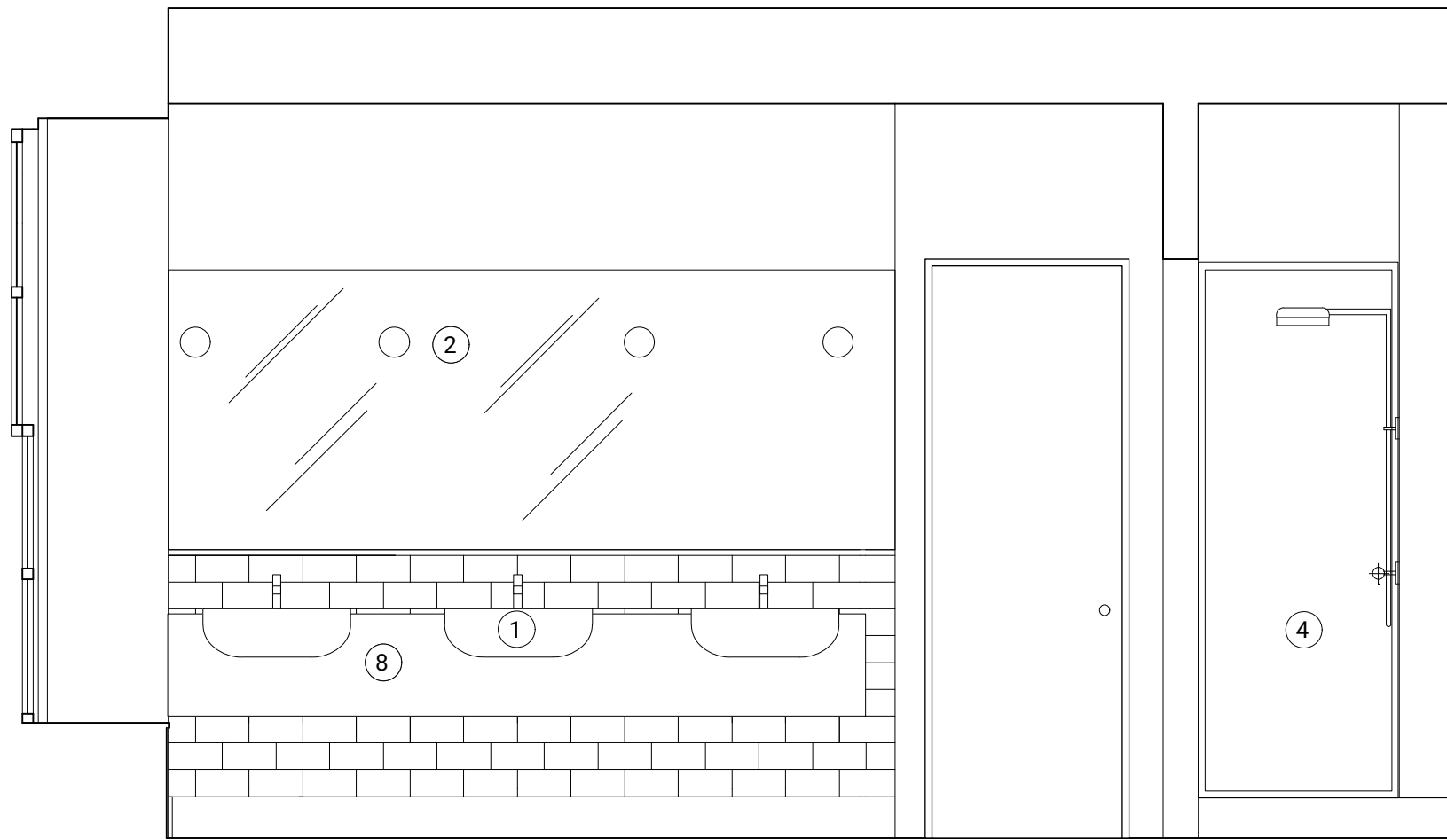
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Drawing Title  
Proposed Unisex Toilets & Shower  
Elevation N & E

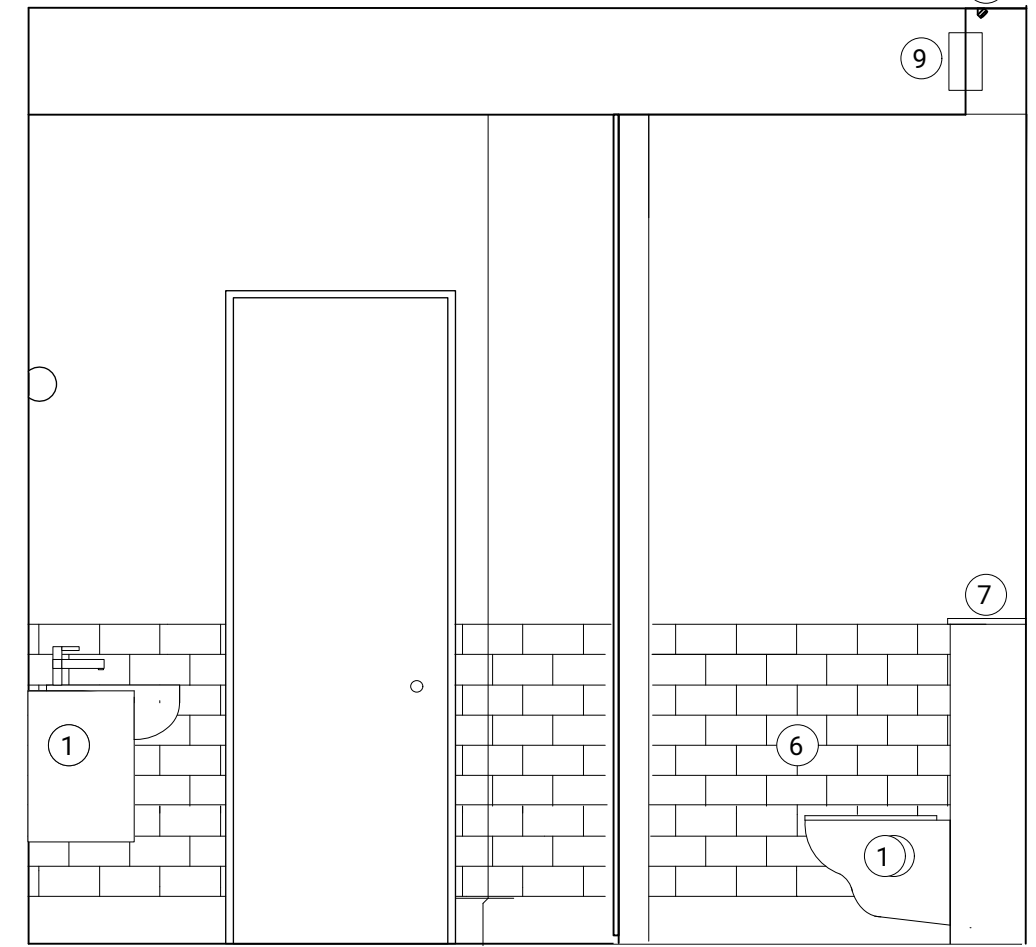
Drawn by: Date: Status:  
JC 25/06/2021 P

PCA

**PARDON CHAMBERS ARCHITECTS**



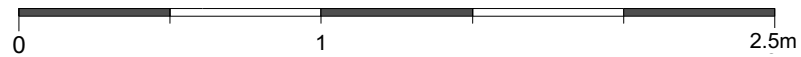
1 Elevation Looking South



2 Elevation Looking West

Key

- 1 New sanitaryware utilising existing plumbing routes
- 2 Wall light fittings mounted on mirror
- 3 LED wall wash strip light in ceiling void aperture
- 4 Replacement obscure glazed shower door and frame fitted to existing walls
- 5 Replacement wall tiles and skirting tiles to match replacment floor tiles
- 6 Existing void above suspended ceiling
- 7 Quartzite shelf
- 8 Quartzite vanity unit
- 9 Extract
- 10 Recessed light and extract over shower



Notes

Notes

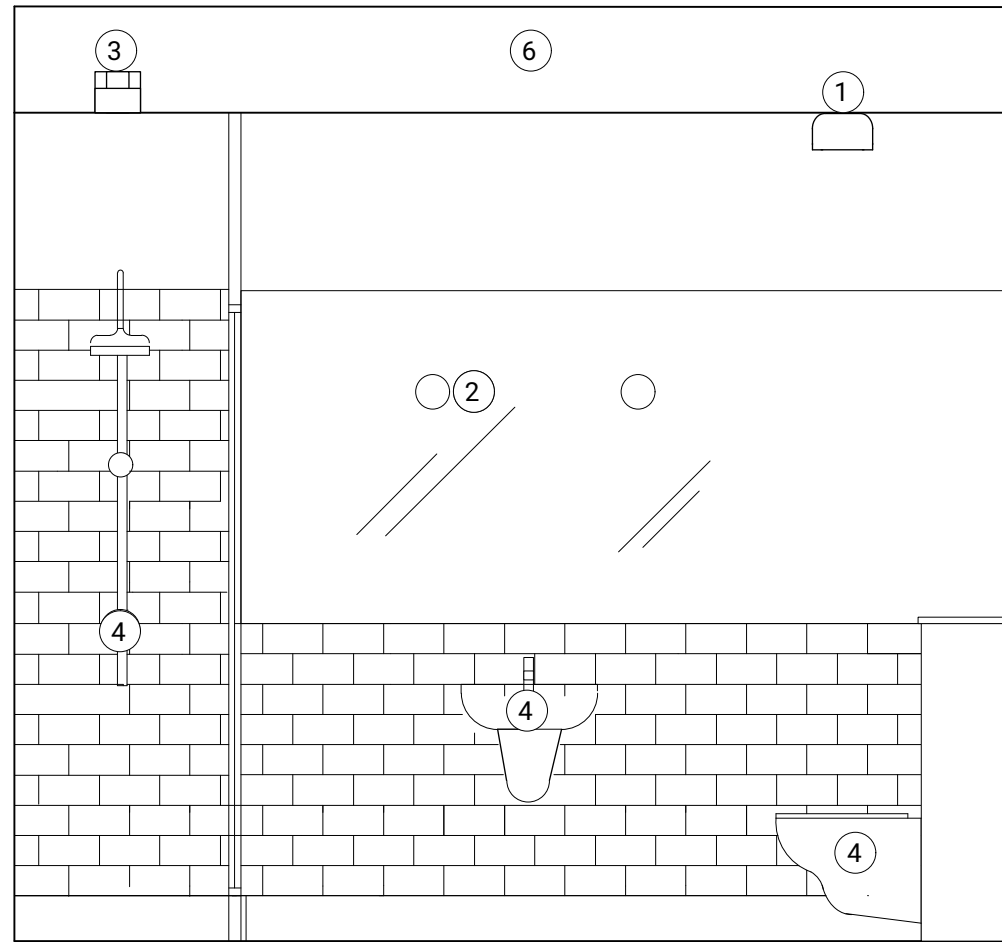
Project Address  
3 Stone Buildings, Holborn, London WC2A  
3XL

Drawing Title  
Basement Proposed -Unisex Toilets &  
Shower Elevations S & W

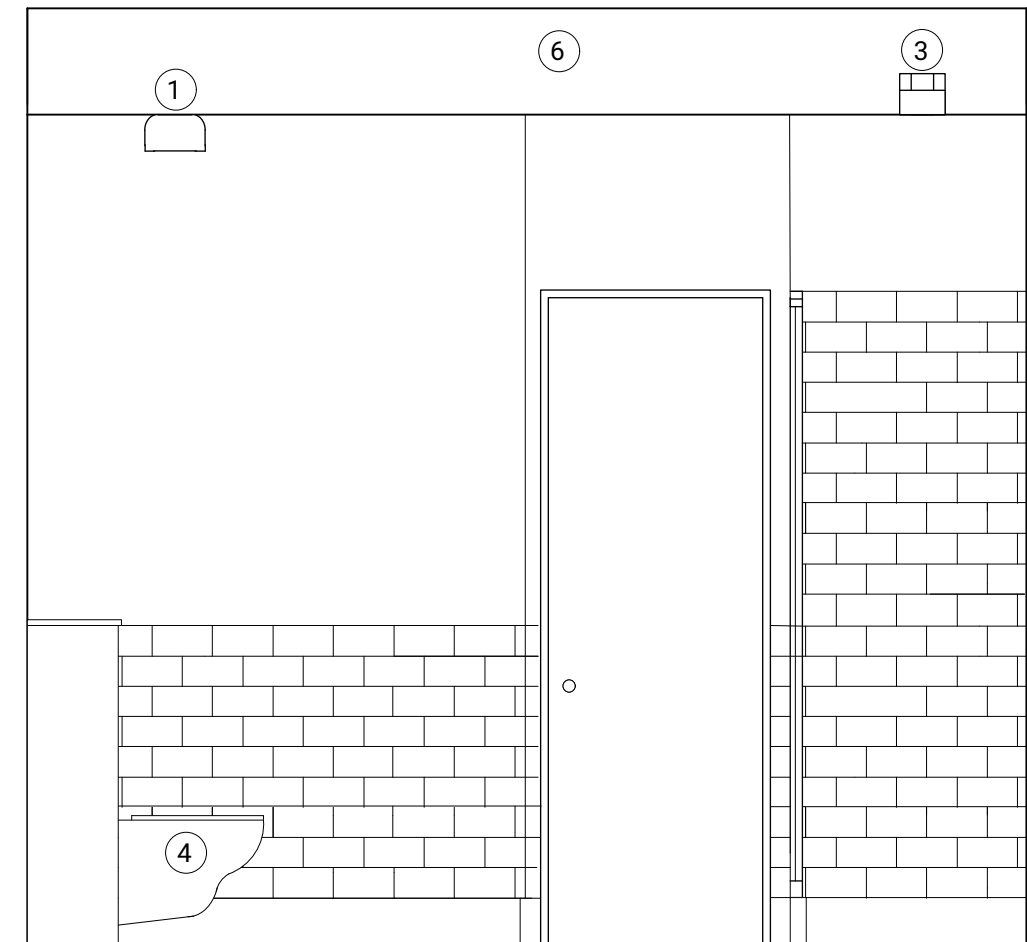
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Drawn by:	Date:	Status:	
JC	25/06/2021	P	

PCA

**PARDON CHAMBERS ARCHITECTS**



1 Elevation looking East



2 Elevation looking West

Key

- 1 Ceiling mounted light fitting
- 2 Wall light fittings mounted on mirror
- 3 In-ceiling recessed downlight and extract
- 4 Replacement wall tiles and skirting tiles to match replacment floor tiles
- 5 New sanitaryware utilising existing plumbing access
- 6 Existing void above suspended ceiling



Notes

PCA

Project Address  
3 Stone Buildings  
Lincolns Inn  
London WC2A 3XL

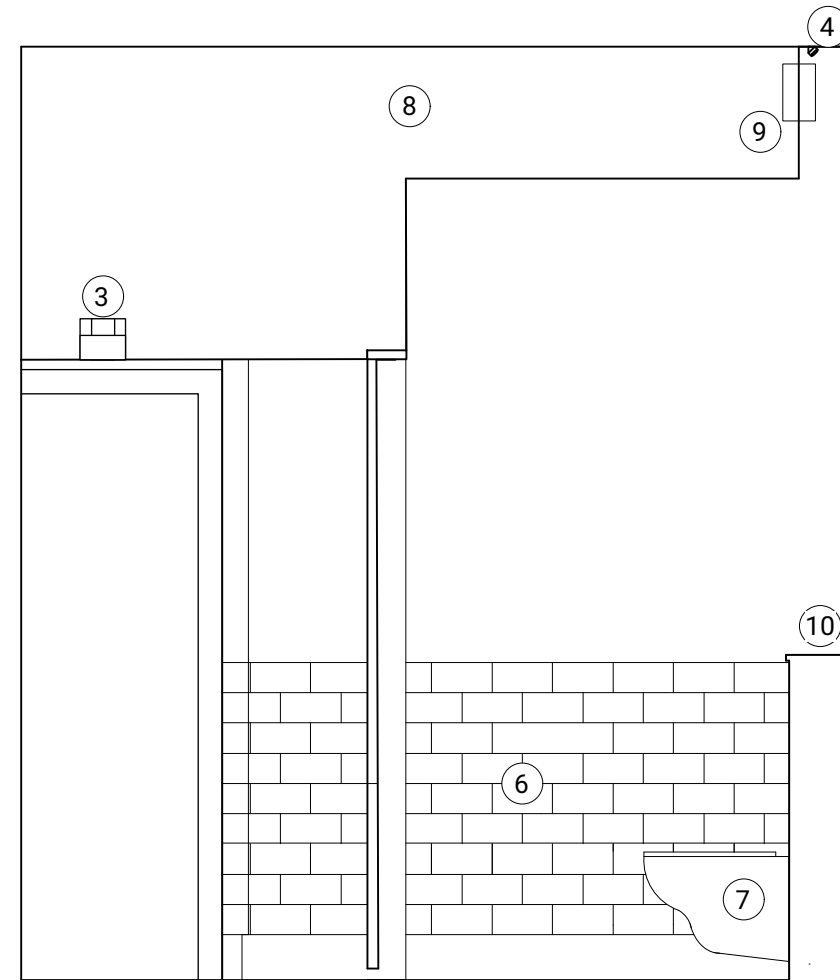
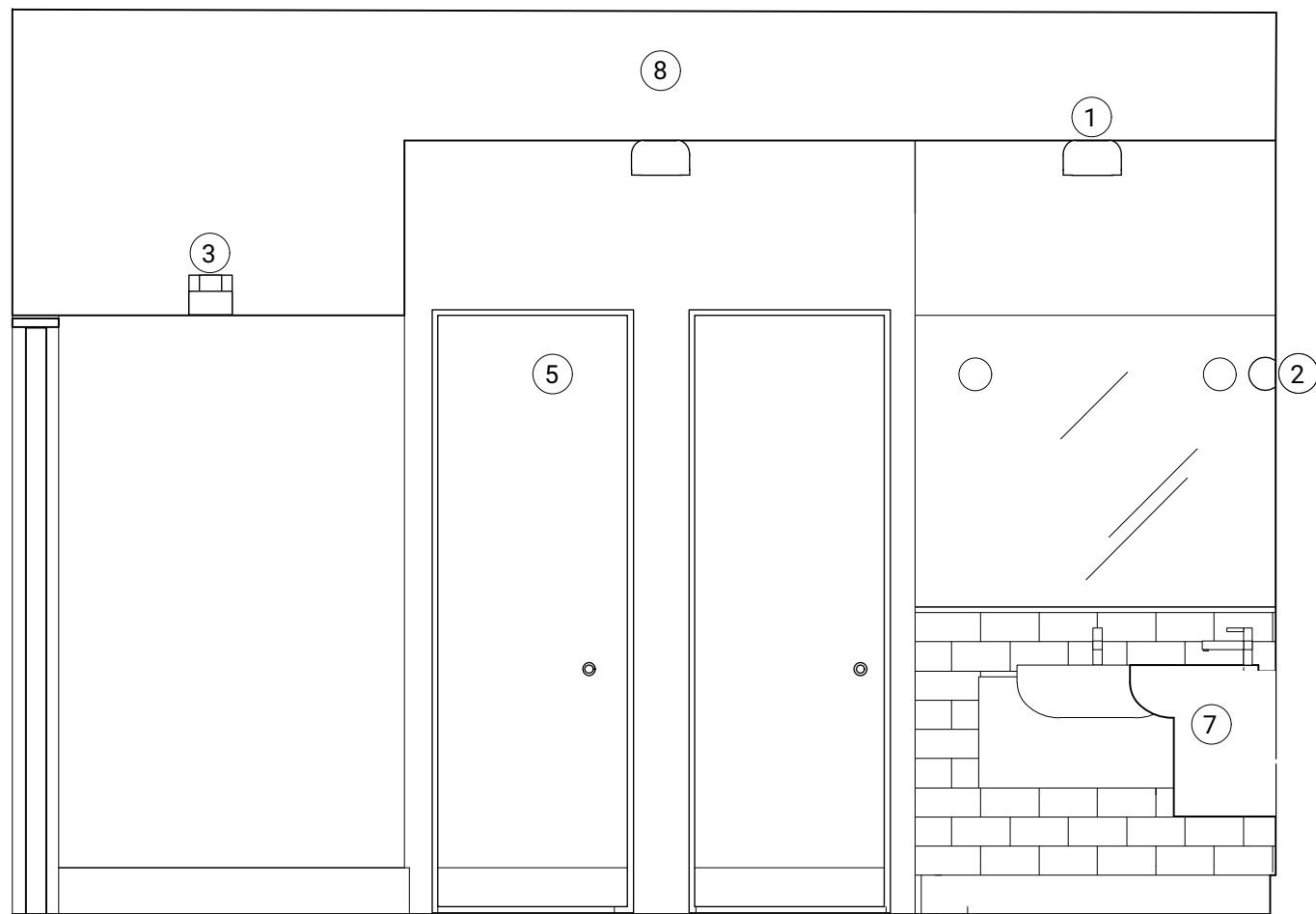
Drawing Title  
Proposed Basement Unisex Shower  
Elevation E & W

Drawing No.:  
2104\_2204

Scale@A1: Scale@A3: Rev. Date:  
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Drawn by: Date: Status:  
JC 08/04/2021 P

**PARDON CHAMBERS ARCHITECTS**



1 Elevation looking North

2 Elevation looking West

Key

- 1 Ceiling mounted light fitting
- 2 Wall light fittings mounted on mirror
- 3 In- ceiling recessed downlight
- 4 LED wall wash strip light in ceiling void aperture
- 5 Replacement doors and frames fitted to existing walls
- 6 Replacement wall tiles and skirting tiles to match replacment floor tiles
- 7 New sanitaryware utilising existing plumbing routes
- 8 Existing void above ceiling
- 9 Extract
- 10 Quartzite shelf
- 11 Electric panel radiator



Notes

Project Address  
3 Stone Buildings  
Lincolns Inn  
London WC2A 3XL

Drawing Title  
Basement Proposed Unisex Toilet Area 2  
Elevation N & W

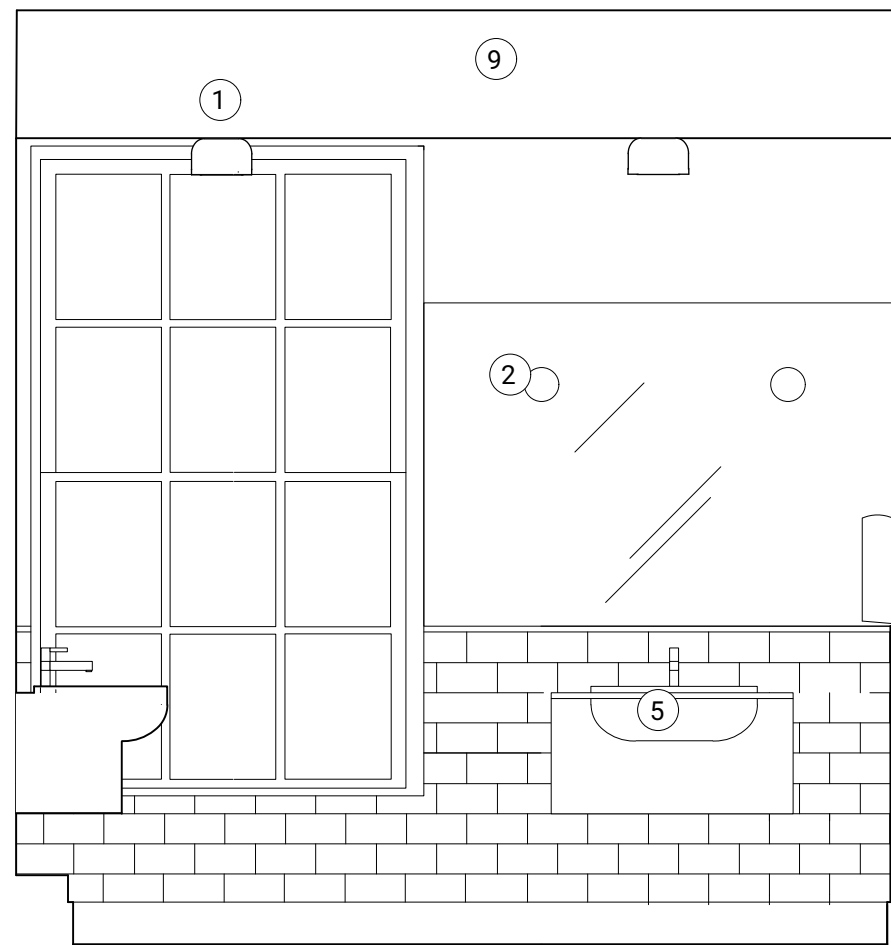
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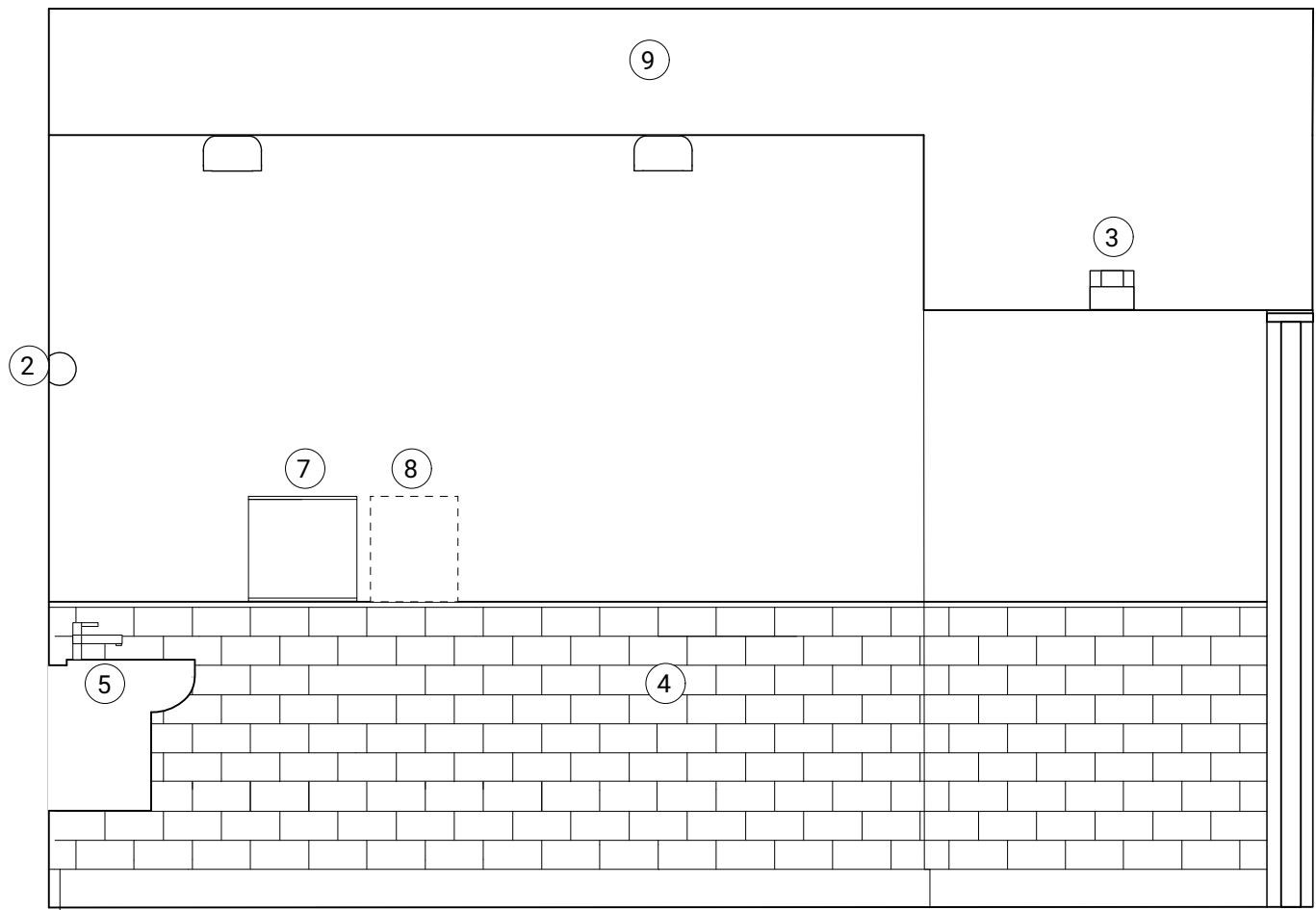
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JC 25/06/2021 P

PCA

**PARDON CHAMBERS ARCHITECTS**



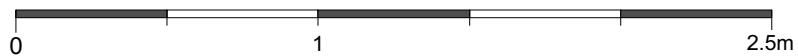
1 Elevation Looking East



2 Elevation Looking South

Key

- 1 Ceiling mounted light fitting
- 2 Wall light fittings mounted on mirror
- 3 In-ceiling recessed downlight
- 4 Replacement wall tiles and skirting tiles to match replacment floor tiles
- 5 Replacement sanitaryware utilising existing plumbing access
- 6 Quartzite Vanity Unit
- 7 Paper Towels
- 8 Hand dryer
- 9 Void above suspended ceiling



Notes

PCA

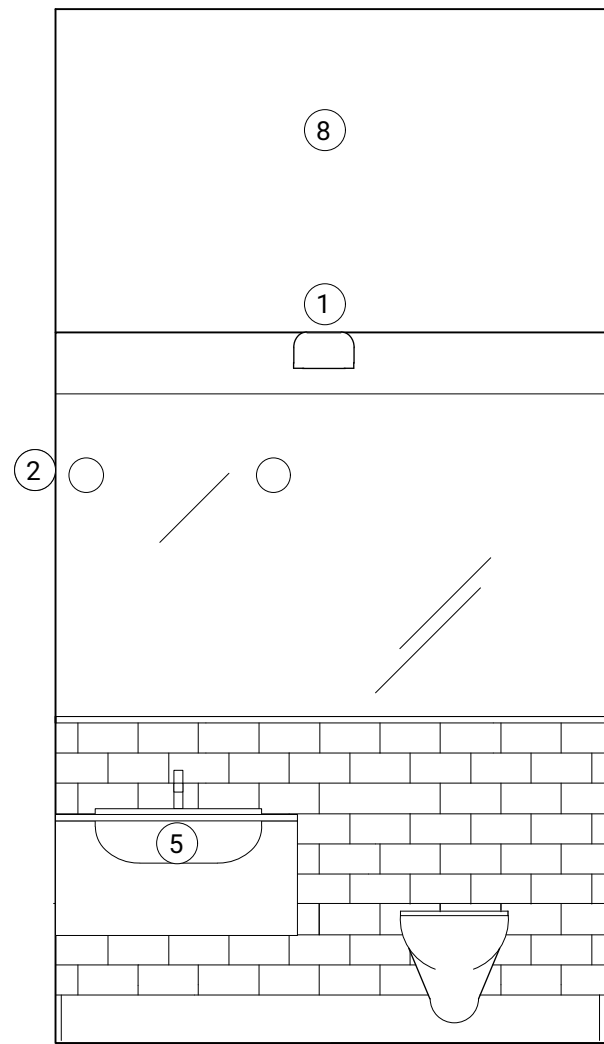
Project Address  
3 Stone Buildings, Holborn, London WC2A  
3XL

Drawing Title  
Proposed Unisex Toilets Area 2 Elevation  
E & S

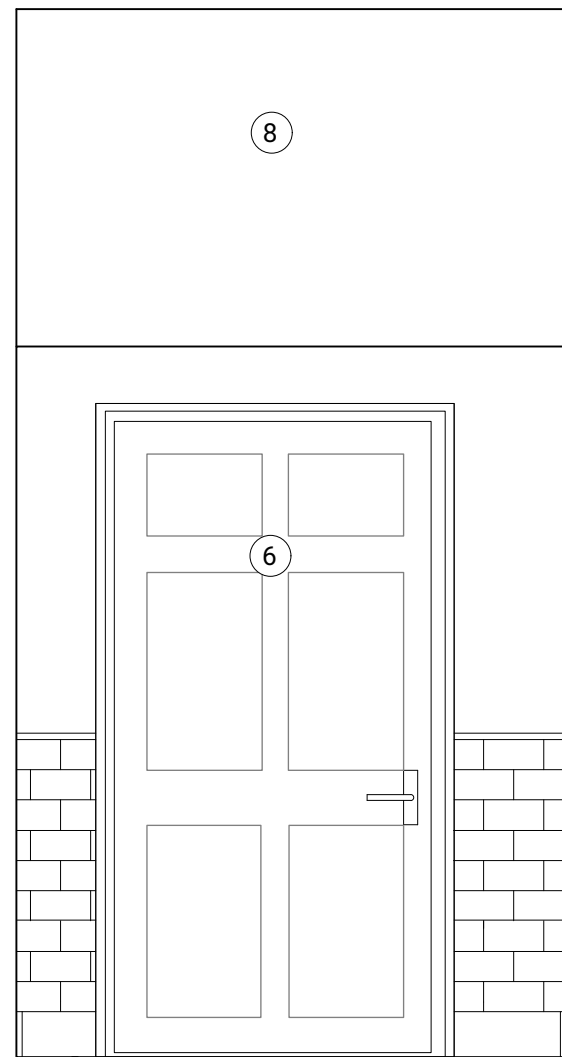
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JC 25/06//2021 P

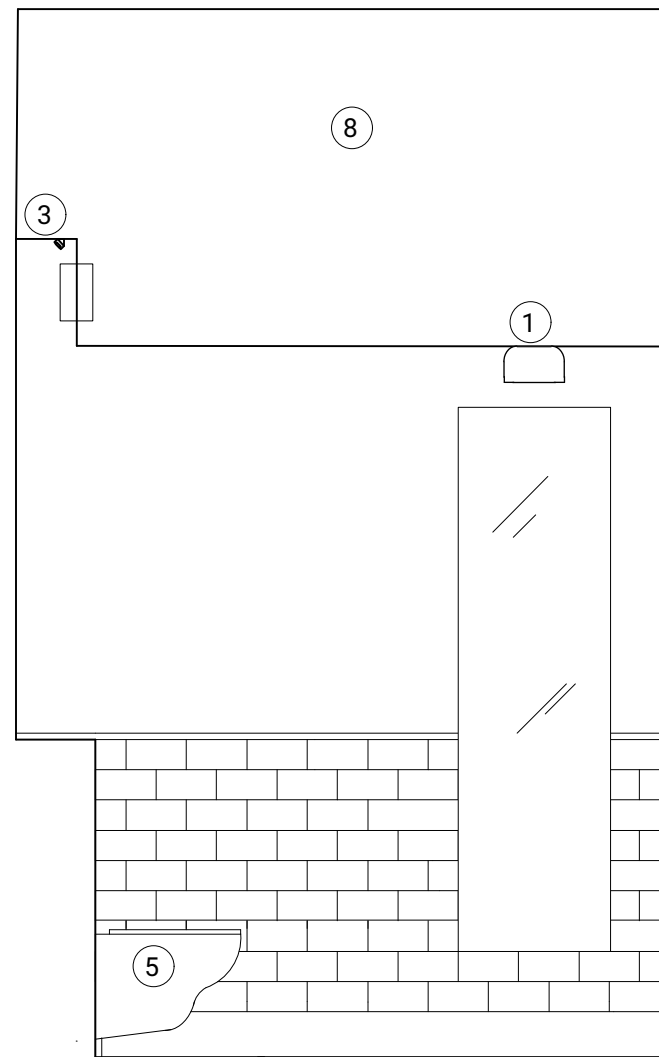
**PARDON CHAMBERS ARCHITECTS**



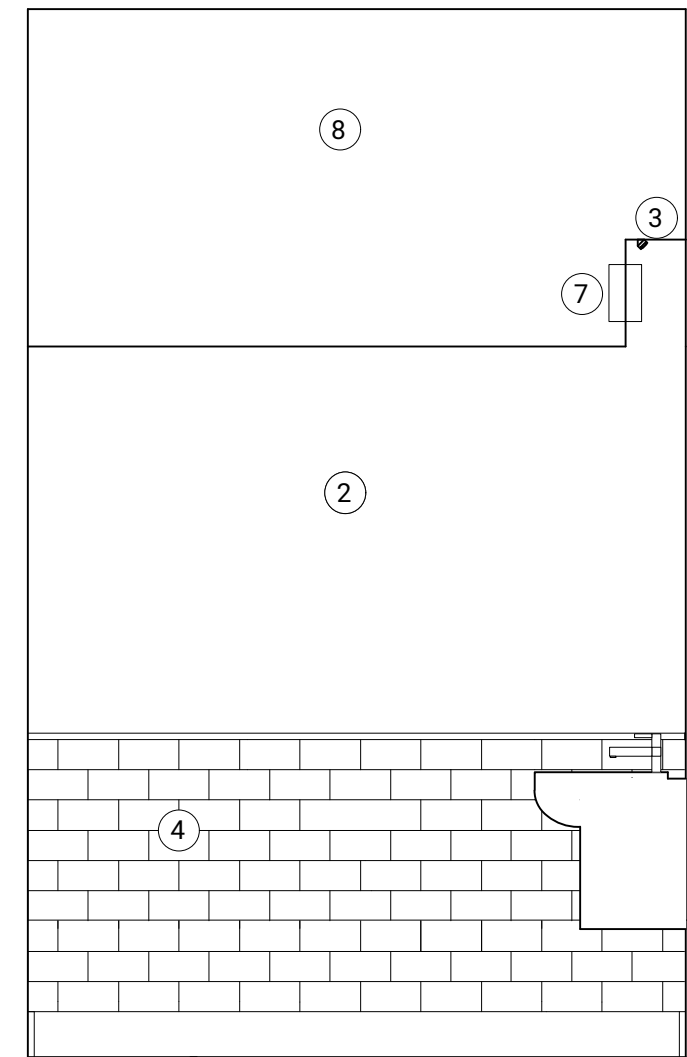
1 Elevation Looking North



2 Elevation Looking South



3 Elevation Looking East



4 Elevation Looking West

Key

- 1 Ceiling mounted light fitting
- 2 Wall light fittings mounted on mirror
- 3 LED wall wash strip light in ceiling void aperture
- 4 Replacement wall tiles and skirting tiles to match replacment floor tiles
- 5 Replacement sanitaryware utilising existing plumbing routes
- 6 Door modified to outward swing, assisted opening with emergency release mechanism
- 7 Extract
- 8 Existing void above ceiling



Notes

Notes

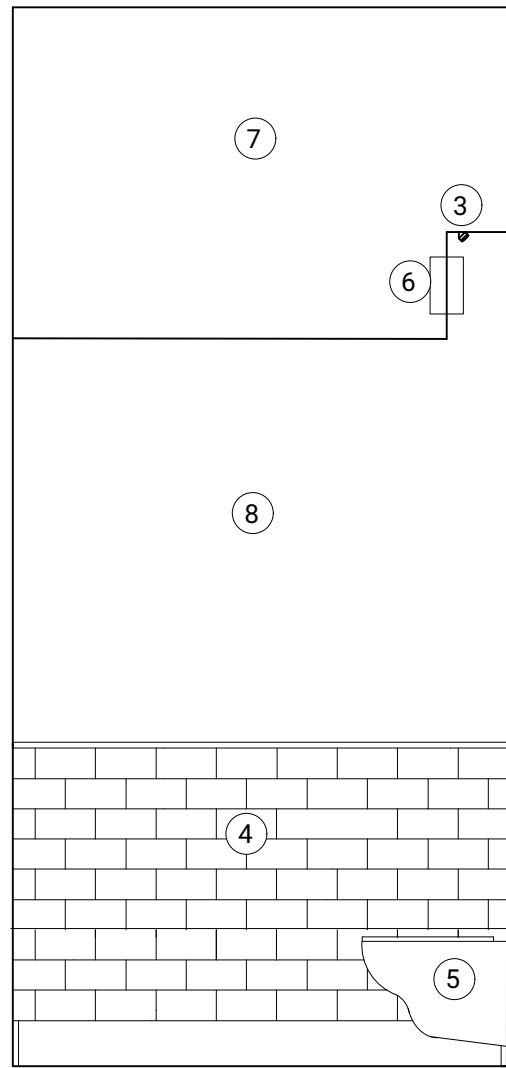
Project Address  
 3 Stone Buildings  
 Lincons Inn  
 London WC2A 3XL

Drawing Title  
 Proposed 1st Flr Toilet 1- Unisex  
 Elevations N S E & W

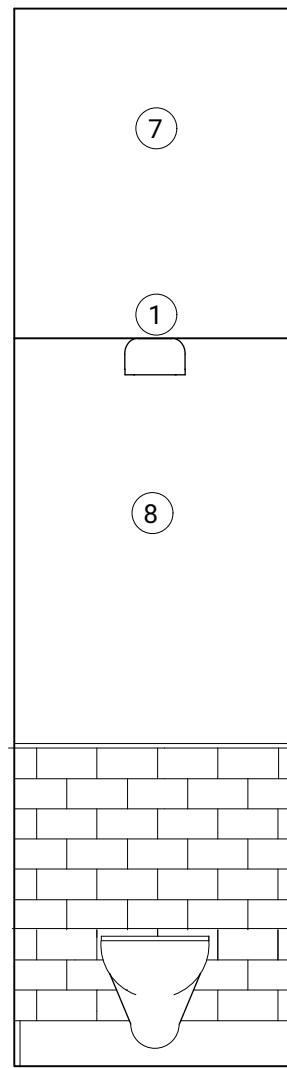
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 Scale@A1: Scale@A3: 1:25  
 Date: 25/06/20  
 Revision: Rev. Date: Status: P

PCA

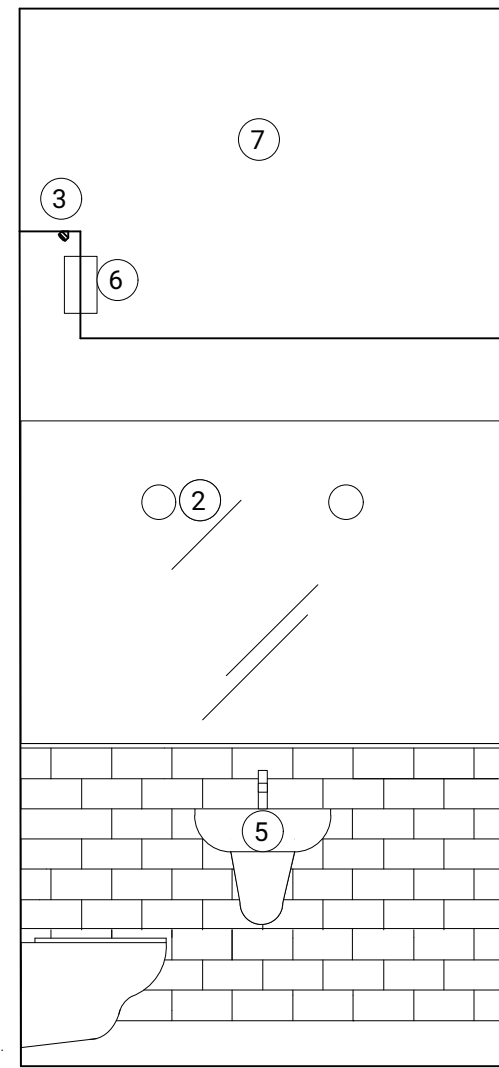
**PARDON CHAMBERS ARCHITECTS**



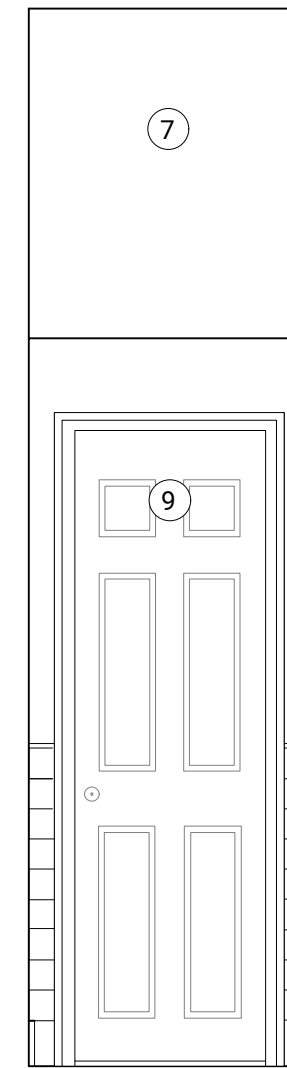
1 Elevation Looking North



2 Elevation Looking South



3 Elevation Looking East



4 Elevation Looking West

Key

- 1 Ceiling mounted light fitting
- 2 Wall light fittings mounted on mirror
- 3 LED wall wash strip light in ceiling void aperture
- 4 Replacement wall tiles and skirting tiles to match replacment floor tiles
- 5 Replacement sanitaryware utilising existing plumbing routes
- 6 Extract
- 7 Existing void above ceiling
- 8 Painted wall finish
- 9 Panelled door and architrave to be repainted



Notes

Project Address  
3 Stone Buildings  
Lincolns Inn  
London WC2A 3XL

Drawing Title  
Proposed First Floor Toilet 2 Elevations N  
E S & W

Drawing No.:  
2104\_2214

Scale@A1: Scale@A3: Rev. Date:  
1:25

Drawn by: Date: Status:  
JC 25/ 06 /20 P

Revision:

PCA

**PARDON CHAMBERS ARCHITECTS**